

LAND USE BOARD
BOROUGH OF
ALLENDALE
Municipal Building
500 West Crescent Avenue
Allendale, NJ

The Initial Meeting of the Allendale Land Use Board will be held in the Council Chambers in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401 on January 17, 2024 at 7:30 p.m. Formal action will be taken.

I. CALL TO ORDER

- A. Open Public Meetings Act Announcement
- B. Salute to Flag

II. OATH OF OFFICE

- A. Class I - Mayor Amy Wilczynski (term corresponds with term of office)
- B. Class II - Andrew Agugliaro (term expiring December 31, 2024)
- C. Class III - Joe Daloisio (term expiring December 31, 2024)
- D. Class IV - John Dalo (term expiring December 31, 2026)
- E. Class IV - Jason Warzala (term expiring December 31, 2026)
- F. Class IV - Melissa Bergen (term expiring December 31, 2025)
- G. Class IV - Frank Putrino (term expiring December 31, 2027)
- H. Class IV - Michael Sirico (term expiring December 31, 2025)
- I. Class IV - (term expiring December 31, 2025)
- J. Alternate #1 - Gregg Butler-Alt. #1 (term expiring December 31, 2024)
- K. Alternate #2 - Joseph Conte-Alt. #2 (term expiring December 31, 2025)

III. ROLL CALL

IV. ELECTION OF OFFICERS

- A. [Resolution LUB 24-01: Order of Voting](#)
- B. [Resolution LUB 24-02: Election of Chair](#)
- C. [Resolution LUB 24-03: Election of Vice Chair](#)
- D. [Resolution LUB 24-04: Election of Secretary](#)

V. RESOLUTIONS

- A. [Resolution LUB 24-05: Appointment of Land Use Board Legal Counsel](#)
- B. [Resolution LUB 24-06: Appointment of Land Use Board Engineer](#)
- C. [Resolution LUB 24-07: Appointment of Land Use Board Planner](#)
- D. [Resolution LUB 24-08: Time and Place of Land Use Board Meetings for 2024](#)
- E. [Resolution LUB 24-09: Adoption of By Laws for the Land Use Board](#)

VI. APPROVAL OF MINUTES

[December 20, 2023 Land Use Board Regular Meeting](#)

VII. RESOLUTIONS

[Application File No: LUB 2023-13](#)

Resolution No.: 24-10

Applicant: William & Fani Thompson

Address: 540 Hillside Avenue, Allendale, NJ 07401

Block: 104 Lot: 10

Application: Add a new roof structure over existing patio. Side yard setback.

[Application File No: LUB 2023-12](#)

Resolution No.: 24-11

Applicant: Peter & Amy Bloom

Address: 34 Harreton Road, Allendale, NJ 07401

Block: 509 Lot: 4

Application: Wood Burning fireplace – side yard setback encroachment.

VIII. PUBLIC HEARINGS

Application File No.: 2024-03

Applicant: Kurt Patrick

Address: 271 Lakeside Drive, Allendale, NJ 07401

Block: 408 Lot: 14

Application: Conceptual – New home

[Application and plans](#)

Application File No.: LUB 2024-01

Applicant: Crown Castle

Address: 300 West Crescent Avenue, Allendale, NJ 07401

Block: 201 Lot: 9

Application: Collocation and tower extension.

[Application and Plans](#)

(to be carried to the February 2024 LUB Meeting)

[Application File No: LUB 2024-02](#)

Applicant: Laura Aquino

Address: 203 W. Allendale Avenue, Allendale, NJ 07401

Block: 1708 Lot: 14

Proposed: One story rear addition, conversion of existing garage to living space & construction of a new detached garage. Pursuant to 270-64C(2) and 270-18B(2)

[Soil Erosion Plan](#)

[Engineer's report](#)

- IX. OPEN TO THE PUBLIC FOR COMMENT
- X. OTHER
- XI. ADJOURNMENT

****AGENDA & AGENDA MATERIALS SUBJECT TO CHANGE****

BOROUGH OF ALLENDALE
LAND USE BOARD

Instructions to applicants

After receiving denial letter from the Zoning Official, applicant will pick up application packet and check list from the Land Use Administrator.

Applicant will submit to the Land Use Administrator everything as indicated on the check list. Each item on the list must be checked to indicate compliance. Check list is to be signed by applicant.

If application is deemed complete, the applicant will be given a hearing date and advised to send notices to residents within 200 ft. and advertise in newspaper.

When proof of service and proof of publication is received, applicant will be placed on the agenda.

ALLENDALE LAND USE BOARD
APPLICATION CHECK LIST

NAME Kurt Patrick & Gelsey Patrick BLOCK 408 LOT 14

ADDRESS 271 Lakeside Drive, Allendale, NJ

ZONE _____ TYPE OF VARIANCE _____

BRIEF DESCRIPTION OF APPLICATION Lot requires hardship permission as well as set back, slope protection, and potential height variances

SPECIFIC VARIANCE(S) REQUIRED _____

ADMINISTRATIVE REQUIREMENTS		STATUS
1.	Application form complete	X
2.	Fee paid	X
3.	Denial by Building Inspector	
4.	Affidavit of Service	
5.	Proof of Publication	
6.	Taxes Current	
7.	Plot Plan	
8.	Maps	X
9.	Photographs	
10.	Email address Gelseykane@gmail.com; KTP86@msn.com	
11.	Miscellaneous	

1/12/2024

Date

Gelsey Patrick

Applicant's Signature

REQUIRED MATERIALS AND CHECKLIST FOR
ALLENDALE LAND USE BOARD HEARINGS

This checklist and attached sample drawings are provided to ensure that you or your professionals are prepared for your hearing and that your application is complete. All items should be supplied to the extent that they are applicable to the specific application. If information is insufficient or missing, the board may deem your application incomplete and adjourn your hearing until it receives all necessary documentation. Please create 15 packets of the below information.

I. PROVIDE AN ACCURATE SURVEY FOR THE PROPERTY IN QUESTION WHICH CONTAINS THE FOLLOWING INFORMATION:

- X
_____ 1. Footprint of existing buildings or structures.
- X
_____ 2. Precise distances from all property lines to closest point of principal building including steps, deck or other extensions of the building.
- X
_____ 3. The location and precise distances of accessory buildings, such as garages and sheds, to property lines and the principal building or structure.
- X
_____ 4. The location and dimensions of steps, patios, driveways, decks, pools and all other improved impervious areas and their precise distances to nearest property line and structures.
- X
_____ 5. An accurate depiction of the proposed construction or alteration including the information requested in 1, 2, 3 and 4 above.
- X
_____ 6. The precise distances from all property lines to the closest point of the proposed construction.

II. AN ENLARGED TAX MAP DEPICTING PROPERTY IN QUESTION AND ITS RELATIONSHIP TO NEIGHBORING PROPERTIES.

- X
_____ 1. The precise distances from the existing buildings or structure in question to the closest point of all neighboring buildings and structures.
- X
_____ 2. The precise distances from the proposed construction to the closest point of all neighboring buildings and structures.

III. STRUCTURAL DIMENSIONS:

- X
_____ 1. All dimensions of existing building or structure.
- X
_____ 2. All dimensions of proposed building or structure.

N/A

3. Height of existing building or structure.*

X

4. Height of proposed building or structure.*

*(height to be measured from lowest point of the ground that abuts the foundation of the structure to the highest point on the roof.)

X

5. Front, rear and side elevations of the proposed structure.

IV. FLOOR PLANS.

N/A

1. Floor plans of the existing interior of the building containing all relevant dimensions.

X

2. Floor plans of the interior of the proposed construction containing all relevant dimensions.

N/A

3. Precise square footage of the existing building.

X

4. Precise square footage of the proposed construction.

X

5. Floor area ratio calculation pursuant to Section 270-63 of the zoning ordinance (required for all applications)

V. PHOTOGRAPHS.

Email

1. Photographs of the property in question and existing improvements may be helpful to the Board in presenting your information.

N/A

2. Photographs of views from the existing building or structure to neighboring properties and buildings which show existing plantings or other buffers are also helpful and may be requested by the Board.

(All photographs should be taken by you or someone who can testify to the Board as to when they were taken and that the photographs represent an accurate depiction of what they saw at the time.)

VI. LANDSCAPING AND LAND FEATURES.

N/A

1. The survey, plat or plan should locate and describe any proposed landscaping to be done in connection with the application.

X

2. The location of any unusual property features should be indicated, such as flood plain, streams, wooded areas, rock outcroppings or steep slopes.

VII. PREVIOUS APPLICATIONS.

N/A

1. Applicants should be prepared to discuss prior applications to the Land Use Board, Board of Adjustment and Planning Board and the results thereof.

VIII. Any additional information which may be deemed necessary by the Land Use Board, its Consultants or Borough departments and agencies.

NOTE: ALL DIMENSIONS AND DISTANCES MUST BE DEPICTED TO SCALE ON DRAWINGS AND PLANS.

Any questions regarding your hearing or the checklist should be directed to the Land Use Administrator at the Borough of Allendale Municipal Building 201-818-4400 x202. **Please submit fifteen (15) packets with copies of all drawings and plans to the Land Use Administrator at least ten (10) days prior to the hearing.** It is suggested that the property owner refer to the appropriate building code to assure proper engineering and construction techniques, or to secure the services of a local, reputable architect and/or engineer.

1/12/2024

Date

Gelsey Patrick

Signature

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of Kurt & Gelsey Patrick
shows that on or about the 10th day of January, 2024
an application to the Zoning Official for the purpose of (describe intended
action) building a single family dwelling in which we intend to occupy

on the premises located at (street address) 271 Lakeside Dr, Allendale, NJ
Block 408 Lot 14
as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that
after due consideration the Zoning Enforcement Officer did on the _____ day of _____, 20____
decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement
Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of
appeal with said Officer, together with the required fee of _____, and requests that
action of the Zoning Enforcement Officer be reversed or modified as the facts may be
determined, and applicant further requests that a day be fixed for hearing on this appeal and
states that the proper notice will be given to all owners of property situated within two hundred
(200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

An application is hereby made for a (Hardship) (Floor Area Ratio) (Use) variance from the terms
of Article(s) and Section(s) _____
_____ of the Zoning Ordinance so as to
permit _____

Gelsey Patrick

Signature of Applicant

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 14 Block(s) 408
Street Address 271 Lakeside Dr, Allendale, NJ
Applicant Kurt & Gelsey Patrick Address 101 Arthur St, Ridgefield Park, NJ
Owner _____ Address _____
Lessee _____ Address _____
Last Previous Occupancy N/A
Size of Lot 280.63 ft by 56.92 ft / 91.41ft
Floor area ratio calculation 2400 sq ft for dwelling
Percentage of lot occupied by building(s) _____
Height of building(s) 44.2 ft stories 3 feet _____
Set back from front property line 11 ft ft. From side (if corner lot) 42.3 ft ft.
Zoning requirements – Frontage _____, side yards _____, set-back _____, rear yard _____
“Prevailing set-back” of adjoining buildings within one block _____
Has there been any previous appeal involving these premises? _____
If so, state character of appeal and date of disposition _____

Proposed use: Single family, owner occupied, dwelling

This application for a use variance includes an application for subdivision N/A, site plan N/A, conditional use N/A approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) Fifteen (15) copies of all application documents
- (c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified “location map” and clearly indicate such buildings and their approximate location, together with “prevailing set-back” dimensions.
- (d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

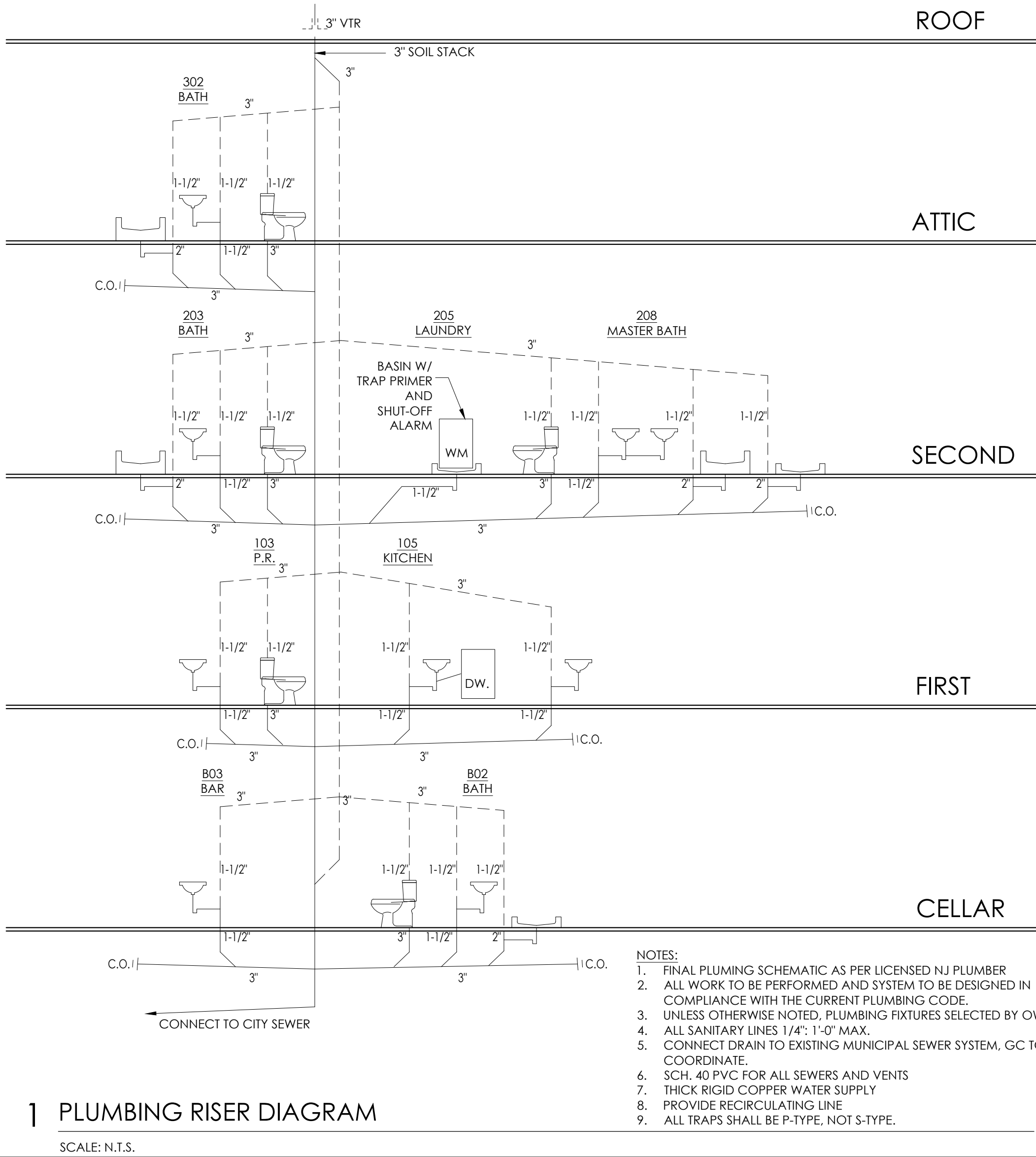
1/12/2024
Date: _____

Gelsey Patrick

Signature of Applicant or Agent

PROPOSED NEW CONSTRUCTION FOR:
THE PROPSED RESIDENCE

CONCEPTUAL RENDERING (FOR ILLUSTRATIVE PURPOSES ONLY)



PROJECT NOTES

- GENERAL CONTRACTOR SHALL:
1. PERFORM ALL WORK IN CONFORMANCE TO THE LATEST ADOPTED EDITIONS OF THE NEW JERSEY UNIFORM CONSTRUCTION AND LOCAL CODES AND AGENCIES HAVING JURISDICTION.
 2. THE CONTRACTOR SHALL FILE, OBTAIN AND PAY FOR, FOR FULL REIMBURSEMENT BY OWNER, ALL NECESSARY PERMITS, FEES, INSPECTIONS, APPROVALS AND ANY APPLICABLE SALES TAXES.
 3. GUARANTEE ALL MATERIAL, WORK OR EQUIPMENT ALTERED OR FURNISHED UNDER THIS CONTRACT, FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE INSTALLATIONS.
 4. BE RESPONSIBLE FOR COORDINATING ALL WORK INCLUDED IN THE ENTIRE PROJECT
 5. COMPLETE ALL WORK IN A WORKMANLIKE MANNER; WORK WILL NOT CAUSE ANY DIMINUTION OF EXISTING STRUCTURAL STRENGTH, SYSTEM CAPACITY OR MECHANICAL VENTILATION BELOW THAT WHICH CURRENTLY EXISTS. ALL REPLACEMENT FIXTURES, EQUIPMENT OR APPLIANCES WILL NOT INCREASE LOADS ON EXISTING SYSTEMS.
 6. COORDINATE WITH OWNER THE REMOVAL/RELOCATION OF EXISTING PLANTINGS, TO GAIN ACCESS TO THE STRUCTURE WHERE NECESSARY, BEFORE WORK. RESTORE ALL EXISTING EXTERIOR CONDITIONS OF STRUCTURE, INCLUDING ALL LANDSCAPED AND GRASSED AREAS, TO PRE-CONSTRUCTION CONDITIONS U.N.O.
 7. PATCH, REPAIR AND RESTORE TO PRE-CONSTRUCTION CONDITIONS, WITH MATERIALS AND FINISHES TO MATCH EXISTING U.N.O., ALL AREAS OF THE STRUCTURE THAT HAVE BEEN DISTURBED DUE TO WORK ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT. THIS WORK INCLUDES ALL EXISTING WALLS AND CEILINGS OF PLASTER AND/OR GYPSUM BOARD THAT HAVE CRACKED OR HAVE BEEN DAMAGED DURING CONSTRUCTION AND ANY AREAS WHERE NEW CONSTRUCTION ALIGNS OR MEETS WITH EXISTING CONSTRUCTION.
 8. ENSURE ALL CONSTRUCTION EQUIPMENT AND MATERIALS BE STORED AND PLACED SO AS NOT TO ENDANGER INHABITANTS, THE PUBLIC, THE WORKERS, OR ADJOINING PROPERTY FOR THE DURATION OF THE CONSTRUCTION PROJECT.
 9. MAINTAIN AT ALL TIMES DURING REMODELING, REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS AT ALL ALTERATIONS, REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE.
 10. PROVIDE PRIMING AND FINISH PAINTING AND/OR STAINING ON ALL EXTERIOR AND INTERIOR AREAS OF NEW CONSTRUCTION, INCLUDING WALLS, CEILINGS, CASEWORK, BRICK COLUMNS, CHIMNEY AND TRIM AS PART OF BASE BID. PAINT ALL WALLS EGGSHELL AND ALL TRIM SEMI-GLOSS, OWNER TO SELECT COLOR U.N.O.
 11. ENSURE THAT ALL ITEMS OF CONSTRUCTION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 12. AT THE TERMINATION OF THE WORK, SUBMIT TO THE OWNER A MANUAL OF ALL NECESSARY WARRANTIES, INSTRUCTIONS, MAINTENANCE MANUALS, INSTRUCTIONS FOR CARE AND MAINTENANCE OF SURFACES AND EQUIPMENT. CONTENTS SHALL INCLUDE MANUFACTURER'S AND INSTALLERS NAMES, ADDRESSES AND PHONE NUMBERS AND INSTRUCTIONS FOR INSTALLATION, START-UP, OPERATION, MAINTENANCE, PARTS LIST AND DATA SHEETS. THE CONTRACTOR SHALL FURNISH ALL LITERATURE OF THE MANUFACTURER, RELATING TO EQUIPMENT, INCLUDING MOTORS OR OTHER MANUFACTURER'S EQUIPMENT; ALSO CUTS, WIRING DIAGRAMS, INSTRUCTIONS, AND ALL OTHER INFORMATION THAT WOULD BE USEFUL TO THE OWNER FOR THE OPERATION AND MAINTENANCE OF SAME.
 13. FILE FOR, OBTAIN, AND FORWARD TO THE OWNER THE "C.O." (CERTIFICATE OF OCCUPANCY), AND ALL OTHER PERMITS AND CERTIFICATES OF INSPECTION AT THE COMPLETION OF THE PROJECT.

DIMENSION NOTES

- GENERAL CONTRACTOR SHALL:
1. **SCALING DRAWINGS:** CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS AND DISCREPANCIES OR UNCLEAR INFORMATION SHALL BE PRESENTED TO THE ARCHITECT FOR CLARIFICATION. CONTRACTOR SHALL FIX, AT HIS EXPENSE, ANY ERRORS DONE DUE TO ASSUMPTIONS THAT LEAD UP TO CONFLICTING SITUATIONS WITH THE INTENT OF THE PROJECT. LARGER SCALE DETAILS ALWAYS TAKE PRECEDENCE OVER SMALLER SCALED DETAILS AND PLANS.
 2. **INTERIOR DIMENSIONS:** INTERIOR DIMENSION STRINGS (INTERIOR PARTITIONS AND DOORS) ARE MEASURED FROM ONE OR MORE OF THE FOLLOWING:
A) FINISH FACE OF GWB.
B) CENTERLINE OF NOTED BUILDING ELEMENTS (CORRIDOR, CEILING RIDGE, DOOR & WINDOW OPENINGS, WALLS, ETC.)
 3. **EXTERIOR WALL DIMENSIONS:** ALL EXTERIOR STUD FACES ARE ALIGNED WITH THE FACE OF CEMENT PARGING AT FOUNDATION, UNLESS NOTED OTHERWISE.
 4. **CONFIRMATION OF DIMENSIONS PROVIDED:** ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THESE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE GENERAL CONTRACTOR AND/OR VENDORS PRIOR TO ORDERING ANY MATERIAL OR DOING ANY WORK AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES OR ERRORS IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS ALLOWABLE WITHOUT THE CONSENT OF THE ARCHITECT.
 5. **VERIFICATION OF EXISTING DIMENSIONS AND CONDITIONS:** THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY MAJOR DISCREPANCIES PRIOR TO STARTING WORK. ALL NEW WORK CAN BE MODIFIED BY FIELD CONDITIONS. CONSULT WITH ARCHITECT PRIOR TO MODIFICATIONS.
 6. **PLUS/MINUS DIMENSIONS ("+" OR "-")** ARE FLEXIBLE DIMENSIONS REQUIRING CLOSE ATTENTION TO ALIGNMENTS OR MATCHING EXISTING ADJACENT CONDITIONS. CONTRACTOR MUST CLOSELY EXAMINE THE DIMENSION STRING AND STRATEGY IN ORDER TO DETERMINE THE INTENT OF THIS DIMENSION RELATIVE TO THOSE AROUND IT. THIS DIMENSION IS ONLY PROVIDED AS A VERIFICATION AND FOR CONTRACTORS ROUGH USE IN DETERMINING SIZES FOR COST ESTIMATING PURPOSES.
 7. **INTER-FLOOR ALIGNMENTS:** WHEN ELEMENTS ARE DIMENSIONED IN RELATION TO CONSTRUCTION ELEMENTS ON THE FLOOR OR FLOORS ABOVE AND/OR BELOW, THE CONTRACTOR MUST VERIFY ALIGNMENTS ARE TRANSLATED ON THE EXTERIOR AND INTERIOR OF THE STRUCTURE, UNLESS NOTED OTHERWISE.

ABBREVIATIONS

ABV.	ABOVE	EA.	EACH	OPP.	OPPOSITE
ACT.	ACOUSTIC CEILING TILE	EQ.	EQUAL	RM.	ROOM
AFF.	ABOVE FINISH FLOOR	EXIST	EXISTING	R.O.	ROUGH OPENING
APPROX.	APPROXIMATE	EXT.	EXTERIOR	SCHED.	SCHEDULE
ARCH.	ARCHITECT	FIN.	FINISH	SF	SQUARE FOOT
BLW.	BELOW	FLR.	FLOOR	SIM.	SIMILAR
BOT.	BOTTOM	G.C.	GENERAL CONTRACTOR	SPECS.	SPECIFICATIONS
CL	CENTERLINE	GWB	GYPSUM WALL BOARD	SS	STAINLESS STEEL
CLOS.	CLOSET	INSUL.	INSULATION	T.O.	TRIMMED OPENING
CLG.	CEILING	LAV.	LAVATORY	TYP.	TYPICAL
DIA.	DIAMETER	MFR.	MANUFACTURER	U.O.N.	UNLESS OTHERWISE NOTED
DIM.	DIMENSION	MTD.	MOUNTED	V.I.F.	VERIFY IN FIELD

PROJECT DESCRIPTION

THE PROPOSED WORK IS FOR THE DEMOLITION OF AN EXISTING (2) TWO STORY, (1) FAMILY DWELLING DOWN TO FOUNDATION. THE CONSTRUCTION OF NEW 2-1/2 STORY (1) ONE FAMILY DWELLING OVER EXISTING EXTENDED FOUNDATION. APPROVAL BY THE ZONING BOARD OF ADJUSTMENT WAS GRANTED ON SEPTEMBER 15, 2020.

ENFORCING BUILDING CODES

- BUILDING CODE:**
INTERNATIONAL RESIDENTIAL CODE - NJ ED. 2018
OBTAINED FROM: INTERNATIONAL CODE COUNCIL, INC
- REHABILITATION CODE:**
REHABILITATION SUBCODE 5-23-6
OBTAINED FROM STATE OF NJ, DEPARTMENT OF COMMUNITY AFFAIRS
- MECHANICAL CODE:**
INTERNATIONAL MECHANICAL CODE, 2018
OBTAINED FROM INTERNATIONAL CODE COUNCIL
- ELECTRICAL CODE:**
NATIONAL ELECTRICAL CODE (NFPA 70) 2017
OBTAINED FROM NATIONAL FIRE PROTECTION ASSOC.
- PLUMBING CODE:**
NATIONAL STANDARD PLUMBING CODE, 2018
OBTAINED FROM NATIONAL ASSOC. OF PLUMBING-HEATING-COOLING CONTRACTORS
- FUEL GAS CODE:**
INTERNATIONAL FUEL GAS CODE, 2018
OBTAINED FROM INTERNATIONAL CODE COUNCIL
- ENERGY CONSERVATION CODE:**
INTERNATIONAL ENERGY CONSERVATION CODE, 2018
OBTAINED FROM INTERNATIONAL CODE COUNCIL

WALL PARTITION LEGEND

NUMBER	MATERIAL	DIAGRAM
A-001	NON-RATED - WOOD STUD PARTITION WALL 4-1/2" GWB WALL NEW 2X4 WOOD STUD INTERIOR WALL @ 16" O.C. W/ 1/2" GWB EA. SIDE, TAPED SPACKELED PRIMED AND PAINTED WITH TWO COATS OF FINISH PAINT. AT KITCHEN AREAS, PROVIDE BLOCKING BETWEEN STUDS TO FACILITATE INSTALLATION OF CABINETS. AT WET LOCATIONS, USE MOISTURE RESISTANT GWB. AT BASEMENTS USE P.T. STUDS AND M.R. GWB. AT SHOWER AREAS, USE FIBER CEMENT BOARD. ALL INTERIOR WALLS ARE A-001 UNLESS OTHERWISE NOTED.	
A-002	1 HR RATED - WOOD STUD PARTITION WALL 4-3/4" GWB WALL NEW 2X4 WOOD STUD INTERIOR WALL @ 16" O.C. W/ 5/8" TYPE "X" GWB EA. SIDE, TAPED SPACKELED PRIMED AND PAINTED WITH TWO COATS OF FINISH PAINT. AT KITCHEN AREAS, PROVIDE BLOCKING BETWEEN STUDS TO FACILITATE INSTALLATION OF CABINETS. AT WET LOCATIONS, USE M.R. GWB. AT SHOWER AREAS, USE FIBER CEMENT BOARD.	
A-003	NON-RATED- WOOD PLUMBING / CHASE WALL 6-5/8" GWB WALL PROVIDE 2X6 WALL STUDS, SPACED 16" O.C., W/ 5/8" MOLD TOUGH GWB. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT. AT SHOWER AREAS, USE FIBER CEMENT BOARD. AT BASEMENTS USE P.T. STUDS AND M.R. GWB. INSULATE @ PIPES.	
B-001	BASEMENT PERIMETER FURRED WALL PLACE A .6 MIL VAPOR BARRIER OVER INTERIOR FACE OF CONCRETE WALL. SET PRESSURE TREATED DOUBLE PLATE 1/2" FROM FACE OF WALL, REVIEW WALL FOR EVENNESS PRIOR TO SETTING PLATE. PROVIDE 2X4 P.T. WALL STUDS, SPACED 24" O.C., KRAFT FACED R-15 BATT INSULATION W/ 5/8" MOLD TOUGH GWB. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT.	
B-002	BASEMENT PERIMETER FURRED WALL PLACE A .6 MIL VAPOR BARRIER OVER INTERIOR FACE OF CONCRETE WALL, PROVIDE 2X4 P.T. WALL STUDS ON FLAT, SPACED 24" O.C., RIGID R-5T INSULATION W/ 5/8" MOLD TOUGH GWB. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT.	

MEP NOTES

- HVAC SYSTEM:**
HVAC SYSTEM SHALL BE MODIFIED / PROVIDED ON A DESIGN-BUILD BASIS. WORK SHALL INCLUDE DESIGN, FURNISHING AND INSTALLATION OF HVAC SYSTEM, AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION.
- MECHANICAL DESIGN DRAWINGS AND SHOP DRAWINGS SHALL BE PROVIDED FOR ARCHITECTS REVIEW / APPROVAL.
- ALL VENTS SHALL BE HIDDEN FROM THE FRONT OF THE STRUCTURE.
- ELECTRICAL SYSTEM & EMERGENCY ELECTRICAL SYSTEMS:**
ELECTRICAL SYSTEM AND EMERGENCY ELECTRICAL SYSTEMS SHALL BE PROVIDED ON A DESIGN-BUILD BASIS. WORK SHALL INCLUDE DESIGN, FURNISHING AND INSTALLATION OF AN ELECTRICAL SYSTEM, AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. PROVIDE ELECTRIC POWER RISER DIAGRAM(S) AND PANEL SCHEDULE(S) FOR ARCHITECT'S REVIEW AND APPROVAL. PROVIDE FIRE ALARM DIAGRAM(S)/DRAWING(S) IN ACCORDANCE WITH THE CURRENT IBC AND CODES HAVING JURISDICTION.

DRAWING KEYS

SECTION ELEVATION:		ELEVATION/ START POINT:	
WALL TYPE:		REVISION NUMBER:	
ELEVATION:		CONSTRUCTION NOTE:	
		DOOR TAG:	
		WINDOW TAG:	

ZONING INFORMATION

ZONE: R-2 BLOCK: 10 LOT: 13.01 BUILDING USE GROUP: R-5 CONSTRUCTION TYPE: VB STORIES: 2.5 AREA: 1,398 SF

****SEE ENGINEER'S DRAWINGS FOR ALL SITE PLAN, ZONING, & GRADING INFORMATION****

KEY MAP

SQUARE FOOTAGE AND VOLUME CALC.

SQAURE FOOTAGE	EXISTING	PROPOSED	TOTAL
CELLAR	569	407	976
CELLAR WALK-OUT	0	317	317
FIRST FLOOR	0	1,157	1157
COVERED PORCH	0	317	317
SECOND FLOOR	0	1,292	1292
BALCONY	0	59	59
OPEN TO BELOW	0	106	106
ATTIC LOFT	0	417	417
ROOF TERRACE	0	517	517
TOTAL S.F.	569	4,589	5,158
VOLUME			
CELLAR	3,983	2,849	6832
CELLAR WALK-OUT	0	2,430	2430
FIRST FLOOR	0	10,413	10413
COVERED PORCH	0	2,853	2853
SECOND FLOOR	0	11,628	11628
OPEN TO BELOW	0	954	954
ATTIC LOFT	0	4,379	4379
TOTAL VOLUME	3,983	35,506	39,489

DRAWING LIST

DWG NO.	DESCRIPTION	LATEST REVISION
A.000	KEY MAP, TITLE, NOTES, PRD, CONCEPT, RENDER	NOV. 03, 2020
A.200	CONSTRUCTION & FRAMING PLANS: CELLAR	NOV. 03, 2020
A.201	CONST. & FRAMING PLANS: 1ST FLR, DOOR SCH.	NOV. 03, 2020
A.202	CONST. & FRAMING PLANS: 2ND FLR, WIN, SCH.	NOV. 03, 2020
A.203	CONSTRUCTION & FRAMING PLANS: ATTIC	NOV. 03, 2020
A.204	CONSTRUCTION & FRAMING PLANS: ROOF	NOV. 03, 2020
A.300	REFLECTED CEILING AND POWER PLANS	NOV. 03, 2020
A.400	DIAGRAMMATIC SECTIONS, STAIR DETAILS	NOV. 03, 2020
A.401	DIAGRAMMATIC SECTIONS, CONCEPT, RENDER	NOV. 03, 2020
A.500	EXTERIOR ELEVATIONS	NOV. 03, 2020
A.600	TYPICAL WALL SECTION, DETAILS	NOV. 03, 2020
A.800	SPECIFICATIONS	NOV. 03, 2020

CONSULTANTS

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REVISIONS:

NO.	DESCRIPTION	YEAR/MO.DA

PROJECT: PROPOSED NEW CONSTRUCTION FOR
THE PROPOSED RESIDENCE

FLOOR OR FLOORS (IF APPLICABLE):

TITLE
KEY MAP, TITLE, NOTES, PLUMBING RISER, RENDER

SEAL & SIGNATURE:

DATE: NOV. 3, 2020
PROJECT NO.: 19-0611
SCALE: AS NOTED
DWG. BY: JLD/WAG
CHK BY: DD
DWG NO.: **A.000**

DANIEL D'AGOSTINO, A.I.A.
N.J. LIC. NO: 21401880000

<p>1. BEFORE WORK IS BEGUN, CONTRACTOR SHALL PROVIDE ALL BARRICADES, FENCES, BRACES, PROTECTIVE BARRIERS AND SAFETY DEVICES TO ENSURE COMPLETE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEVICES MUST BE MAINTAINED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR.</p>	<p>2. IF NECESSARY, PROVIDE TEMPORARY STRUCTURAL SHORING AS REQUIRED TO COMPLETE THE WORK WITHOUT WEAKENING THE EXISTING STRUCTURE. ALL WORK SHALL BE DONE IN A MANNER AS TO NOT LESSEN THE STRUCTURAL INTEGRITY OF THE WORK TO REMAIN, OR TO DAMAGE OR ADVERSELY AFFECT ADJACENT PORTIONS OF THE STRUCTURE. CONSULT WITH ARCHITECT BEFORE QUESTIONS ARISE REGARDING UNDERMINING ANY EXISTING STRUCTURE.</p>	<p>3. DISCONNECT AND/OR</p>	<p>4. REMOVE, REROUT, CAP OR TERMINATE AS REQUIRED WITH NO CHANGE IN PERFORMANCE. ALL ELECTRICAL, PLUMBING, MECHANICAL OR OTHER SUCH WORK LOCATED IN WALLS, PARTITIONS, CEILINGS OR FLOORS THAT OCCUR WHERE EXISTING WORK IS TO BE REMOVED OR RELOCATED ARE TO BE CUT IN EXISTING WORK, CAP AND FLUSH OFF BEHIND FINISH SURFACES AND PROJECTING PLUMBING AND ELECTRICAL ITEMS.</p>	<p>5. REMOVE ALL INTERIOR FINISHES, AS NECESSARY TO COMPLETE WORK.</p>	<p>6. TAKE SPECIAL CARE TO ENSURE THAT NO DAMAGE OCCURS IN ANY OTHER AREA OF THE BUILDING DURING DEMOLITION OF INDICATED AREAS.</p>	<p>7. TAKE SPECIAL CARE TO PREVENT DIRT, DUST AND CONSTRUCTION DEBRIS FROM ENTERING OTHER AREAS OF THE BUILDING. DOORS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL BE COVERED AND TAPED, AND OPENINGS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL BE CLOSED OFF WITH PLASTIC AND SEALED WITH TAPE WHEREVER POSSIBLE, WITHOUT DAMAGING THE EXISTING CONDITIONS.</p>	<p>8. KEEP WORK CLEAN ON A DAILY BASIS. ALL DEBRIS SHALL BE PUT IN A CONTAINER AT DAY'S END.</p>	<p>9. CONSULT WITH OWNER PRIOR TO DISCARDING ANY EXISTING FIXTURES, HARDWARE OR OTHER ITEMS THAT THE OWNER MAY WISH TO RE-USE.</p>	<p>10. DO ANY WORK ON THE EXISTING CONSTRUCTION NECESSARY TO ACCOMPLISH THE INTENT OF THESE</p>	<p>DOCUMENTS INCLUDING BUT NOT LIMITED TO THE REMOVAL AND DISPOSAL OF EXISTING MATERIALS, INSTALLATION OF NEW MATERIALS, PATCHING AND REFINISHING OF EXISTING SURFACES AND RE-CONDITIONING AND REPAIR OF EXISTING MATERIALS THAT ARE SHOWN TO BE REQUIRED. ANY DEMOLITION WORK OR MODIFICATION WORK INDICATED ON THE DRAWINGS AND NOT SPECIFIED, OR VICE VERSA, SHALL BE COMPLETED BY THE CONTRACTOR AND SHALL BE INCLUDED AS PART OF THE CONTRACT.</p>	<p>11. CONTRACTOR TO VERIFY ALL DEMOLITION DIMENSIONS AS THEY RELATE TO THE CONSTRUCTION PLANS. IF ANY MAJOR DISCREPANCIES ARE ENCOUNTERED, NOTIFY THE ARCHITECT.</p>	<p>12. ANY EXPOSED CONDITIONS WHICH REVEAL STRUCTURAL FAILURE, MATERIAL DAMAGE OR LOSS OF FUNCTIONALITY SHALL BE PRESENTED TO THE OWNER WITH SUGGESTIONS FOR REMEDY PRIOR TO EXECUTING.</p>
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1. SEE A.203 FOR ALL STRUCTURAL NOTES.
2. ALL POST TO BE CONTINUOUS (OR ADD BLOCKING) AND TO SUPPORTED ON THE BEAM BELOW OR ON THE FOUNDATION BELOW (TYP)
3. PROVIDE FULL DEPTH BLOCKING BETWEEN POST UP AND POST DOWN (TYP)
4. HEADERS: (2)2x10 MIN. U.O.N
5. ALL BEAM TO BEAM CONNECTION W/ USP OR SIMPSON CONNECTOR, FOR FULL CAPACITY. (TYP)
6. ALL PSL BEAMS TO BE SUPPORTED ON PSL POST FOR FULL WIDTH BEARING. NOT ALL POSTS SHOWN ON PLANS.
7. ASSUMED SOIL CAPACITY: 2,000 PSF. FIELD VERIFY.

FOUNDATION WALL		
	@ CELLAR	10" THICK (U.O.N.)
	@ MASONRY STAIR	8" THICK (U.O.N.)
ELEVATION DATUMS		
B.O. FOOTING		
	@ CELLAR	MATCH EXISTING
	@ MASONRY STAIR	42" BELOW GRADE
T.O. F.W.		-15 5/8"
T.O. F.W. SHOE BLOCK		-3 3/4"

LEVEL	LIVE	DEAD	TOTAL
CELLAR	OG	OG	OG
1ST FL	40 PSF	20 PSF	60 PSF
2ND FL	40 PSF	20 PSF	60 PSF
ROOF	30 PSF	20 PSF	50 PSF
WIND SPEED			115 MPH

ELEVATION DATUMS	
CELLAR	-8'-2"
COVERED PATIO	-8'-0"
FIRST	0'-0"
COVERED PORCH	0'-0"
SECOND	10'-1 3/4"
ATTIC	20'-3 1/2"
T.O. ROOF DECK	20'-3 1/2"



PROJECT: PROPOSED NEW CONSTRUCTION FOR:
**THE PROPOSED
RESIDENCE**

FLOOR OR FLOORS (IF APPLICABLE):

CONSTRUCTION, FRAMING & DEMO PLANS

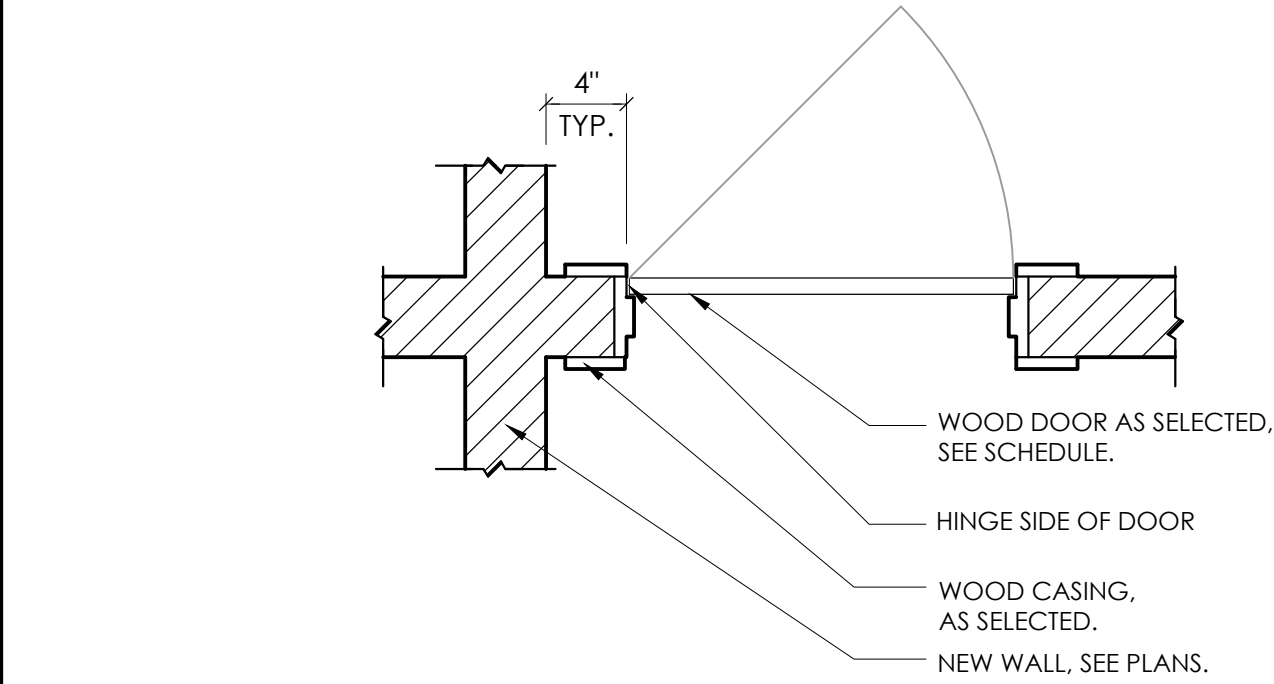
DANIEL D'AGOSTINO, A.I.A.
N.J. LIC. NO: 21A101880000

- 1 CUSTOM TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
- 2 GC TO PROVIDE GAS LINE FOR NEW GRILL.
- 3 GAS FIREPLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
- 4 NEW WOOD/COMPOSITE DECKING & STAIR TO BE SELECTED BY OWNER.
- 5 MASONRY STAIR W/ LIMESTONE TREADS.
- 6 36" HIGH METAL AND CABLE GUARD RAIL SYSTEM TO BE SELECTED BY OWNER AND INSTALLED AS PER MANUFACTURER.
- 7 GUARD WITH POST AT SIDES OF STAIRS AND RAILINGS. OWNER SELECT WOOD OR PVC RAILING.
- 8 CEDAR SLAT WOOD SCREEN WALL, AS SELECTED. 4" MAX. HORIZONTAL & VERTICAL SPACING. PER IRC 1607.8.1.1 SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS.
- 9 STRUCTURAL COLUMN AS SELECTED.
- 10 FILL TO MATCH AND ALIGN WITH ADJACENT MATERIALS.
- 11 5" CONT. ALUM. GUTTER WITH 4" ALUMINUM DOWNSPOUTS. OWNER TO SELECT FINISH.
- 12 EPDM ROOFING. PITCHED AS PER PLAN.
- 13 STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C.. COLOR TO BE SELECTED BY OWNER.
- 14 6" SCUPPER SET 4" ABOVE ROOF LINE. PROVIDE OVERTFLOW.
- 15 PIN TO EXISTING FOUNDATION WALLS & FOOTING AS POSSIBLE w/ (2) #4 REBAR. DRILLED AND EPOXY SET.
- 16 36" HIGH WALL WITH CAF AS SELECTED.
- 17 WASHER AND DRYER. OWNER TO SELECT. NEW WASHER MACHINE TO BE SET IN DRAINAGE BASIN WITH EMERGENCY SHUT OFF VALVE AND TRAP PRIMER. PROVIDE 4" DIA. EXHAUST FOR DRYER.
- 18 WATERPROOF VINYL MEMBRAN SYSTEM BY DURADECK OR EQUAL. PITCH TO DRAIN AS PER PLAN.
- 19 RETAINING WALLS. SEE CIVIL DRAWINGS FOR HEIGHT.

DOOR SCHEDULE							
NUMBER	TYPE	CORE	WIDTH	HEIGHT	FRAME MATERIAL	HARDWARE	REMARKS
B01	INT HINGED	SOLID	32"	80"	WOOD	AS SELECTED	
B02	INT HINGED	SOLID	(2)36"	80"	WOOD	AS SELECTED	DOUBLE DOORS
B03	INT HINGED	SOLID	(2)36"	80"	WOOD	AS SELECTED	DOUBLE LOUVERED DOORS
B04	EXT SLIDER	SOLID / GLASS	141"	80"	WOOD	AS SELECTED	4 PANEL 14180, OXXO
101	EXT PIVOT	SOLID / GLASS	48"	96"	WOOD	AS SELECTED	PIVOT DOOR, AS SELECTED
102	INT HINGED	SOLID	30"	96"	WOOD	AS SELECTED	HIDDEN PANEL DOOR WITH CONCEALED HINGES AS SELECTED
103	EXT SLIDER	SOLID / GLASS	141"	80"	WOOD	AS SELECTED	4 PANEL 14180, OXXO
201	INT HINGED	SOLID	32"	96"	WOOD	AS SELECTED	
202	INT HINGED	SOLID	30"	96"	WOOD	AS SELECTED	
203	POCKET	SOLID	30"	96"	WOOD	AS SELECTED	POCKET DOOR
204	POCKET	SOLID	30"	96"	WOOD	AS SELECTED	POCKET DOOR
205	INT HINGED	SOLID	30"	96"	WOOD	AS SELECTED	
206	INT HINGED	SOLID	32"	96"	WOOD	AS SELECTED	
207	INT HINGED	SOLID	24"	96"	WOOD	AS SELECTED	
208	POCKET	SOLID	36"	96"	WOOD	AS SELECTED	LOUVERED POCKET DOOR
209	INT HINGED	SOLID	(2)30"	96"	WOOD	AS SELECTED	DOUBLE DOORS
210	EXT HINGED	SOLID / GLASS	117"	96"	WOOD	AS SELECTED	4 PANEL 11796, OXXO
211	POCKET	SOLID	32"	96"	WOOD	AS SELECTED	POCKET DOOR
212	POCKET	SOLID	32"	96"	WOOD	AS SELECTED	POCKET DOOR
301	INT HINGED	SOLID	32"	88"	WOOD	AS SELECTED	
302	POCKET	SOLID	32"	88"	WOOD	AS SELECTED	POCKET DOOR
303	EXT SLIDER	SOLID / GLASS	141"	88"	WOOD	AS SELECTED	4 PANEL 14180, OXXO

DOOR NOTES

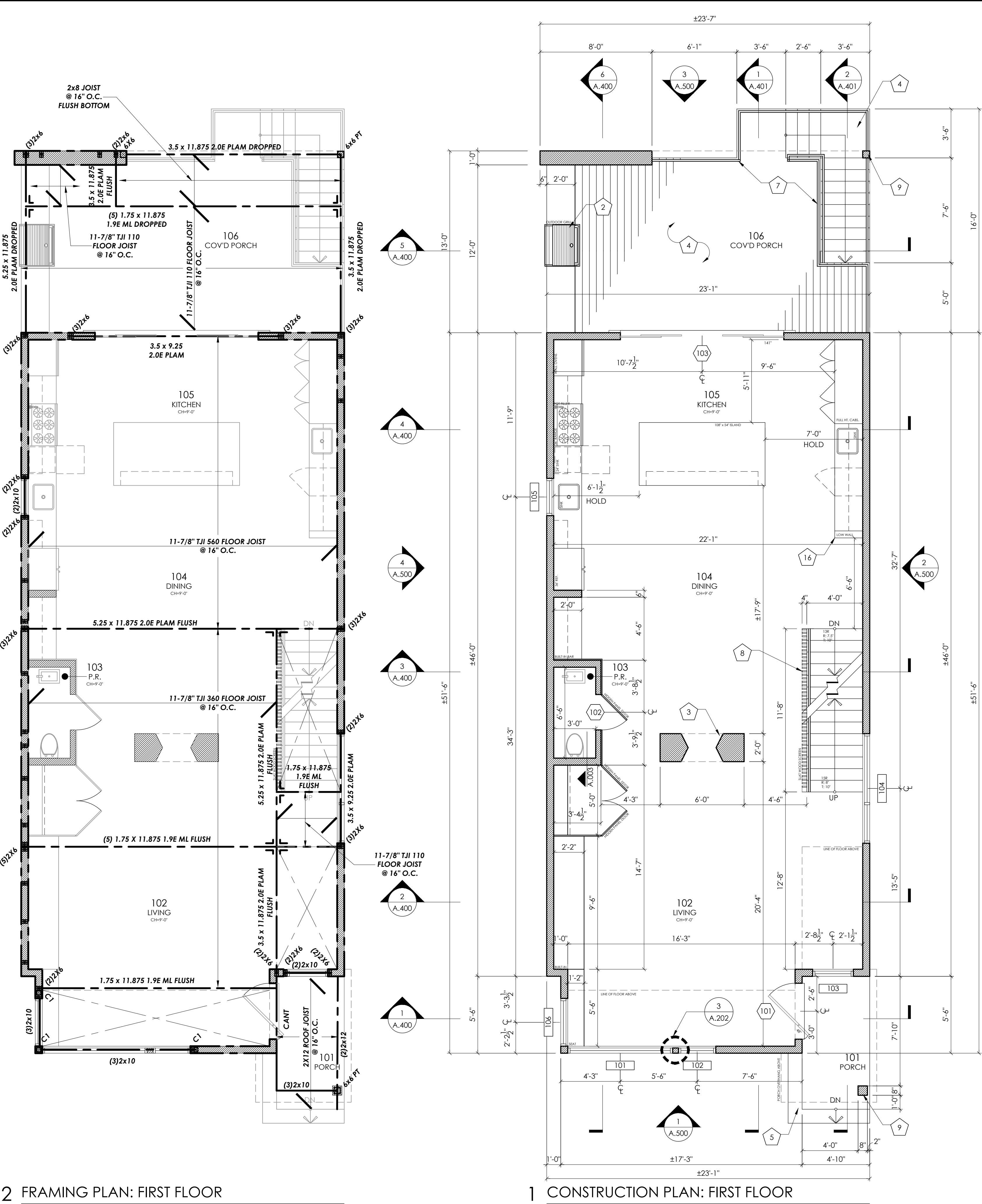
1. ALL EXTERIOR DOORS TO BE PELLA OR EQUAL, CATALOG NUMBER AS INDICATED ON DRAWINGS.
2. PRIOR TO ORDERING AND FRAMING, CONTRACTOR SHALL VERIFY SPECIFICATION AND SIZE.
3. DIMENSIONS PROVIDE ARE FINISH DOOR OPENINGS, CONTRACTOR SHALL PROVIDE FOR ROUGH OPENING AS NECESSARY.
4. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL FINISH HARDWARE. HARDWARE TO BE FURNISHED SHALL BE BEST QUALITY EQUAL TO "BALDWIN HARDWARE", "SCHLAGE" OR APPROVED EQUAL. HARDWARE SUPPLIER SHALL WRAP HARDWARE IN SEPARATE PACKAGES, COMPLETE WITH TRIMMING, SCREWS, ETC., DISTINCTLY LABELED WITH ITEM NUMBER AND DOOR NUMBER FOR EACH OPENING. ALL LOCKS TO BE MASTER KEYED AND TWO COPIES OF ALL KEYS SHALL BE SUPPLIED TO OWNER.
5. INTERIOR DOORS SHALL HAVE APPROVED WALL BUMPERS OR FLOOR STOPS.
- 6.Door VENEERS, EDGES, CORES, WORKMANSHIP, ETC. SHALL CONFORM TO "PREMIUM GRADE" TYPE A1, IN ACCORDANCE WITH THE LATEST EDITION OF "QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK INDUSTRY" PUBLISHED BY THE ARCHITECTURAL WOODWORK INSTITUTE.
- 7.WOOD DOORS SHALL BE MANUFACTURED BY ONE OF THE FOLLOWING: STANLEY, MORGAN DOOR CO. OR APPROVED EQUAL. DOOR THICKNESS TO BE 1-3/8". COLOR AND STYLE TO BE SELECTED BY OWNER.
8. PROVIDE AND INSTALL ALL DOORS AND RELATED TRIM AS SHOWN IN DRAWINGS. PREPARE ROUGH OPENINGS AND INSTALL UNITS PER MANUFACTURERS REQUIREMENTS.
- 9.ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED. PROVIDE COMPLETE WEATHERSTRIPPING OF JAMBS, HEAD AND SILL AT ALL EXTERIOR OPENINGS.



3 TYP. DOOR JAMB OFFSET

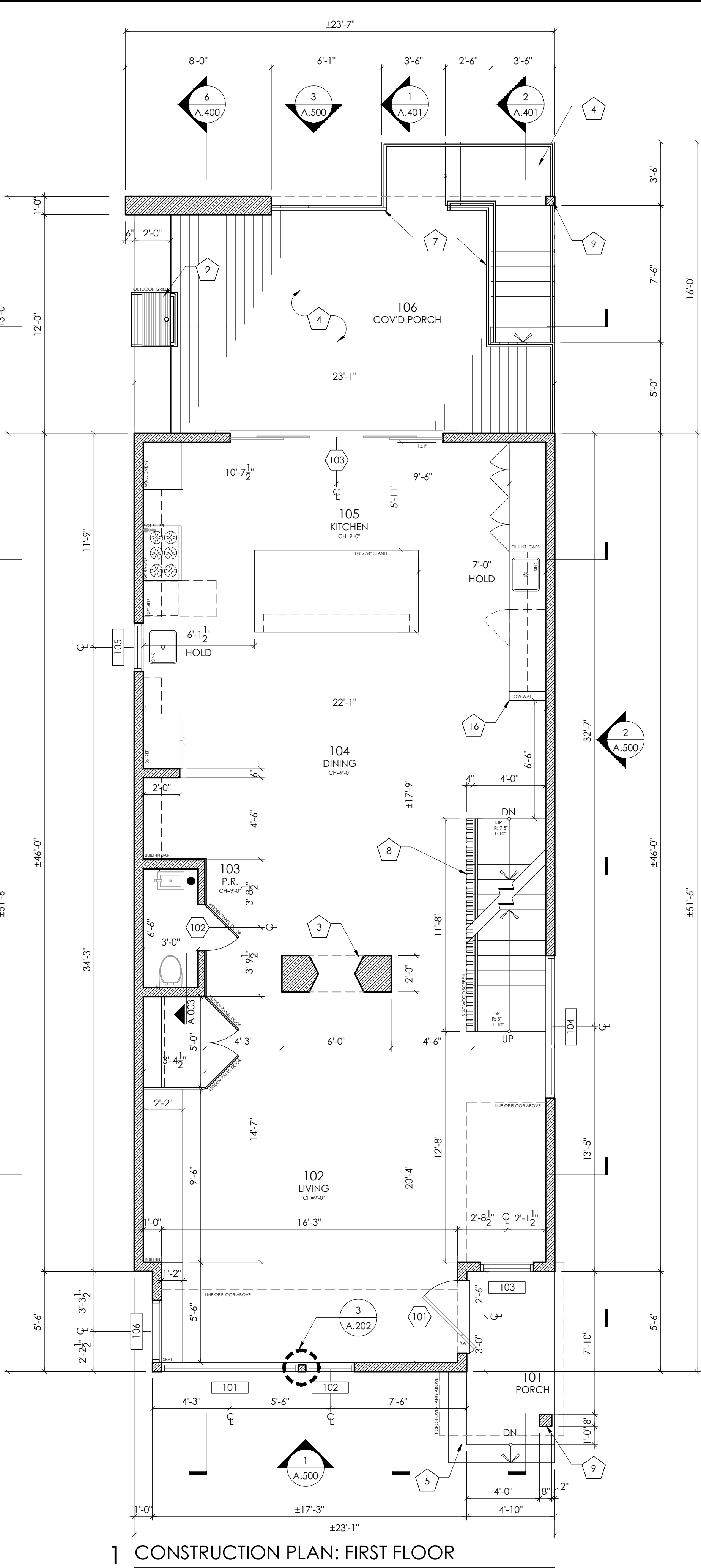
SCALE: N.T.S.

NOTE:
TYPICAL DOOR JAMB OFFSET, U.N.O.



2 FRAMING PLAN: FIRST FLOOR

SCALE: 1/4"=1'-0"



1 CONSTRUCTION PLAN: FIRST FLOOR

SCALE: 1/4"=1'-0"

FRAMING NOTES

1. SEE A.203 FOR ALL STRUCTURAL NOTES.

2. ALL POST TO BE CONTINUOUS (OR ADD BLOCKING) AND TO SUPPORTED ON THE BEAM BELOW OR ON THE FOUNDATION BELOW (TYP)

3. PROVIDE FULL DEPTH BLOCKING BETWEEN POST UP AND POST DOWN (TYP)

4. HEADERS: (2)2x10 MIN. U.O.N

5. ALL BEAM TO BEAM CONNECTION W/ USP OR SIMPSON CONNECTOR, FOR FULL CAPACITY. (TYP)

6. ALL PSL BEAMS TO BE SUPPORTED ON PSL POST FOR FULL WIDTH BEARING. NOT ALL POSTS SHOWN ON PLANS.

7. ASSUMED SOIL CAPACITY: 2,000 PSF, FIELD VERIFY.

FOUNDATION INFO.

FOUNDATION WALL	
@ CELLAR	10" THICK (U.O.N.)
@ MASONRY STAIR	8" THICK (U.O.N.)
ELEVATION DATUMS	
B.O. FOOTING	
@ CELLAR	MATCH EXISTING
@ MASONRY STAIR	42" BELOW GRADE
T.O. F.W.	-15 5/8"
T.O. F.W. SHOE BLOCK	-3 3/4"

STRUCTURAL LOADS			
LEVEL	LIVE OG	DEAD OG	TOTAL OG
CELLAR			
1ST FL	40 PSF	20 PSF	60 PSF
2ND FL	40 PSF	20 PSF	60 PSF
ROOF	30 PSF	20 PSF	50 PSF
WIND SPEED			115 MPH

COLUMN SCHEDULE	
NO.	DESCRIPTION
C-1	STEEL COLUMN. HSS 3-1/2"x3-1/2" x 1/4" WITH WELDED 1/2" THICK CAP AND BASE PLATE AND W/ (4) 1/2" DIA. ANCHOR BOLTS IN BASE PLATE TO FOUNDATION OR PIER.

CONSTRUCTION LEGEND

1

CUSTOM TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.

2

GC TO PROVIDE GAS LINE FOR NEW GRILL.

3

GAS FIREPLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.

4

NEW WOOD/COMPOSITE DECKING & STAIR TO BE SELECTED BY OWNER.

5

MASONRY STAIR W/ LIMESTONE TREADS.

6

36" HIGH METAL AND CABLE GUARD RAIL SYSTEM TO BE SELECTED BY OWNER AND INSTALLED AS PER MANUFACTURER.

7

GUARD WITH POST AT SIDES OF STAIRS AND RAILINGS. OWNER SELECT WOOD OR PVC RAILING.

8

CEDAR SLAT WOOD SCREEN WALL, AS SELECTED. 4" MAX. HORIZONTAL & VERTICAL SPACING. PER IRC 1607.8.1.1 SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS.

9

STRUCTURAL COLUMN AS SELECTED.

10

FILL TO MATCH AND ALIGN WITH ADJACENT MATERIALS.

11

5" CONT. ALUM. GUTTER WITH 4" ALUMINUM DOWNSPOUTS. OWNER TO SELECT FINISH.

12

EPDM ROOFING. PITCHED AS PER PLAN.

13

STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C., COLOR TO BE SELECTED BY OWNER.

14

6" SCUPPER SET 4" ABOVE ROOF LINE. PROVIDE OVERFLOW.

15

PIN TO EXISTING FOUNDATION WALLS & FOOTING AS POSSIBLE w/ (2) #4 REBAR, DRILLED AND EPOXY SET.

16

36" HIGH WALL WITH CAP AS SELECTED.

17

WASHER AND DRYER, OWNER TO SELECT. NEW WASHER MACHINE TO BE SET IN DRAINAGE BASIN WITH EMERGENCY SHUT OFF VALVE AND TRAP PRIMER. PROVIDE 4" DIA. EXHAUST FOR DRYER.

18

WATERPROOF VINYL MEMBRAN SYSTEM BY DURADECK OR EQUAL. PITCH TO DRAIN AS PER PLAN.

19

RETAINING WALLS. SEE CIVIL DRAWINGS FOR HEIGHT.

ELEVATION DATUMS

CELLAR	-8'-2"
COVERED PATIO	-8'-0"
FIRST	0'-0"
COVERED PORCH	0'-0"
SECOND	10'-1 3/4"
ATTIC	20'-3 1/2"
T.O. ROOF DECK	20'-3 1/2"

PERMIT SET

PLAN ARCHITECTURE
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dan@plnarc.com
T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

PROJECT:

PROPOSED NEW CONSTRUCTION FOR
THE PROPOSED RESIDENCE

FLOOR OR FLOORS (IF APPLICABLE):

FIRST

CONSTRUCTION & FRAMING PLAN, DOOR SCHED.

SEAL & SIGNATURE:

DATE: NOV. 3, 2020

PROJECT NO.: 19-0611

SCALE: AS NOTED

DWG. BY: JLD/WAG

CHK BY: DD

DWG NO.: A.201

ALL INTERIOR WALLS TO BE TYPE A-001. U.N.O. SEE WALL PARTITION SCHEDULE ON A.000 FOR WALL ASSEMBLIES.

SEE SHEET A.201 FOR DOOR AND A.202 FOR WINDOW SCHEDULES.

SEE TYP. STAIR AND RAIL DETAIL 7 ON SH. A.400

SEE TYP.WALL SECTIONS ON SHEET A.600.

APPLIANCES TO BE SELECTED BY OWNER.

PLUMBING FIXTURES TO BE SELECTED BY OWNER.

FINISHES TO BE SELECTED BY OWNER.

CABINETS AND COUNTERTOPS TO BE SELECTED BY OWNER.

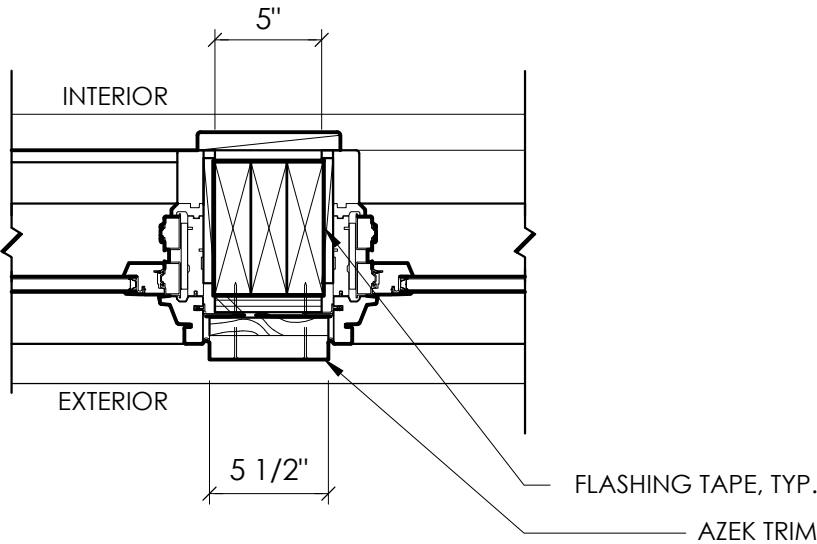
SHELVING SYSTEMS TO BE SELECTED BY OWNER.

ALL INTERIOR STAIRS TO BE STAINED OAK TREAD W/ PAINT GRADE PINE RISER, W/ CONTINUOUS WOOD HAND RAIL, SPACE HANDRAIL 1-1/2" FROM WALL. COLOR TO BE SELECTED BY OWNER.-ALL GUARD RAILS TO BE 36" A.F.F.

WINDOW SCHEDULE								
NUMBER	VENTING TYPE	MODEL	WIDTH	HEIGHT	HEAD HEIGHT	EGRESS	TEMP	REMARKS
101	FIXED	9090	90"	90"	96"	N	Y	
102	TRANS. OVER CASEMENT	3225 OVER 3265	32"	90"	96"	N	Y	GANGED
103	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90"	96"	N	Y	GANGED
104	(3)TRANS. OVER CASEMENT	3525, 5925 OVER 3565	94" OVER 35"	90"	96"	N	Y	GANGED, SEE ELEVATION
105	CASEMENT	3253	32"	53"	96"	N	N	
106	FIXED	4190	41"	90"	96"	N	Y	
201	FIXED	9090	90"	90"	218" ABOVE 1ST FLR	N	Y	
202	TRANS. OVER CASEMENT	3225 OVER 3265	32"	90"	218" ABOVE 1ST FLR	N	N	GANGED
203	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90"	218" ABOVE 1ST FLR	N	N	GANGED
204	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90"	96"	N	Y	GANGED
205	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90"	96"	Y	N	GANGED
206	FIXED	4741	47"	41"	96"	N	Y	WET LOC.
207	CASEMENT	3253	32"	53"	96"	N	Y	
208	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90"	96"	Y	N	GANGED
209	FIXED	4717	47"	17"	96"	N	Y	
210	CASEMENT	2553	25"	53"	96"	N	Y	
211	FIXED	4717	47"	17"	96"	N	Y	
212	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90"	96"	Y	N	GANGED
213	FIXED	4190	41"	90"	218" ABOVE 1ST FLR	N	Y	
301	CASEMENT	(3)3547	105"	47"	96"	N	Y	GANGED

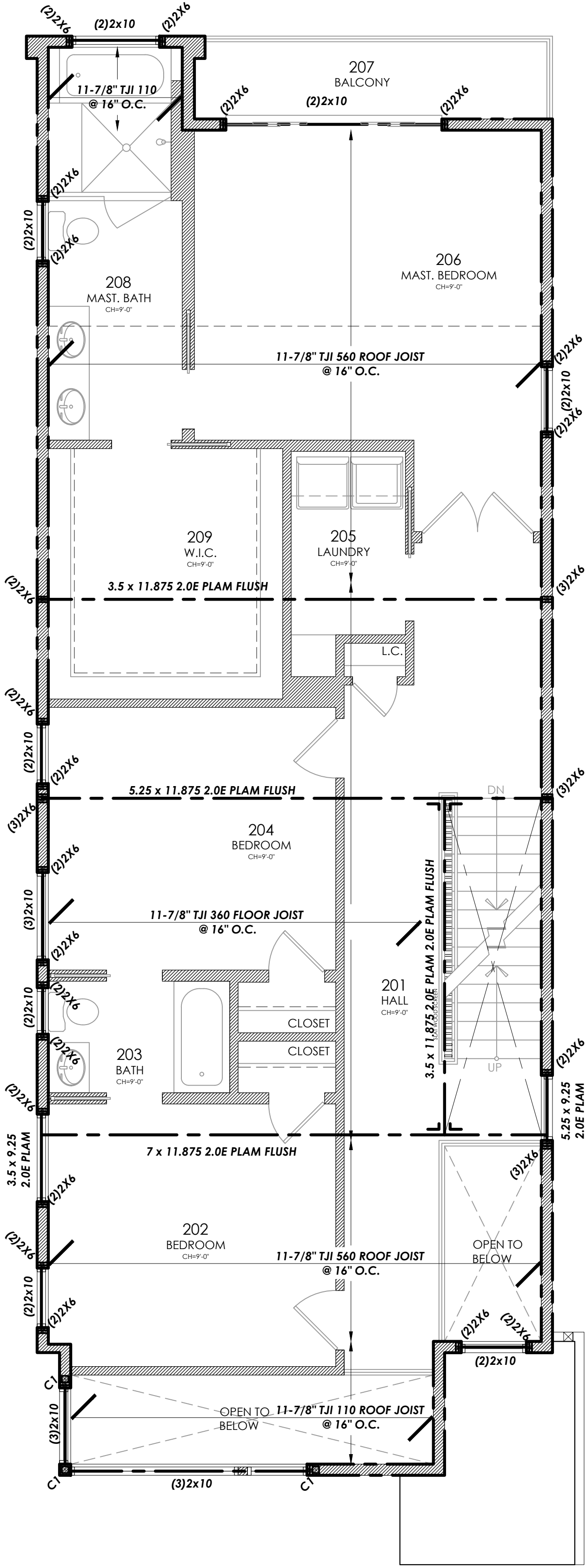
WINDOW NOTES

1. ALL WINDOWS AND GLASS DOORS TO BE PELLA PROLINE SERIES OR EQUAL. CATALOG NUMBER AS INDICATED ON DRAWINGS WITH LOW-E4/LOW-E GLASS. PRIOR TO ORDERING AND FRAMING, CONTRACTOR SHALL VERIFY SPECIFICATION, SIZE, ROUGH OPENING AND LOCATION OF WINDOWS.
2. IN CONJUNCTION WITH THE OWNER OR OWNER'S INTERIOR DECORATOR, CONTRACTOR SHALL VERIFY FINISHES AND HARDWARE. FOR BIDDING PURPOSES, ASSUME WHITE EXTERIOR, PINE INTERIOR, STANDARD CAM LOCK & KEEPER, CLASSIC SERIES FINGER LIFTS ALL WITH SATIN NICKEL FINISH. WINDOW SCREENS SHALL BE TRUSCENE INSECT SCREENS.
3. WINDOW OPENING LIMITING DEVICES SHALL BE INSTALLED AT WINDOWS WHERE THE WINDOW SILL IS LOCATED GREATER THAN 72" ABOVE THE FINISH GRADE TO THE EXTERIOR AND THE SILL IS LOCATED WITHIN 24" OF THE FINISHED FLOOR THE WINDOW IS LOCATED. WINDOW OPENING LIMITING DEVICES SHALL BE SELF ACTING AND POSITIONED TO PROHIBIT THE FREE PASSAGE OF A 4" DIAMETER RIGID SPHERE. LIMITING DEVICE SHALL BE DESIGNED WITH AN EMERGENCY RELEASE MECHANISM REQUIRING NO MORE THAN 15 POUNDS OF FORCE, OPERATES IN ALL TYPES OF WEATHER, CLEARLY IDENTIFIED AND NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT BELOW CODE MINIMUM.
4. PROVIDE AND INSTALL ALL WINDOWS AND RELATED TRIM AS SHOWN IN DRAWINGS. PREPARE ROUGH OPENINGS AND INSTALL UNITS PER MANUFACTURERS REQUIREMENTS.
5. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED. PROVIDE COMPLETE WEATHERSTRIPPING OF JAMBS, HEAD AND SILL AT ALL EXTERIOR OPENINGS



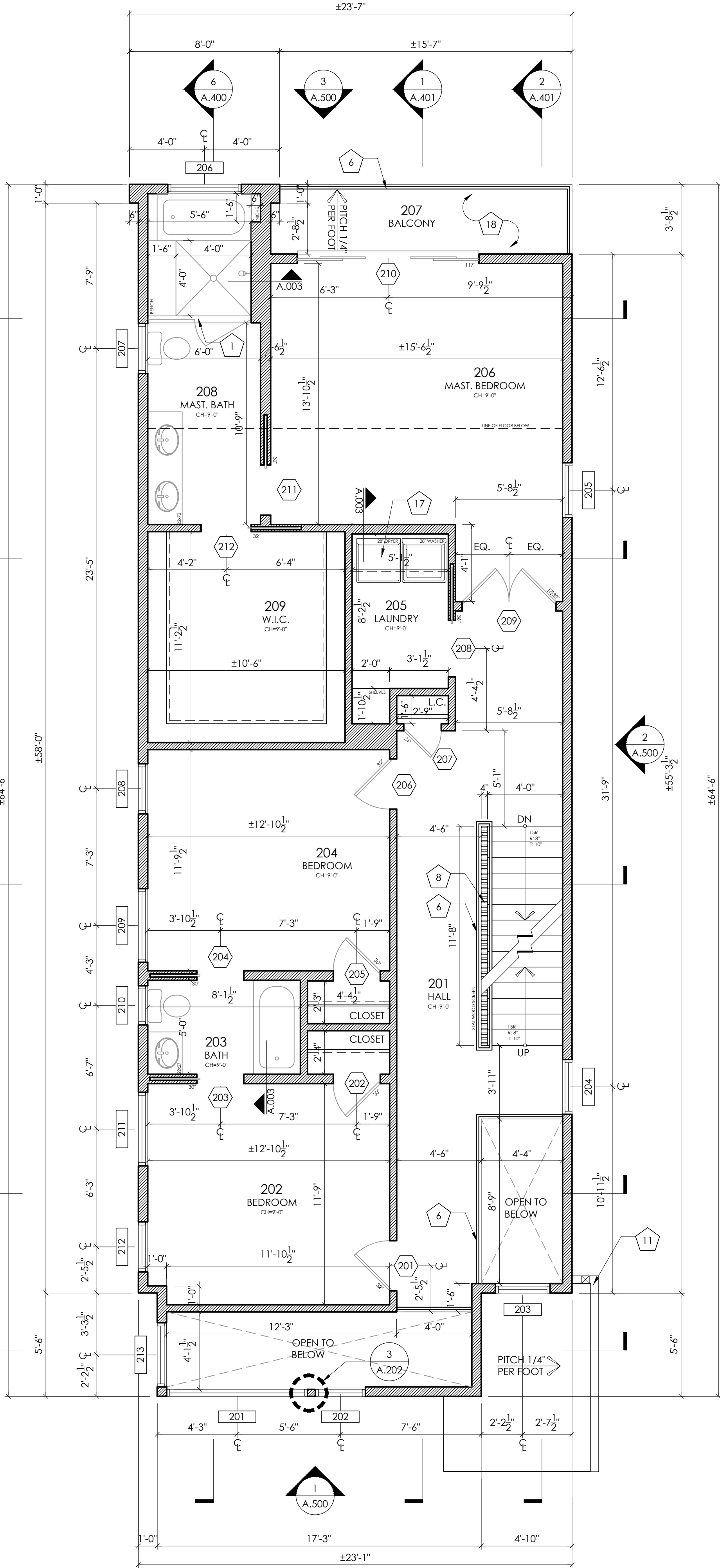
3 WINDOW JOINERY DETAIL

SCALE: 1" = 1'-0"



2 FRAMING PLAN: SECOND FLOOR

SCALE: 1/4"=1'-0"



1 CONSTRUCTION PLAN: SECOND FLOOR

SCALE: 1/4"=1'-0"

FRAMING NOTES

- SEE A.203 FOR ALL STRUCTURAL NOTES.
- ALL POST TO BE CONTINUOUS (OR ADD BLOCKING) AND TO SUPPORTED ON THE BEAM BELOW OR ON THE FOUNDATION BELOW (TYP)
- PROVIDE FULL DEPTH BLOCKING BETWEEN POST UP AND POST DOWN (TYP)
- HEADERS: (2)2x10 MIN. U.O.N
- ALL BEAM TO BEAM CONNECTION W/ USP OR SIMPSON CONNECTOR, FOR FULL CAPACITY. (TYP)
- ALL PSL BEAMS TO BE SUPPORTED ON PSL POST FOR FULL WIDTH BEARING. NOT ALL POSTS SHOWN ON PLANS.
- ASSUMED SOIL CAPACITY: 2,000 PSF, FIELD VERIFY.

FOUNDATION INFO.

FOUNDATION WALL	
@ CELLAR	10" THICK (U.O.N.)
@ MASONRY STAIR	8" THICK (U.O.N.)
ELEVATION DATUMS	
B.O. FOOTING	
@ CELLAR	MATCH EXISTING
@ MASONRY STAIR	42" BELOW GRADE
T.O. F.W.	-15 5/8"
T.O. F.W. SHOE BLOCK	-3 3/4'

STRUCTURAL LOADS

LEVEL	LIVE OG	DEAD OG	TOTAL OG
CELLAR			
1ST FL	40 PSF	20 PSF	60 PSF
2ND FL	40 PSF	20 PSF	60 PSF
ROOF	30 PSF	20 PSF	50 PSF
WIND SPEED			115 MPH

COLUMN SCHEDULE

NO.	DESCRIPTION
C-1	STEEL COLUMN. HSS 3-1/2"x3-1/2" x 1/4" WITH WELDED 1/2" THICK CAP AND BASE PLATE AND W/ (4) 1/2" DIA. ANCHOR BOLTS IN BASE PLATE TO FOUNDATION OR PIER.

CONSTRUCTION LEGEND

- CUSTOM TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
- GC TO PROVIDE GAS LINE FOR NEW GRILL.
- GAS FIREPLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
- NEW WOOD/COMPOSITE DECKING & STAIR TO BE SELECTED BY OWNER.
- MASONRY STAIR W/ LIMESTONE TREADS.
- 36" HIGH METAL AND CABLE GUARD RAIL SYSTEM TO BE SELECTED BY OWNER AND INSTALLED AS PER MANUFACTURER.
- GUARD WITH POST AT SIDES OF STAIRS AND RAILINGS. OWNER SELECT WOOD OR PVC RAILING.
- CEDAR SLAT WOOD SCREEN WALL, AS SELECTED. 4" MAX. HORIZONTAL & VERTICAL SPACING. PER IRC 1607.8.1.1 SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS.
- STRUCTURAL COLUMN AS SELECTED.
- FILL TO MATCH AND ALIGN WITH ADJACENT MATERIALS.
- 5" CONT. ALUM. GUTTER WITH 4" ALUMINUM DOWNSPOUTS. OWNER TO SELECT FINISH.
- EPDM ROOFING. PITCHED AS PER PLAN.
- STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C., COLOR TO BE SELECTED BY OWNER.
- 6" SCUPPER SET 4" ABOVE ROOF LINE. PROVIDE OVERFLOW.
- PIN TO EXISTING FOUNDATION WALLS & FOOTING AS POSSIBLE w/ (2) #4 REBAR, DRILLED AND EPOXY SET.
- 36" HIGH WALL WITH CAP AS SELECTED.
- WASHER AND DRYER, OWNER TO SELECT. NEW WASHER MACHINE TO BE SET IN DRAINAGE BASIN WITH EMERGENCY SHUT OFF VALVE AND TRAP PRIMER. PROVIDE 4" DIA. EXHAUST FOR DRYER.
- WATERPROOF VINYL MEMBRAN SYSTEM BY DURADECK OR EQUAL. PITCH TO DRAIN AS PER PLAN.
- RETAINING WALLS. SEE CIVIL DRAWINGS FOR HEIGHT.

ELEVATION DATUMS

CELLAR	-8'-2"
COVERED PATIO	-8'-0"
FIRST	0'-0"
COVERED PORCH	0'-0"
SECOND	10'-1 3/4"
ATTIC	20'-3 1/2"
T.O. ROOF DECK	20'-3 1/2"

PERMIT SET

PLAN ARCHITECTURE

125 PATERSON AVE, Second Floor
Little Falls, NJ 07424

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T: 973-837-8399

REVISIONS:		
NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED NEW CONSTRUCTION FOR
THE PROPOSED RESIDENCE

FLOOR OR FLOORS (IF APPLICABLE):
SECOND
CONSTRUCTION & FRAMING PLAN, WINDOW SCHED.

SEAL & SIGNATURE: _____

DATE: NOV. 3, 2020
PROJECT NO.: 19-0611
SCALE: AS NOTED
DWG. BY: JLD/WAG
CHK. BY: DD
DWG NO.: _____

A.202

DANIEL D'AGOSTINO, A.I.A.
N.J. LIC. NO. 21401880000

STRUCTURAL NOTES

WOOD FRAMING:

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO.2 OR BETTER MEETING THE ALLOWABLE STRESS REQ'S OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION. USE THE FOLLOWING SPECIFICATIONS, UNLESS NOTED OTHERWISE.

ALL LUMBER: DOUGLAS FIR NO.2 OR BETTER CAPABLE OF DEVELOPING THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
2x4: Fb (SINGLE) = 1,350, Fb (REPETITIVE) = 1,552, Ft = 862 psi, Fc LL = 1,552 psi
2x6: Fb (SINGLE) = 1,170, Fb (REPETITIVE) = 1,345, Ft = 747 psi, Fc LL = 1,485 psi
2x8: Fb (SINGLE) = 1,080, Fb (REPETITIVE) = 1,242, Ft = 690 psi, Fc LL = 1,418 psi
2x10: Fb (SINGLE) = 990, Fb (REPETITIVE) = 1,138, Ft = 632 psi, Fc LL = 1,350 psi
2x12: Fb (SINGLE) = 900, Fb (REPETITIVE) = 1,035, Ft = 575 psi, Fc LL = 1,350 psi

LVL MICROLAM (ML) OR EQ: E = 2,000 KSI, Fb = 3,000 PSI

ANTHONY POWER BEAM (APB) OR EQ: E = 2,100 KSI

PSL PARALLAM: E = 2,000 KSI, Fb= 2,900 PSI

HEADERS: (2) 2X10 U.N.O.

JAMBS: FOR ALL HEADERS LESS THAN (2)2X10, (1)JACK STUD AND (1)FULL HEIGHT STUD SHALL BE PROVIDED, SIZE OF STUD TO BE 2X, TO MATCH WIDTH OF WALL, U.N.O.
FOR ALL HEADERS (2)2X10 OR GREATER, (2)JACK STUDS AND (1)FULL HEIGHT STUD SHALL BE PROVIDED, SIZE OF STUD TO BE 2X, TO MATCH WIDTH OF WALL, U.N.O.

2. ALL SHEATHING SHALL BE APA RATED CDX GRADE DOUGLAS FIR PLYWOOD OR BETTER.

3. ALL ENGINEERED LUMBER - TJ'S, ML'S, APB'S & GL'S ETC... SHALL BE MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR EQUAL. INSTALL ALL ENGINEERED LUMBER PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE BRIDGING BETWEEN ALL FLOOR JOISTS AT ≤ 8'-0" O.C., BRIDGING SHOULD BE 2X8 OR LARGER CROSS BRACING. PARALLAM BEAMS SHALL BE KEPT DRY THROUGH DURATION OF CONSTRUCTION.

4. PARALLAMS MAY BE PURCHASED FOR THE FULL WIDTH SPECIFIED ON DRAWINGS OR BE FASTENED TOGETHER AS FOLLOWS:
9'-1/2" AND 11'-7/8" MEMBERS - 2 ROWS OF 16d NAILS AT 12" O.C. STAGGERED TOP AND BOTTOM.
14", 16", 18" MEMBERS - 3 ROWS OF 16d NAILS AT 12" O.C., STAGGERED TOP AND BOTTOM.

5. PROVIDE BEARING PLATES AND ANCHOR BOLTS, STUDS, OR WALL ANCHORS FOR ALL WALL BEARING BEAMS.

6. INSTALLATION AND FASTENING OF ALL WOOD MEMBERS SHALL MEET THE LATEST STANDARDS OF THE RESIDENTIAL IBC OF NJ., THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, THE AMERICAN PLYWOOD ASSOCIATION AND THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION. JOIST HANGERS SHALL BE MANUFACTURED BY "SIMPSON" OR EQUAL AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL CONNECTIONS ARE TO BE MADE WITH FRAMING ANGLES.

7. PROVIDE DOUBLE MEMBERS AROUND OPENINGS MORE THAN 16" WIDE.

8. PROVIDE A MINIMUM OF TWO MEMBERS UNDER ALL PARALLEL PARTITIONS.

9. PROVIDE TEMPORARY AND PERMANENT BRACING FOR FRAMING, INCLUDING TRUSSES, TO HOLD IT SECURELY IN POSITION AT ALL TIMES.

10. USE SIMPSON TOP MOUNTED HANGERS FOR ALL WOOD APPLICATIONS.

11. ALL SPECIALTY ANCHORS AND FASTENERS ARE TO BE MANUFACTURED BY THE HILTI CORPORATION OR APPROVED EQUAL, AND ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS, INCLUDING TORQUE, EMBEDMENT, LENGTH, ETC.

12. LAP AND SPIKE ENDS OF RAFTERS OR JOISTS. ANCHOR ALL FRAMING TO WALLS NOT MORE THAN 4'-0"O.C., INCLUDING RAFTERS AND JOISTS PARALLEL TO WALLS.

13. WOOD STUD BEARING WALLS NOT FACED WITH PLYWOOD SHALL BE BRACED WITH SOLID BLOCKING AT INTERVALS NOT EXCEEDING .4 TIMES THE LENGTH OF THE STUD FOR 2X4 STUDS AND .25 TIMES THE LENGTH OF THE STUD FOR 2X6 STUDS. ALL WOOD STUDS MUST RUN CONTINUOUS FROM FLOOR TO CEILING.

14. ALL BUILT-UP COLUMNS MUST BE NAILED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" SECTION 15.3.3.

15. ALL ROOF RAFTERS SHALL BE SECURED TO BEARING POINTS W/ 1-SIMPSON H2 SEISMIC AND HURRICANE ANCHORS PER RAFTER, APPLIED TO THE OUTSIDE FACE OF WALL. ALL CONVENTIONALLY FRAMED ROOFS ARE TO HAVE 2X6 COLLAR TIES AT 32" O.C. PLACED ONE-THIRD THE DISTANCE DOWN FROM THE RIDGE.

16. WOOD SILL PLATES ARE TO BE ANCHORED TO THE FOUNDATION WALL USING 1/2" DIA. X 18" LONG ANCHOR BOLTS SPACED AT A MAX. OF 6 FEET ON CENTER, UNLESS NOTED OTHERWISE ON DRAWINGS. ANCHOR BOLTS ARE TO BE LOCATED WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION, INCLUDING ALL OPENINGS. PROVIDE SIMPSON TITAN HD BOLTS WHERE EMBEDDED ANCHORS DO NOT MEET THE ABOVE CRITERIA OR TO REPLACE MISALIGNED EMBEDDED ANCHORS.

17. ALL WOOD FRAMING MUST BE FASTENED IN ACCORDANCE TO THE FASTENER SCHEDULE FOR STRUCTURAL MEMBERS (TABLE R602.3(1) IRC) OR APFA WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM) NAILING SCHEDULE (TABLE 3.1), WHICHEVER IS MORE RESTRICTIVE.

18. CONTRACTOR MUST PROVIDE CONTINUOUS LOAD PATH FROM THE RAFTERS DOWN TO THE FOUNDATION INCLUDING, BUT NOT LIMITED TO, HURRICANE TIES FROM RAFTER TO STUDS, SIMPSON MST STRAPS FOR FLOOR-TO-FLOOR TIES AND A MINIMUM OF 1/2" WOOD STRUCTURAL PANEL SHEATHING NAILED ON THE EXTERIOR OF THE WOOD STUDS AND SILL PLATE.

19. FOUNDATION:
A. G.C. SHALL LOCATE FOUNDATION WALL AS NECESSARY FOR ALIGNMENT OF NEW AND EXISTING FINISHED EXTERIOR SURFACES.

B. ALL FOUNDATION WALLS TO BE 12" THICK ON 24"W X 12"D SPREAD FOOTINGS, UNLESS OTHERWISE NOTED.

C. BOTTOM OF ALL NEW FOOTINGS TO BE AT 3'-6" BELOW GRADE, MIN.

D. TIE AND KEY ALL NEW FOUNDATIONS AND FOOTINGS TO EXISTING FOUNDATION WALLS. WHERE NECESSARY, STEP DOWN TO MEET EXISTING FOOTING @ 1:2, RISE:RUN. TIE AND KEY AS NC. USING #4 REBAR X 2'-0" @ 16" O.C. VERT. DRILLED INTO EXISTING FOUNDATION WALLS.

E. AT FOUNDATION WALL SILL, PROVIDE 1/2"x18" HEADED ANCHOR BOLTS @ 4'-0" O.C. TO 1'-0" FROM EACH CORNER AND MIN. (2) PER SILL PIECE. SET SILL LEVEL AND SECURE TO TOP OF FOUNDATION WALL ON BED OF SEALANT OR INSULATION.

F. UNDER ALL 4X4 POSTS OR LARGER, PROVIDE SOLID ENGINEERED ML LUMBER BLOCKING BETWEEN BOTTOM OF POST AND FOUNDATION SILL. FILL CELLS OF CMU WALLS WITH SOLID 3000 PSI CONCRETE GROUT, 12" EACH SIDE OF POST CENTERLINE AND 3'-0" DEEP MIN. U.N.O.

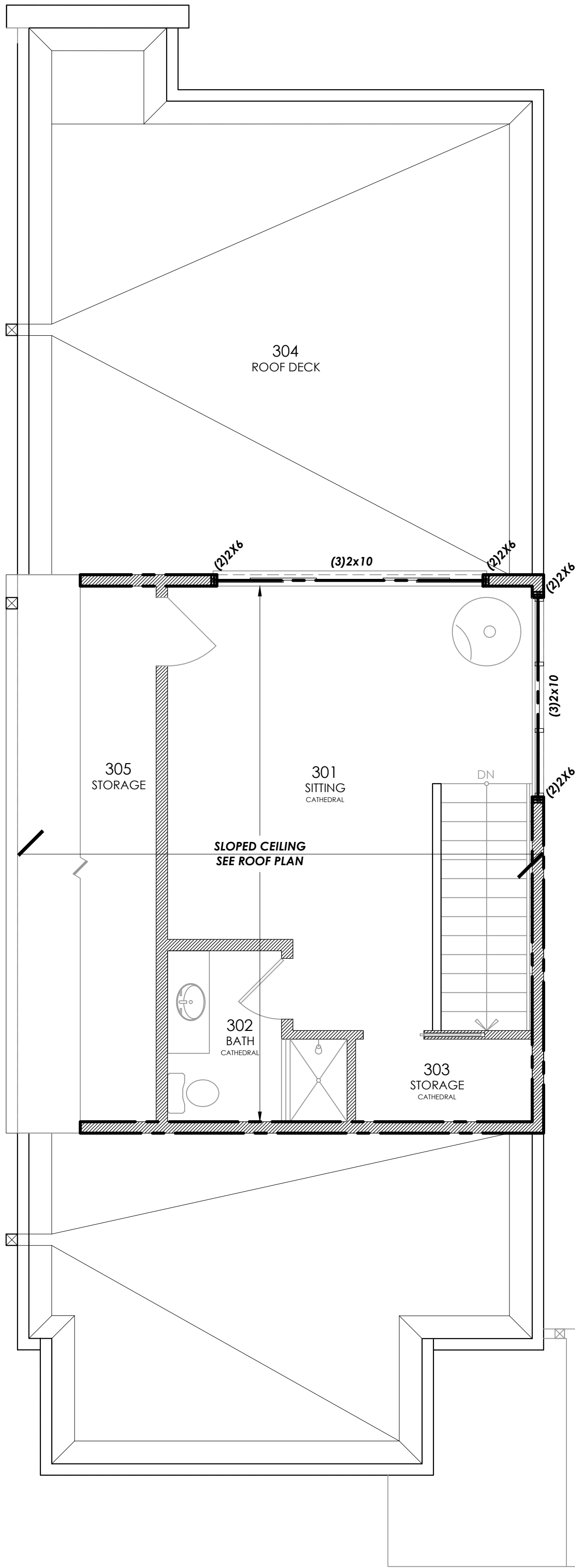
G. FOUNDATIONS AND FOOTINGS ARE DESIGNED WITH AN ASSUMED SOIL BEARING CAPACITY OF 2,000 P/SF. G.C. TO VERIFY AND NOTIFY ARCHITECT IF LESS.

20. BASEMENT SLAB:
4" CONC. SLAB (4,000 PSI) W/ 2.1x2.1x6x6WWF ON 6 MIL. VAPOR BARRIER ON 6" COMPACTED GRAVEL BASE ON UNDISTURBED SOIL (2,000 PSF) SEPARATE SLAB FROM END WALL W/ 1/2" FIBER FORM BOARD AND SEALANT.

21. CRAWL SPACE NOTES:
A. PROVIDE 2" SLUSH COAT OVER 6 MIL VAPOR BARRIER OVER 6" GRAVEL BASE.

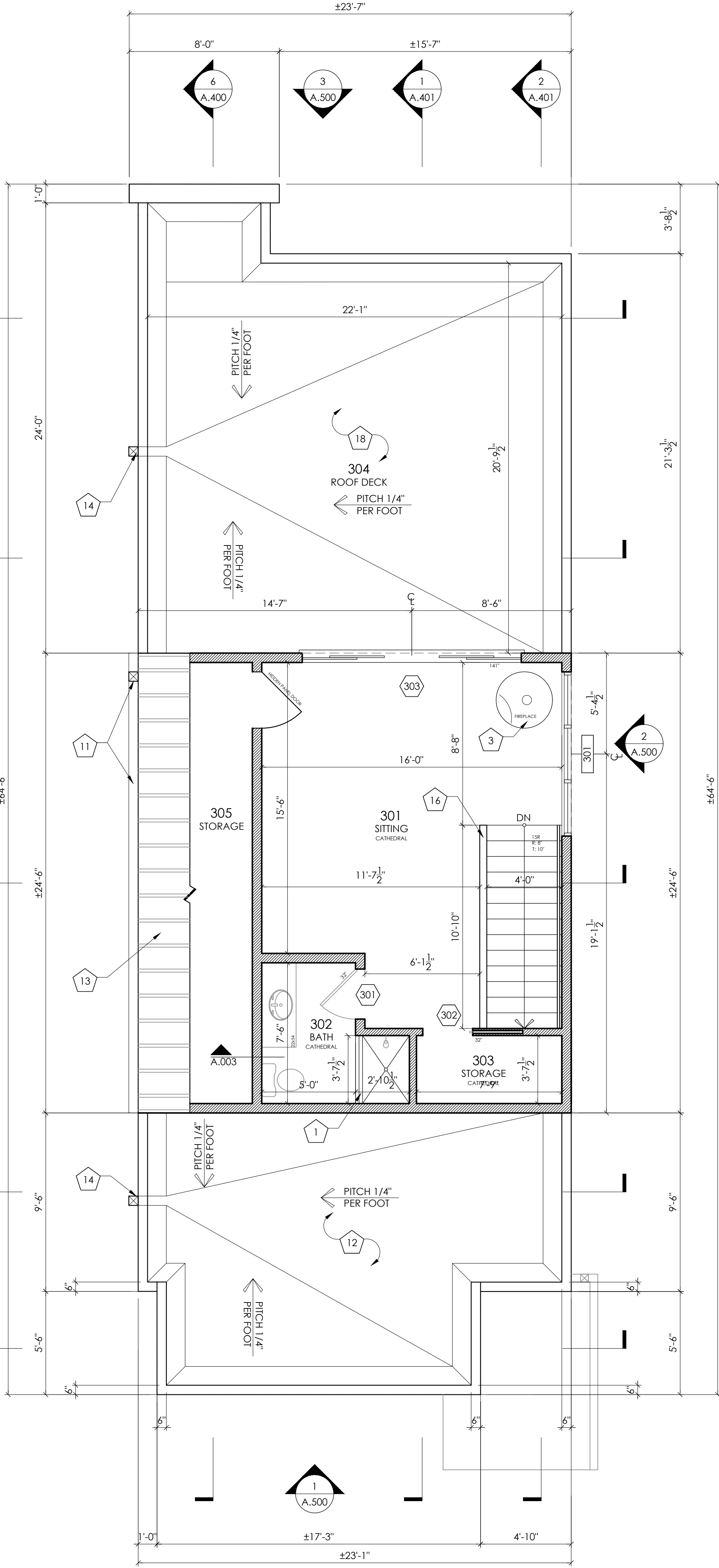
B. PROVIDE 2'-0" HIGH BY 3'-0" WIDE OPENINGS TO CRAWL SPACE, WITH WOOD PANEL ACCESS COVER WHERE INDICATED.

C. PROVIDE R-30 RIGID FOIL FACE INSULATION IN CEILING IN CRAWL SPACES, STAPLED BETWEEN JOISTS, FOIL-FACE UP.



2 FRAMING PLAN: ATTIC

SCALE: 1/4"=1'-0"



1 CONSTRUCTION PLAN: ATTIC

SCALE: 1/4"=1'-0"

FRAMING NOTES

- SEE A.203 FOR ALL STRUCTURAL NOTES.
- ALL POST TO BE CONTINUOUS (OR ADD BLOCKING) AND TO SUPPORTED ON THE BEAM BELOW OR ON THE FOUNDATION BELOW (TYP)
- PROVIDE FULL DEPTH BLOCKING BETWEEN POST UP AND POST DOWN (TYP)
- HEADERS: (2)2x10 MIN. U.O.N
- ALL BEAM TO BEAM CONNECTION W/ USP OR SIMPSON CONNECTOR, FOR FULL CAPACITY. (TYP)
- ALL PSL BEAMS TO BE SUPPORTED ON PSL POST FOR FULL WIDTH BEARING. NOT ALL POSTS SHOWN ON PLANS.
- ASSUMED SOIL CAPACITY: 2,000 PSF, FIELD VERIFY.

FOUNDATION INFO.

FOUNDATION WALL	
@ CELLAR	10" THICK (U.O.N.)
@ MASONRY STAIR	8" THICK (U.O.N.)
ELEVATION DATUMS	
B.O. FOOTING	
@ CELLAR	MATCH EXISTING
@ MASONRY STAIR	42" BELOW GRADE
T.O. F.W.	-15 5/8"
T.O. F.W. SHOE BLOCK	-3 3/4'

STRUCTURAL LOADS

LEVEL	LIVE	DEAD	TOTAL
CELLAR	OG	OG	OG
1ST FL	40 PSF	20 PSF	60 PSF
2ND FL	40 PSF	20 PSF	60 PSF
ROOF	30 PSF	20 PSF	50 PSF
WIND SPEED	115 MPH		

COLUMN SCHEDULE

NO.	DESCRIPTION
C-1	STEEL COLUMN. HSS 3-1/2X3-1/2" x 1/4" WITH WELDED 1/2" THICK CAP AND BASE PLATE AND W/ (4) 1/2" DIA. ANCHOR BOLTS IN BASE PLATE TO FOUNDATION OR PIER.

CONSTRUCTION LEGEND

- CUSTOM TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
- GC TO PROVIDE GAS LINE FOR NEW GRILL.
- GAS FIREPLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
- NEW WOOD/COMPOSITE DECKING & STAIR TO BE SELECTED BY OWNER.
- MASONRY STAIR W/ LIMESTONE TREADS.
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- RETAINING WALLS. SEE CIVIL DRAWINGS FOR HEIGHT.

ELEVATION DATUMS

CELLAR	-8'-2"
COVERED PATIO	-8'-0"
FIRST	0'-0"
COVERED PORCH	0'-0"
SECOND	10'-1 3/4"
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T: 973-637-8399

REVISIONS:

NO.	DESCRIPTION	YEAR/NO.

PROJECT: PROPOSED NEW CONSTRUCTION FOR
THE PROPOSED RESIDENCE

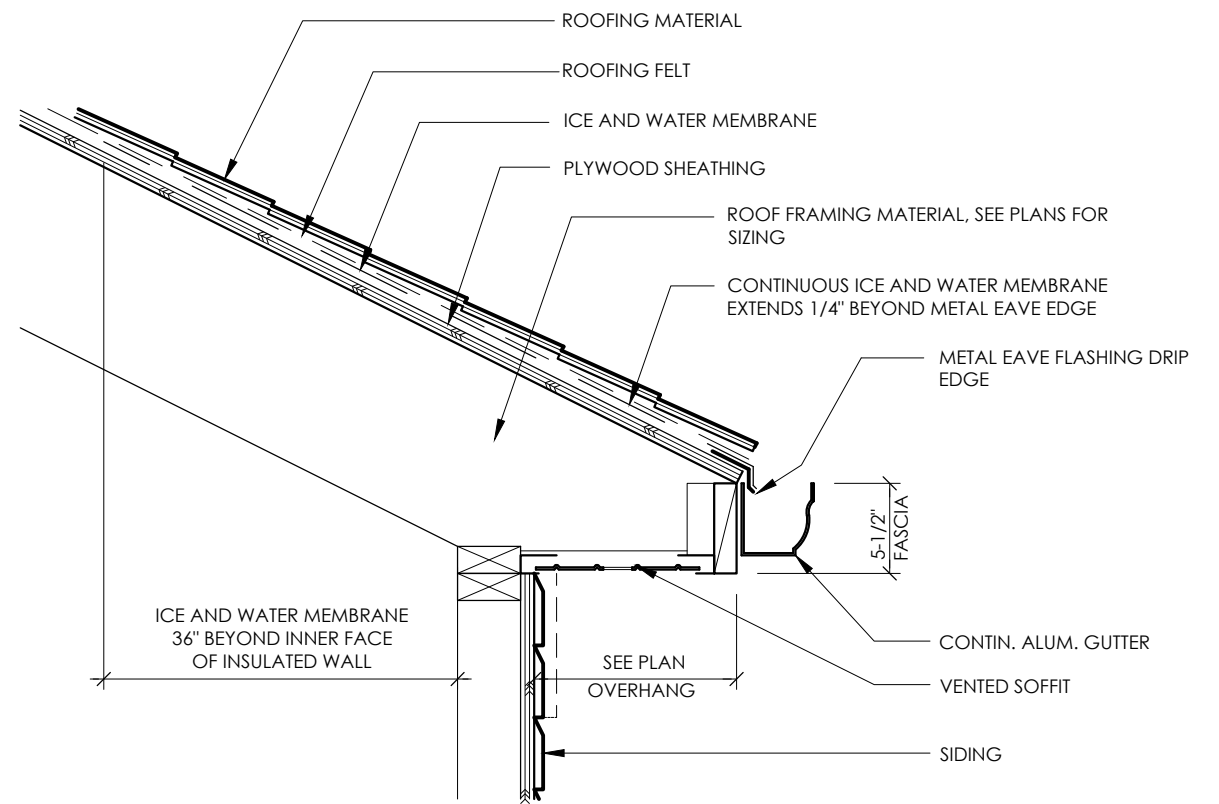
FLOOR OR FLOORS (IF APPLICABLE):

ATTIC
CONSTRUCTION & FRAMING PLAN

SEAL & SIGNATURE: _____ DATE: NOV. 3, 2020
PROJECT NO.: 19-0611
SCALE: AS NOTED
DWG. BY: JLD/WAG
CHK BY: DD
DWG NO.: _____

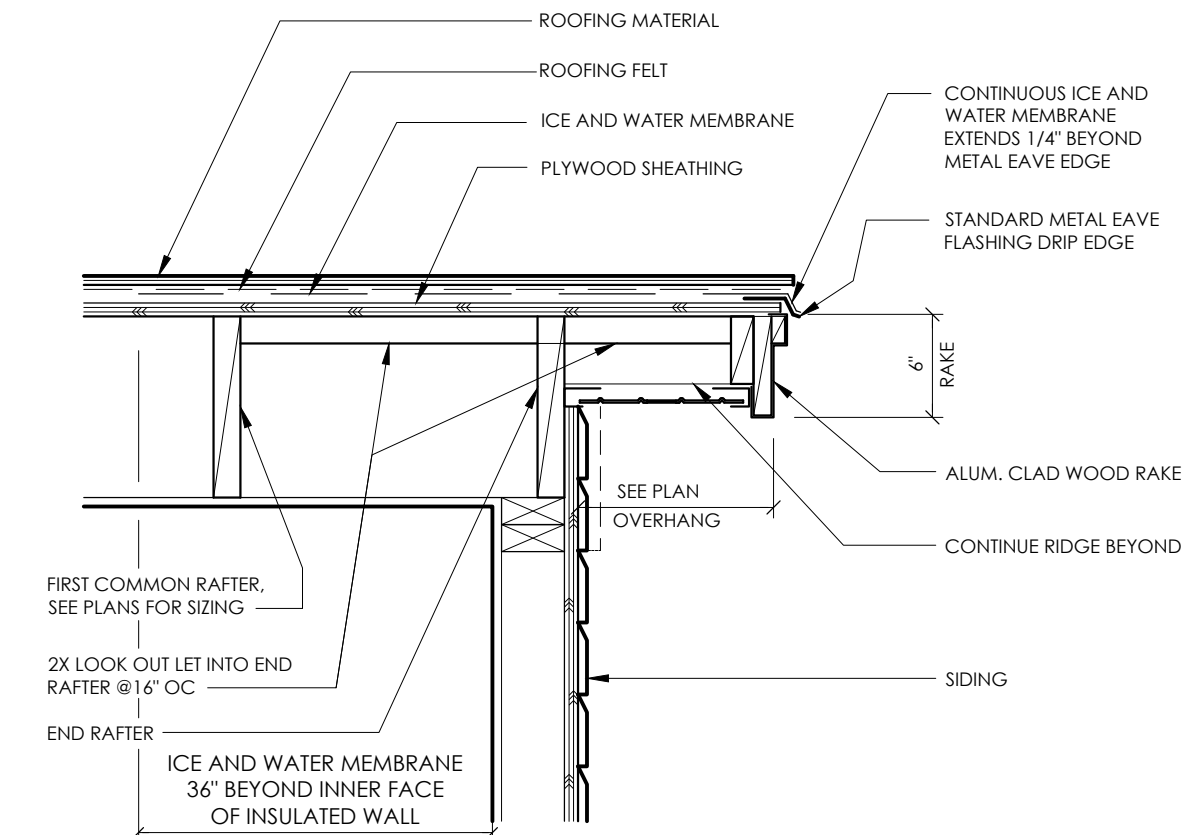
A.203
DANIEL D'AGOSTINO, A.I.A.
N.J. LIC. NO. 21401880000

-ALL INTERIOR WALLS TO BE TYPE A-001. U.N.O. SEE WALL PARTITION SCHEDULE ON A.000 FOR WALL ASSEMBLIES.
-SEE SHEET A.201 FOR DOOR AND A.202 FOR WINDOW SCHEDULES.
-SEE TYP. STAIR AND RAIL DETAIL 7 ON SH. A.400
-SEE TYP. WALL SECTIONS ON SHEET A.600.
-APPLIANCES TO BE SELECTED BY OWNER.
-PLUMBING FIXTURES TO BE SELECTED BY OWNER.
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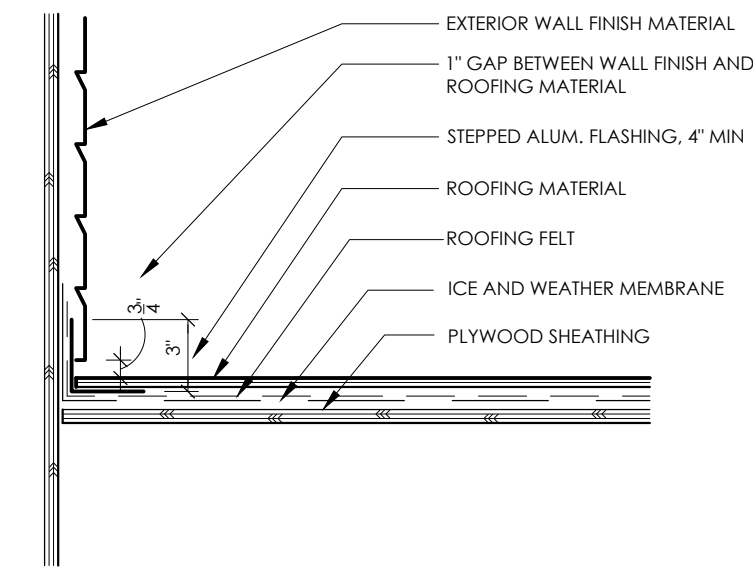
TYPICAL VENTED DETAIL

NOTE:
DIMENSIONS AND STANDARDS DEPICTED ARE MINIMUM STANDARDS OF PRACTICE. IN ALL INSTANCES,
MANUFACTURER'S INSTALLATION SPECIFICATIONS AND REQUIREMENTS SHALL SUPERCEDE THIS DETAIL.



TYPICAL ROOF RAKE DETAIL

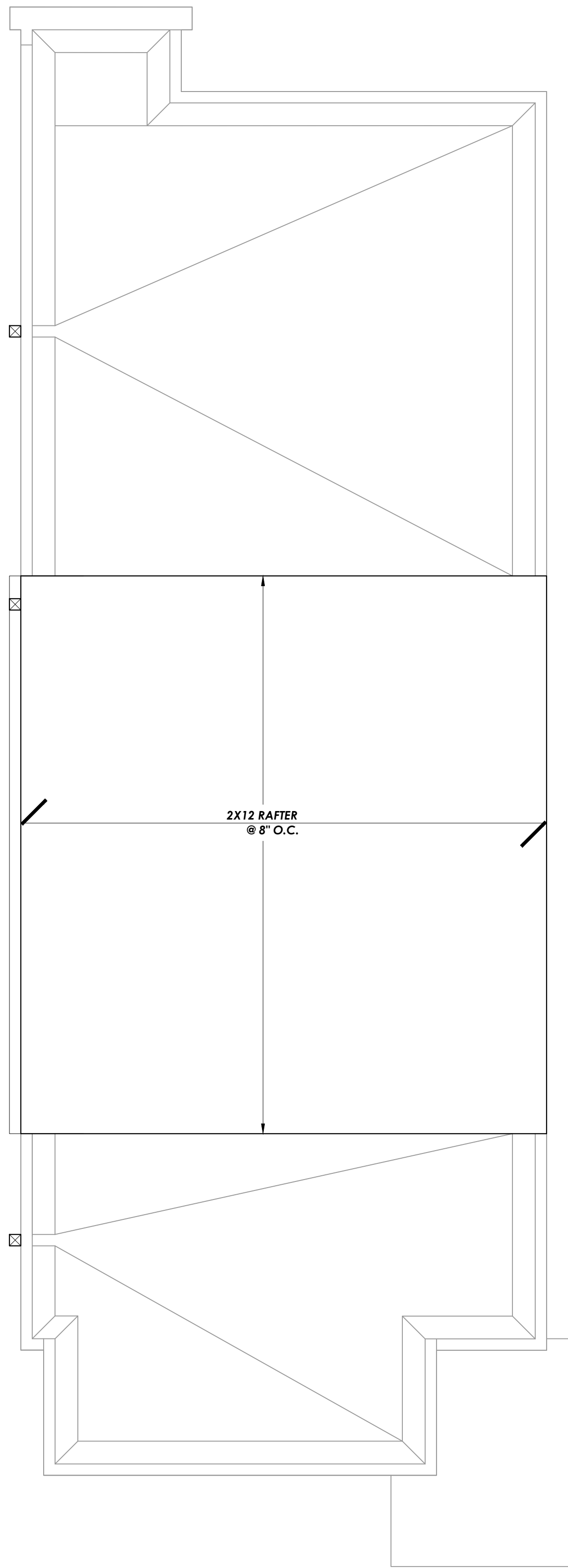
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TYPICAL ROOF SIDE/TOP WALL DETAIL

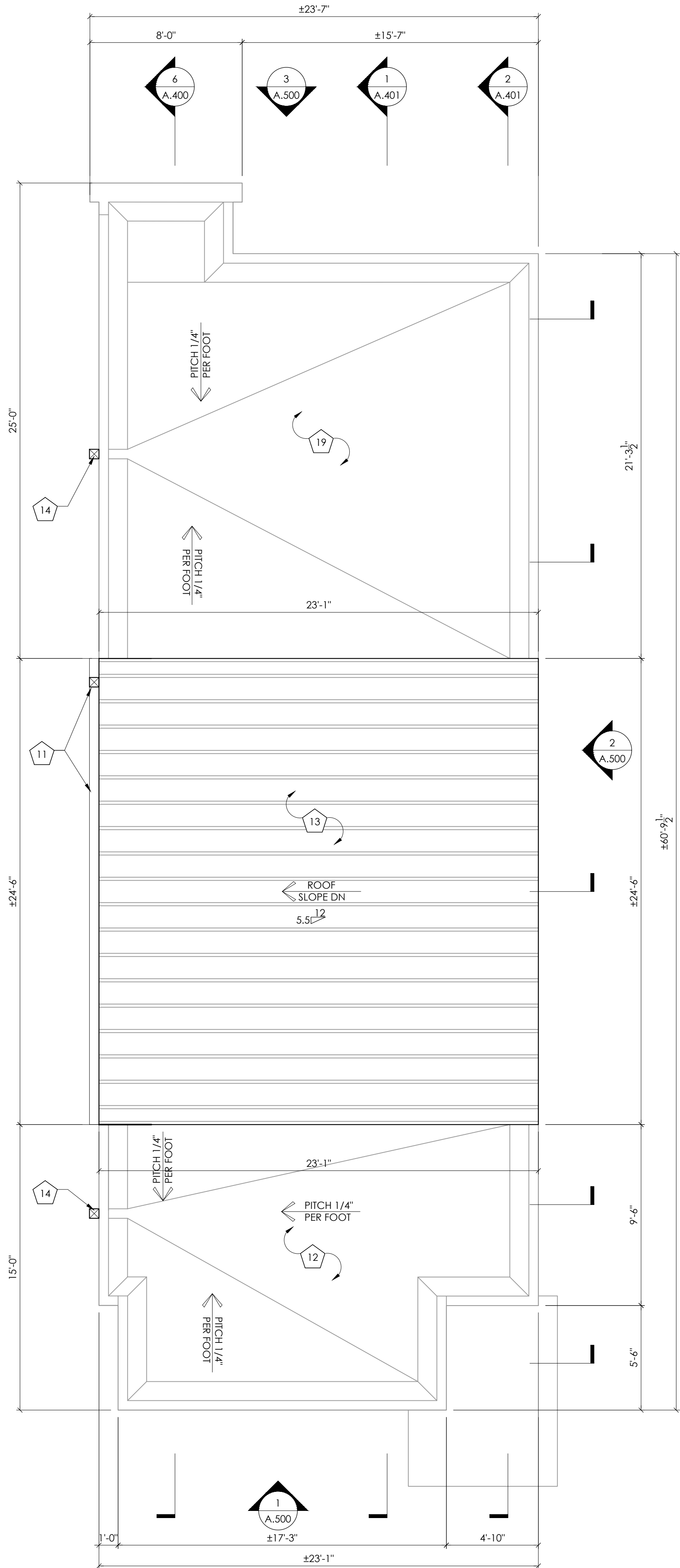
SCALE: 1-1/2" = 1'-0"

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2 FRAMING PLAN: ROOF

SCALE: 1/4"=1'-0"



1 CONSTRUCTION PLAN: ROOF

SCALE: 1/4"=1'-0"

FRAMING NOTES

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REVISIONS:		
NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED NEW CONSTRUCTION FOR
THE PROPOSED RESIDENCE

FLOOR OR FLOORS (IF APPLICABLE):
ROOF
CONSTRUCTION & FRAMING PLAN

SEAL & SIGNATURE:



DATE: NOV. 3, 2020
PROJECT NO.: 19-0611
SCALE: AS NOTED
DWG. BY: JLD/WAG
CHK BY: DD
DWG NO.:
A.204

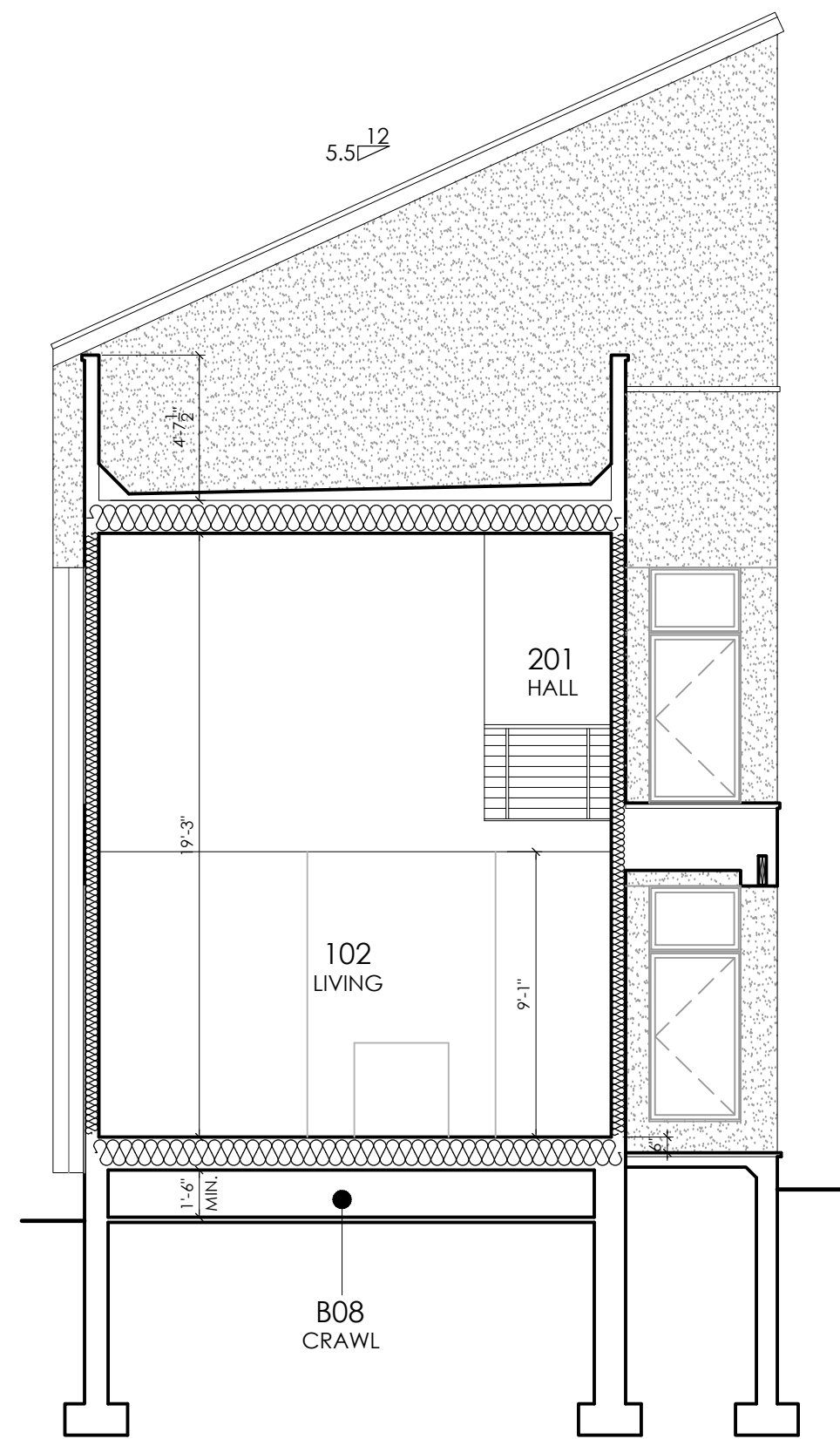
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1. GC TO INCLUDE ALL LABOR AND MATERIAL FOR LIGHT FIXTURES SPECIFIED, U.N.O.
2. GC. TO REVIEW & VERIFY ALL LOCATIONS OF PHONE JACKS AND CATV. PORTS WITH OWNER PRIOR TO ROUGHING. VERIFY THAT ALL PHONE AND CABLE JACKS ARE IN WORKING CONDITION.
3. ALL FIXTURES TO BE LIGHTGLITTER, U.N.O. ALL SWITCHES, JACKS AND OUTLET PLATES, ETC. TO BE LUTRON U.N.O. SEE SPECIFICATIONS.
4. FOR FIXTURES WITH MANUFACTURER LISTED AS "BY OWNER," GC IS TO PROVIDE LABOR AND MATERIALS REQUIRED FOR INSTALLATION ONLY. OWNER OR OTHERS SHALL PROVIDE THESE FIXTURES.
5. EXISTING ELECTRICAL PANEL TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ADEQUACY AND REPLACE OR UPGRADE AS REQUIRED.
6. GFI OUTLETS TO BE INSTALLED AS REQUIRED BY CODE, EVEN IF NOT INDICATED ON PLANS. AREAS REQUIRING GFI OUTLETS ARE AS FOLLOWS:
 1. BATHROOM RECEPTACLES
 2. RESIDENTIAL GARAGE DISPOSAL RECEPTACLES
 3. OUTDOOR RECEPTACLES
 4. RECEPTACLES IN UNFINISHED BASEMENTS & CRAWL SPACES
 5. RECEPTACLES WITHIN SIX FEET OF A SHOWER, TUB, KITCHEN OR BAR SINK.
7. RECEPTACLES IN LAUNDRY AREAS
8. ELECTRICAL CONTRACTOR TO COORDINATE NEW CIRCUIT LAYOUT WITH LAYOUT OF EXISTING ELEC. PANEL.
9. ALL WORK MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE AND THE N.J. UNIFORM STATE CODE AND THE PROVISION OF THE NFPA 70, CHAPTER 35.
10. CONTRACTOR TO FURNISH AND INSTALL BOXES, FITTING, DEVICES AND MANUFACTURER ACCESSORIES, ADAPTERS AND ALL OTHER MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION.
11. ALL MATERIALS REQUIRED FOR THE JOB MUST BE UL LISTED.
12. CONTRACTOR TO VERIFY ADEQUACY OF EXISTING SERVICE AND REPLACE AS REQUIRED.
13. WHERE MORE THAN ONE SWITCH OCCURS AT IN THE SAME LOCATION, G.C. TO INSTALL SWITCHES IN GANG TYP BOX UNDER A SINGLE COVER PLATE.
14. CONSULT WITH CONTRACTORS FURNISHING HVAC EQUIPMENT TO VERIFY LOADS AND SECURE.
15. VERIFY FINAL LOCATION OF TELEPHONE AND CABLE HOOKUPS WITH OWNER PRIOR TO COMMENCING WORK.
16. MAKE ALL FINAL CONNECTIONS TO ALL CONTROLS, OWNER SUPPLIED EQUIPMENT, MECHANICAL AND PLUMBING EQUIPMENT AS REQUIRED.
17. SHOWER LIGHT FIXTURES MUST BE LABELED APPROVED FOR WET LOCATION USE.
18. 50% OF ALL LIGHT FIXTURES MUST BE ENERGY EFFICIENT.
19. FIXTURES IN CLOSETS TO BE SHATTER-PROOF, TYP.
20. ELECTRICAL CONTRACTOR TO PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER (AFCI) OUTLETS IN ALL ROOMS EXCEPT BATHROOMS, UNFINISHED BASEMENTS, GARAGES, AND OUTDOORS. PROTECTION CAN COME FROM WITHIN AN AFCI BREAKER OR AN AFCI RECEPTACLE INSTALLED IN THE FIRST OUTLET BOX ON A BRANCH CIRCUIT.
21. EACH VEHICLE SPACE IN GARAGE TO HAVE (1) GFCI-PROTECTED RECEPTACLE. ALL CIRCUITS SERVING RECEPTACLES IN THE GARAGE CAN SERVE NO OTHER INDOOR OR OUTDOOR LOCATIONS.
22. ALL SWITCH LOCATIONS ARE REQUIRED TO HAVE A NEUTRAL (GROUNDED CONDUCTOR) IN THE BOX.

1. IN BUILDINGS OF USE GROUP R-3, R-4, AND R-5 AND IN DWELLING UNITS OF USE GROUP R-2, SMOKE DETECTORS TO BE PRESENT ON EACH LEVEL OF THE RESIDENCE AND LOCATED IN ACCORDANCE WITH NFPA 72. SMOKE DETECTORS SHALL BE OUTSIDE EACH SEPARATE SLEEPING AREA IN A WALL AT THE VICINITY OF THE BEDROOMS AND LOCATED ON OR NEAR THE CEILING. CARBON MONOXIDE ALARMS TO BE PRESENT OUTSIDE EACH SEPARATE SLEEPING AREA AND INSTALLED PER NFPA 720. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. ALL DEVICES ARE TO BE SIEMENS.
3. PROVIDE INTERCONNECTED SMOKE DETECTORS & CARBON MONOXIDE WITH EMERGENCY BATTERY BACK-UP AS INDICATED ON PLANS AND/OR REQUIRED BY CODE.
4. SMOKE DETECTOR ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS EVEN IF NOT SHOWN ON DRAWINGS:
 - a. ONE IN THE BASEMENT
 - b. ONE IN THE COMMON AREA OF THE FIRST FLOOR
 - c. ONE IN THE COMMON AREA OF THE SECOND FLOOR
5. CARBON MONOXIDE ALARMS ARE TO BE PROVIDED IN THE IMMEDIATE VICINITY OF ALL SLEEPING ROOMS IN BUILDINGS, CLASSIFIED UNDER USE GROUPS AS I-1, R-1, R-2, R-3, R-4 AND R-5 WHICH CONTAIN FUEL BURNING APPLIANCES OR HAVE ATTACHED GARAGES.
6. HEAT DETECTORS ARE TO BE PROVIDED IN THE VICINITY OF MECHANICAL EQUIPMENT ROOMS.
7. 5-23-6.23 ADDITIONS
 - (f) WHENEVER AN ADDITION IS MADE TO A DETACHED SINGLE FAMILY DWELLING OF GROUP R-3 OR R-5, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
 1. IF THE CUMULATIVE AREA OF ALL FLOORS OR THE ADDITION(S) IS 25 PERCENT OR MORE OF THE FLOOR AREA OF THE LARGEST FLOOR OF THE EXISTING BUILDING, SMOKE ALARMS SHALL BE INSTALLED THROUGHOUT THE ADDITION AND THE EXISTING BUILDING.
 2. IF THE CUMULATIVE AREA OF ALL FLOORS OF THE ADDITION(S) IS FIVE PERCENT OR MORE, BUT LESS THAN 25 PERCENT, OF THE FLOOR AREA OF THE LARGEST FLOOR OF THE EXISTING BUILDING, HARDWIRED, INTERCONNECTED SMOKE ALARMS WITH BATTERY BACK-UP MEETING THE REQUIREMENTS OF NFPA 72 SHALL BE INSTALLED AND MAINTAINED IN EACH STORY IN THE DWELLING UNIT, INCLUDING BASEMENTS.

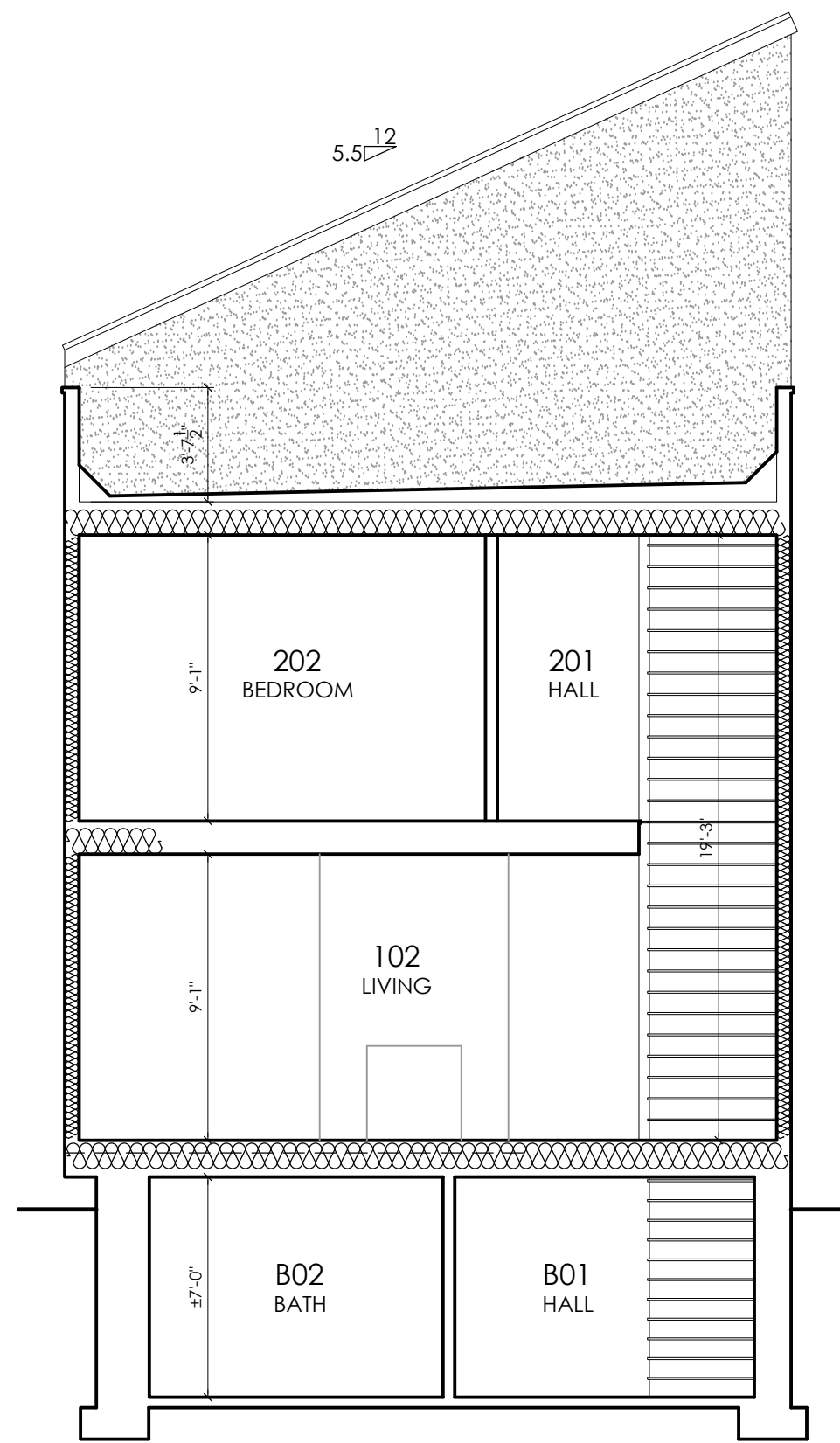


	PERMIT SET 												
<h1 style="margin: 0;">PLAN ARCHITECTURE</h1>													
125 PATERSON AVE, Second Floor Little Falls, NJ 07424													
dan@pinarc.com T: 973-837-8399													
REVISIONS:													
NO.	DESCRIPTION												
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PROJECT:													
PROPOSED NEW CONSTRUCTION FOR: <h2 style="margin: 0;">THE PROPOSED RESIDENCE</h2>													
FLOOR OR FLOORS (IF APPLICABLE):													
<h1 style="margin: 0;">CELLAR-ATTIC</h1> <h2 style="margin: 0;">REFLECTED CEILING & POWER PLAN</h2>													
SEAL & SIGNATURE:	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DATE:</td> <td style="width: 50%;">NOV. 3, 2020</td> </tr> <tr> <td>PROJECT NO.:</td> <td>19-0611</td> </tr> <tr> <td>SCALE:</td> <td>AS NOTED</td> </tr> <tr> <td>DWG. BY:</td> <td>JLD/WAG</td> </tr> <tr> <td>CHK BY:</td> <td>DD</td> </tr> <tr> <td>DWG NO.:</td> <td></td> </tr> </table>	DATE:	NOV. 3, 2020	PROJECT NO.:	19-0611	SCALE:	AS NOTED	DWG. BY:	JLD/WAG	CHK BY:	DD	DWG NO.:	
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DWG. BY:	JLD/WAG												
CHK BY:	DD												
DWG NO.:													
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 40%;"> DANIEL D'AGOSTINO, A.I.A. N.J. LIC. NO: 21AID188000 </div> <div style="width: 50%; text-align: right;"> <div style="font-size: 2em; font-weight: bold; margin-bottom: 10px;">A.300</div> <div style="border: 1px solid black; height: 40px; width: 100%;"></div> </div> </div>													



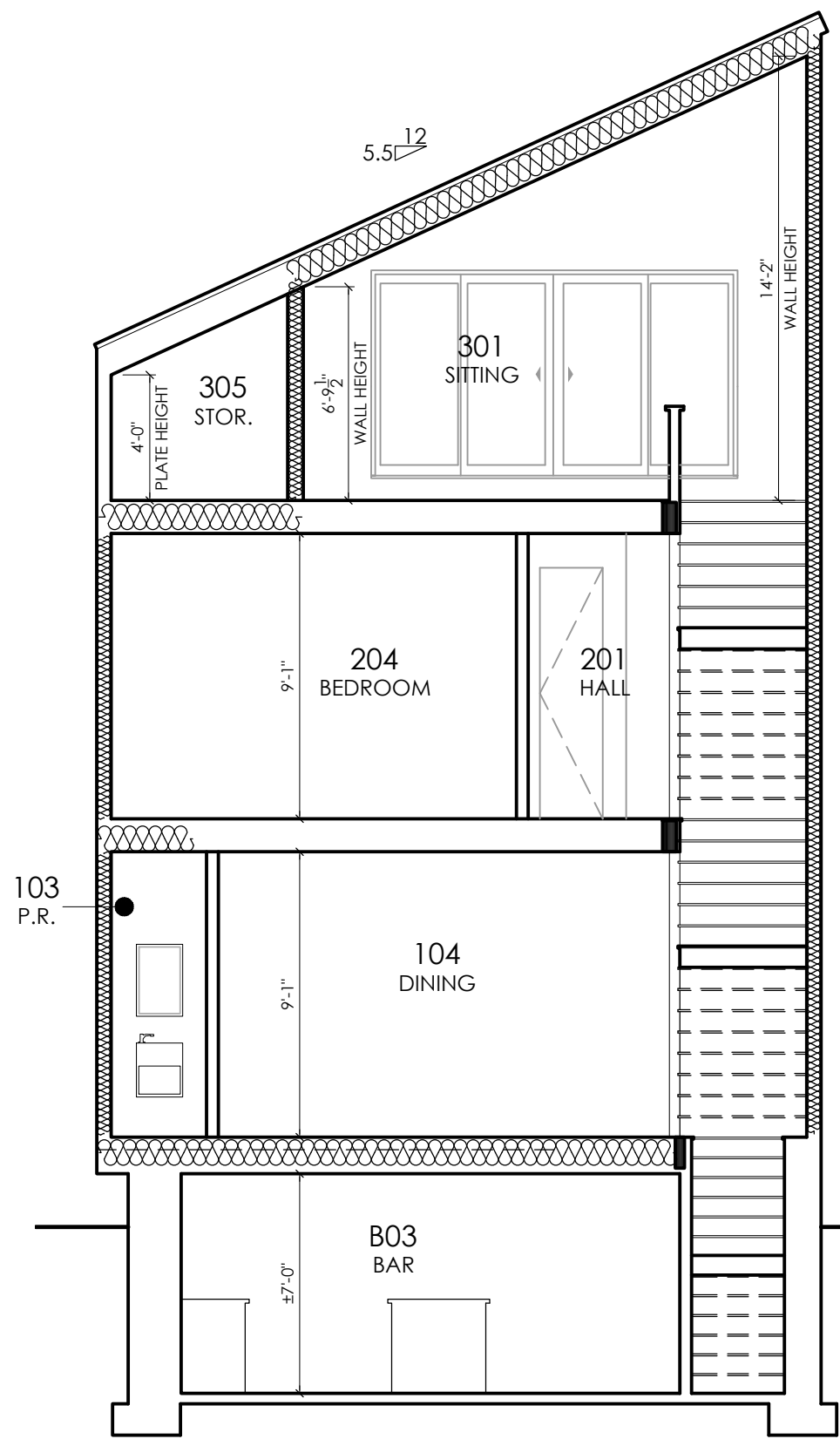
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SCALE: 3/16" = 1'-0"



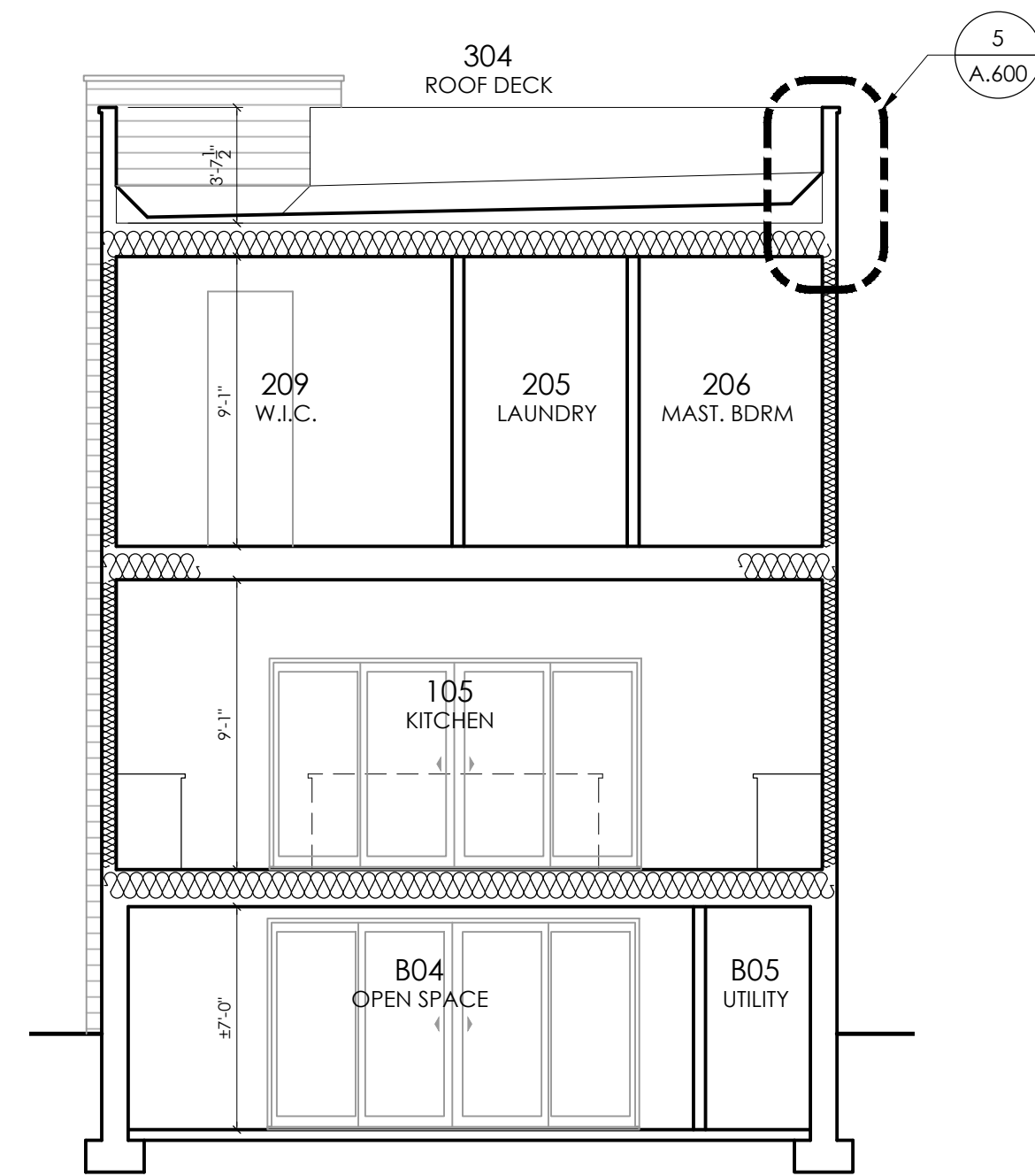
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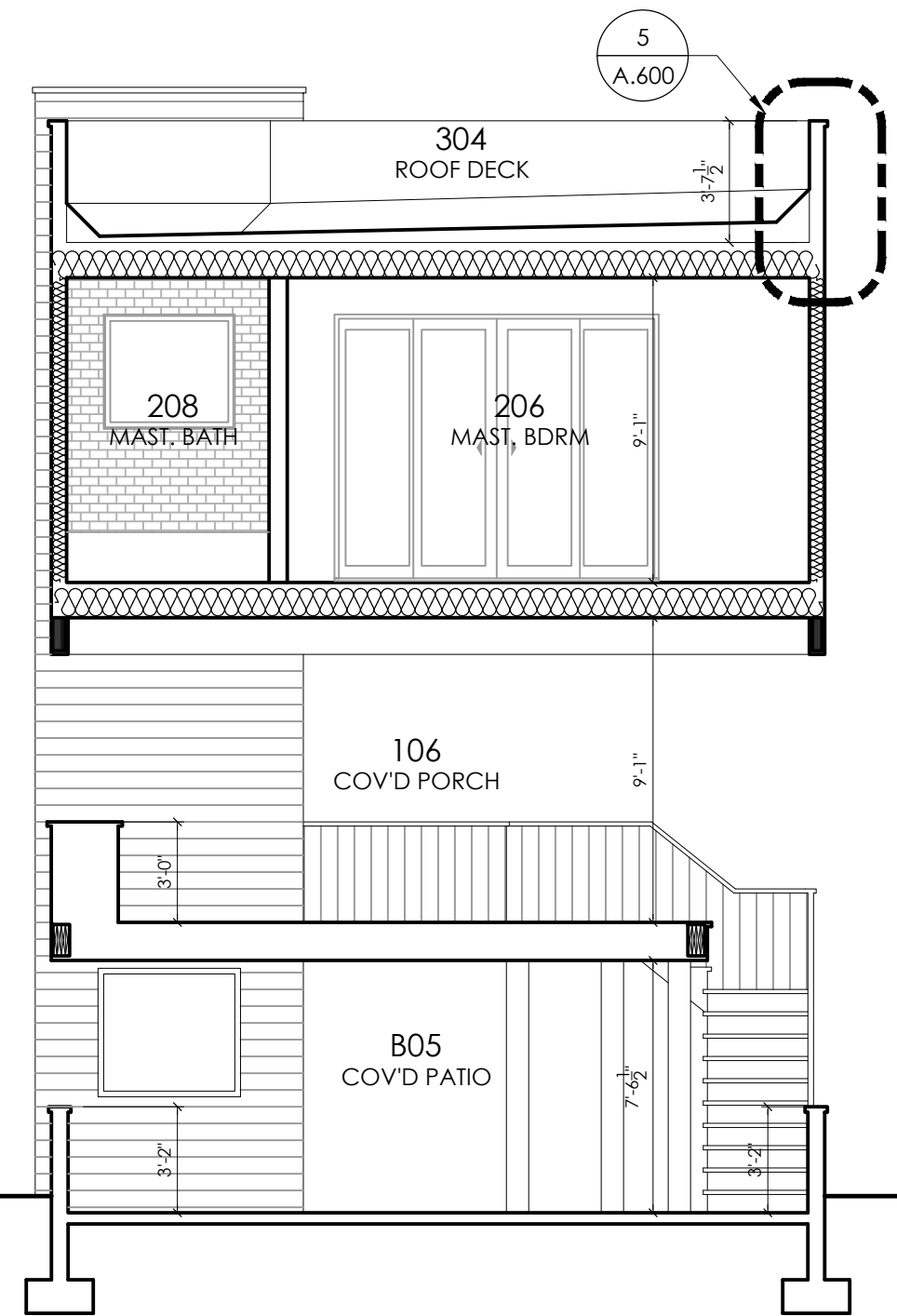
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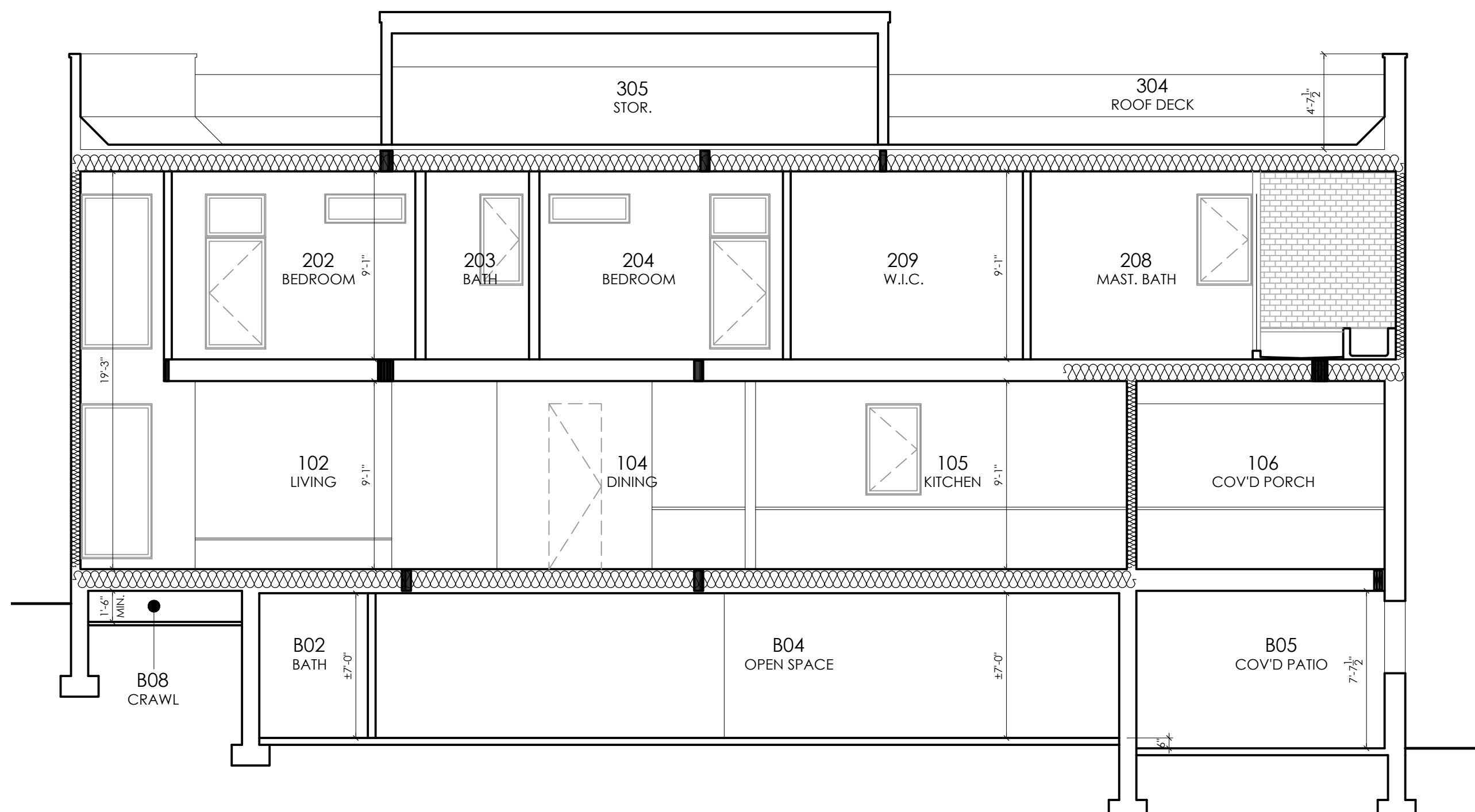
4 DIAGRAMMATIC SECTION

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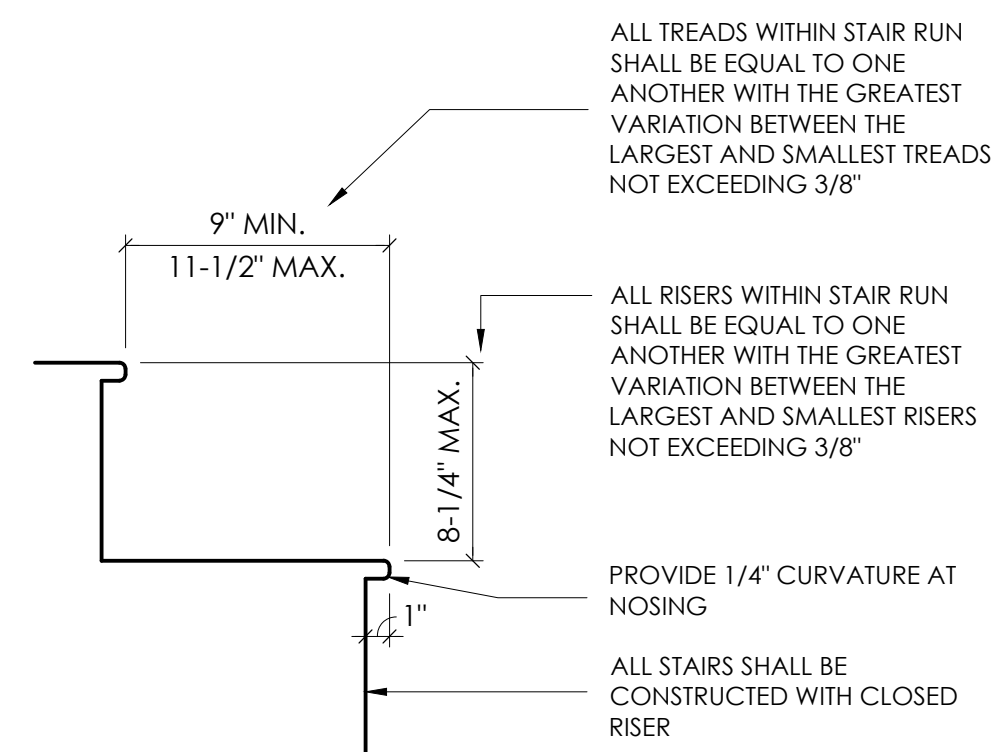
5 DIAGRAMMATIC SECTION

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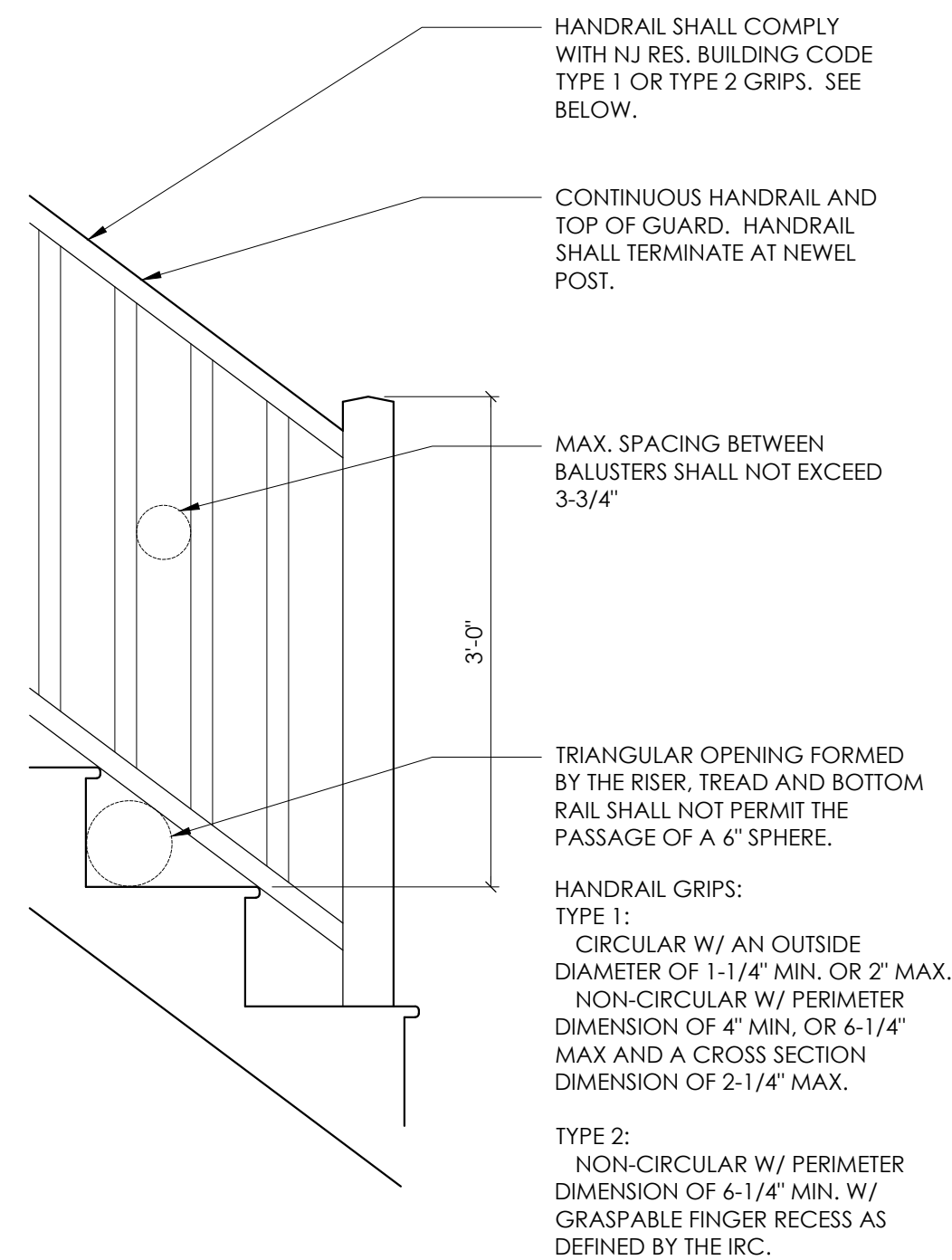
6 DIAGRAMMATIC SECTION

SCALE: 3/16" = 1'-0"



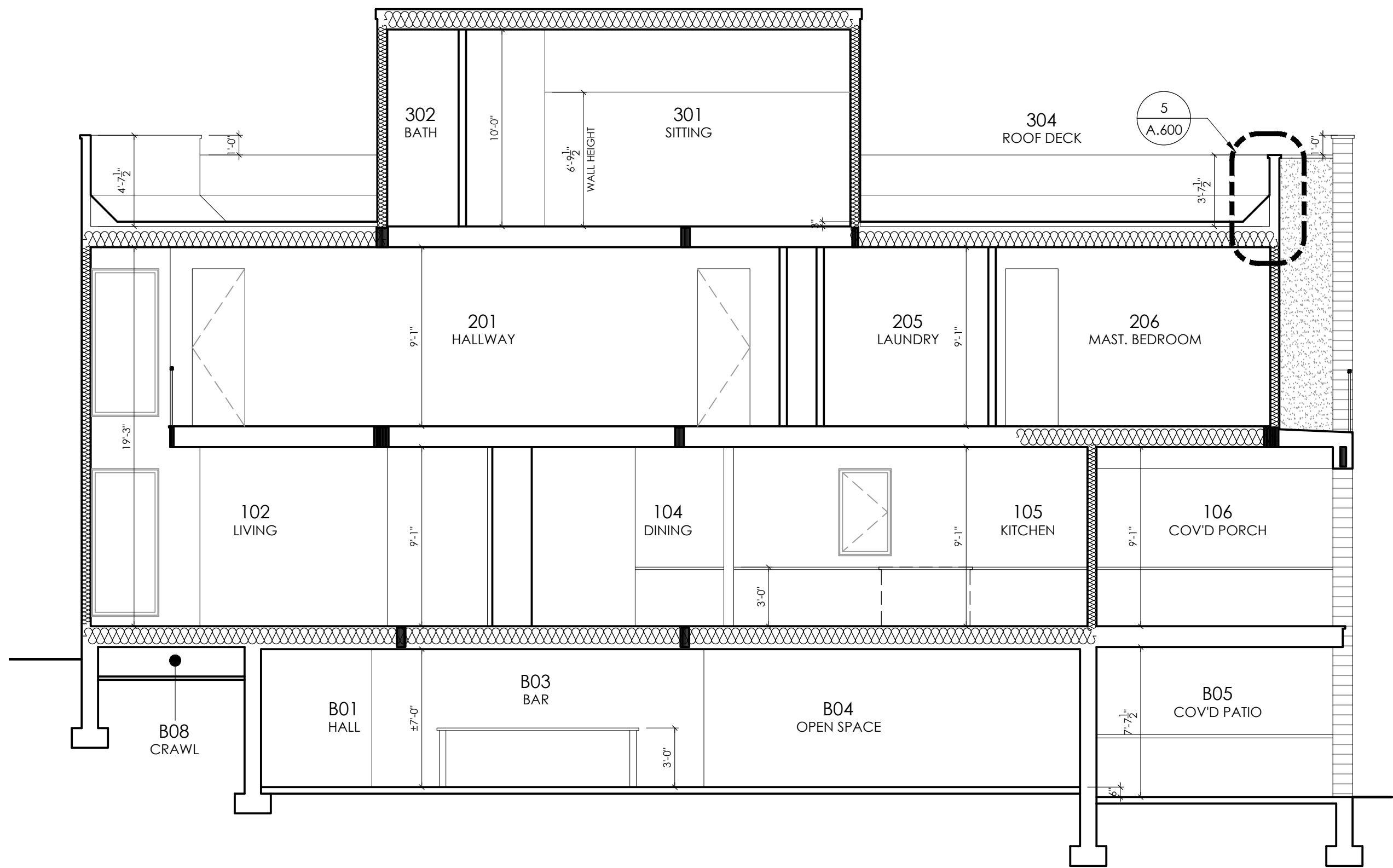
7 STAIR DETAILS

SCALE: 1/4"=1'-0"



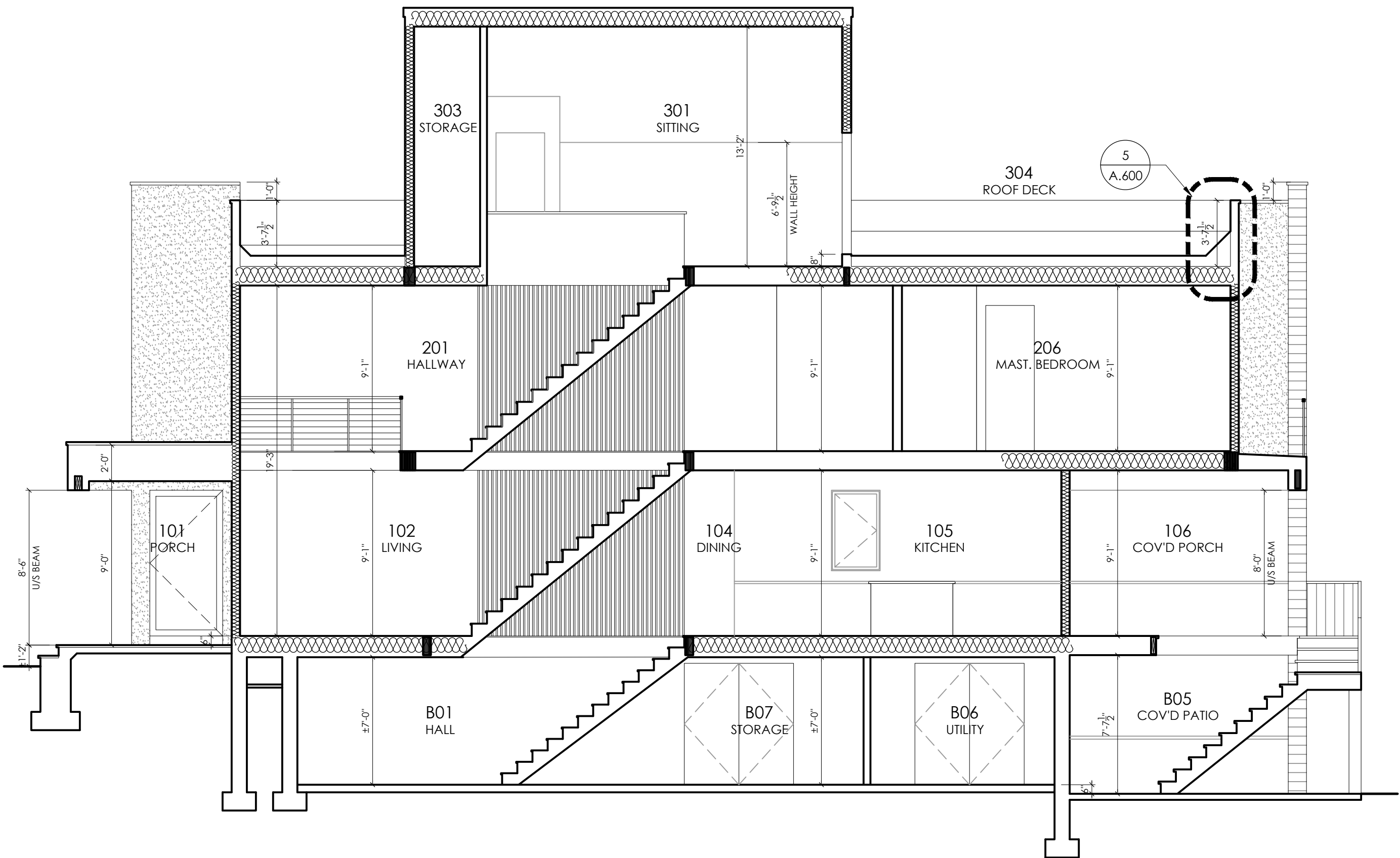
PERMIT SET	
PLAN ARCHITECTURE	
125 PATERSON AVE, Second Floor Little Falls, NJ 07424	
dan@planarc.com T: 973-837-8399	
REVISIONS:	
NO.	DESCRIPTION
YEAR, MO, DA	
PROJECT: PROPOSED NEW CONSTRUCTION FOR	
THE PROPOSED RESIDENCE	
FLOOR OR FLOORS (IF APPLICABLE):	
DIAGRAMMATIC SECTIONS, STAIR DETAILS	
SEAL & SIGNATURE:	DATE: NOV. 3, 2020
	PROJECT NO.: 19-0611
	SCALE: AS NOTED
	DWG. BY: JLD/WAG
	CHK BY: DD
	DWG NO.: A.400
DANIEL D'AGOSTINO, AIA N.J. LIC. NO. 21401880000	

CONCEPTUAL RENDERINGS (FOR ILLUSTRATIVE PURPOSES ONLY)



1 DIAGRAMMATIC SECTION

SCALE: 3/16" = 1'-0"



2 DIAGRAMMATIC SECTION

SCALE: 3/16" = 1'-0"

PLAN ARCHITECTURE

125 PATERSON AVE, Second Floor
Little Falls, NJ 07424

dan@planarc.com
T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

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FLOOR OR FLOORS (IF APPLICABLE):

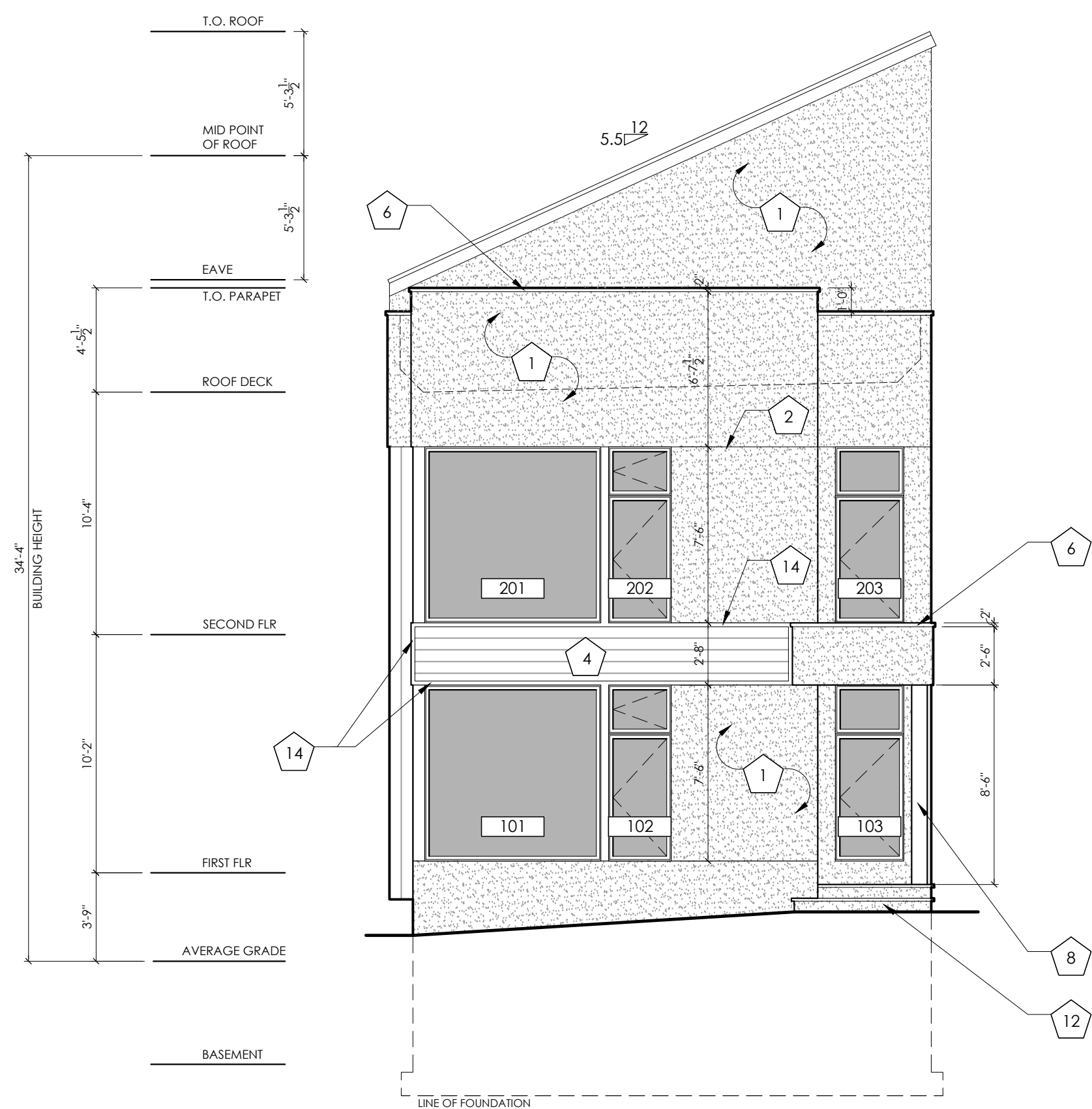
DIAGRAMMATIC SECTIONS, CONCEPTUAL RENDERS

SEAL & SIGNATURE:

DATE: NOV. 3, 2020
PROJECT NO.: 19-0611
SCALE: AS NOTED
DWG. BY: JLD/WAG
CHK BY: DD
DWG NO.:

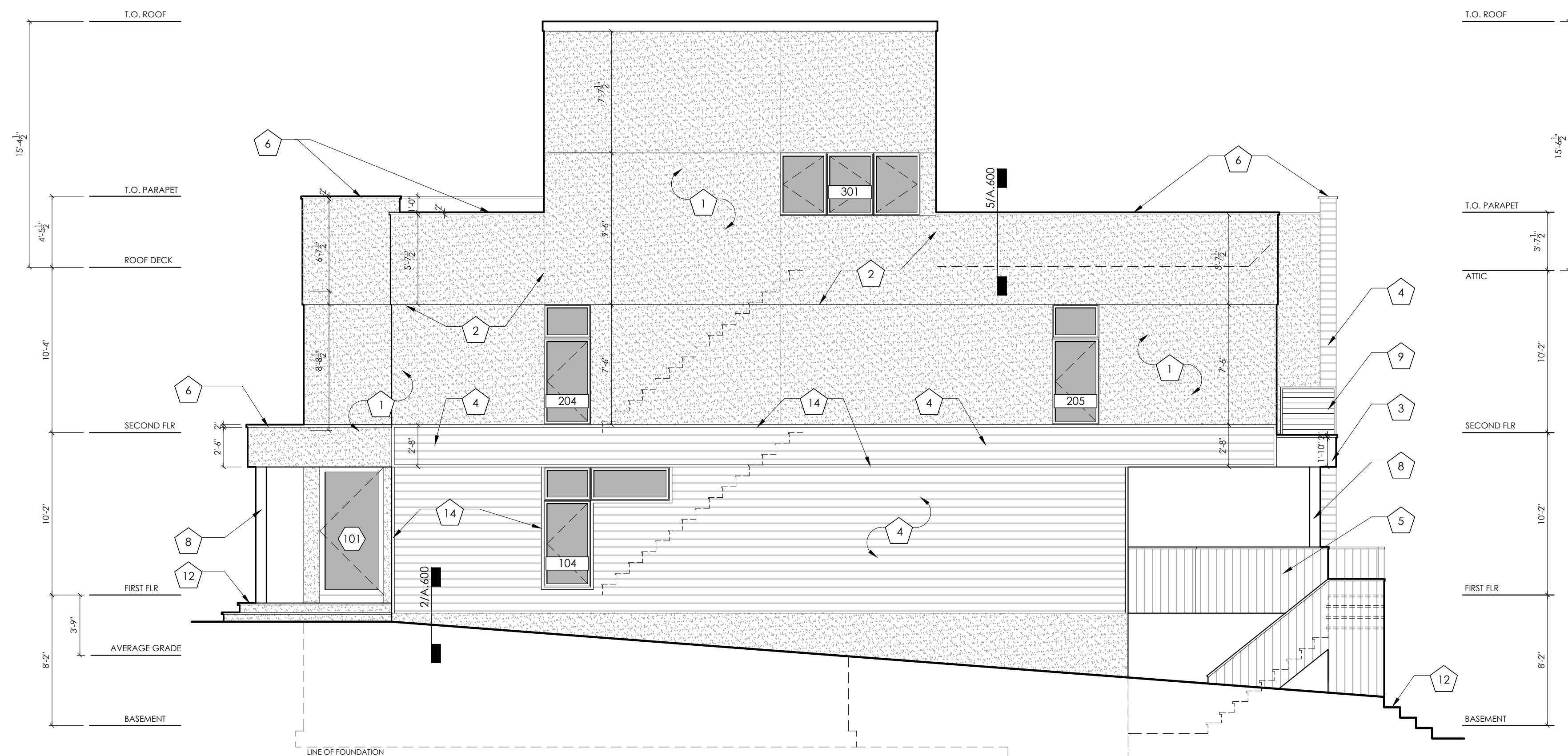
A.401

DANIEL D'AGOSTINO, A.I.A.
N.J. LIC. NO. 21401880000



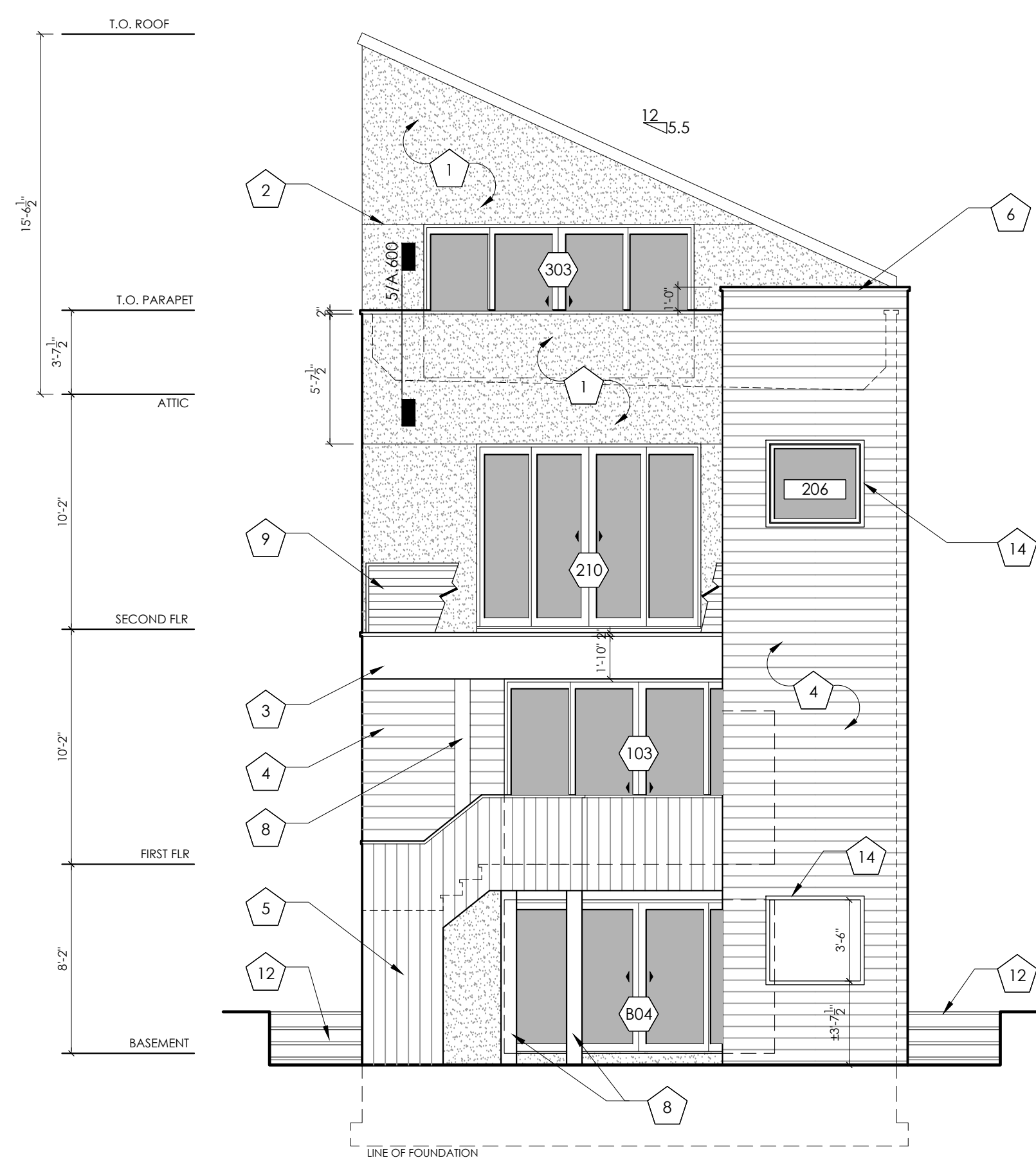
1 EXTERIOR ELEVATION: FRONT

SCALE: 3/16" = 1'-0"



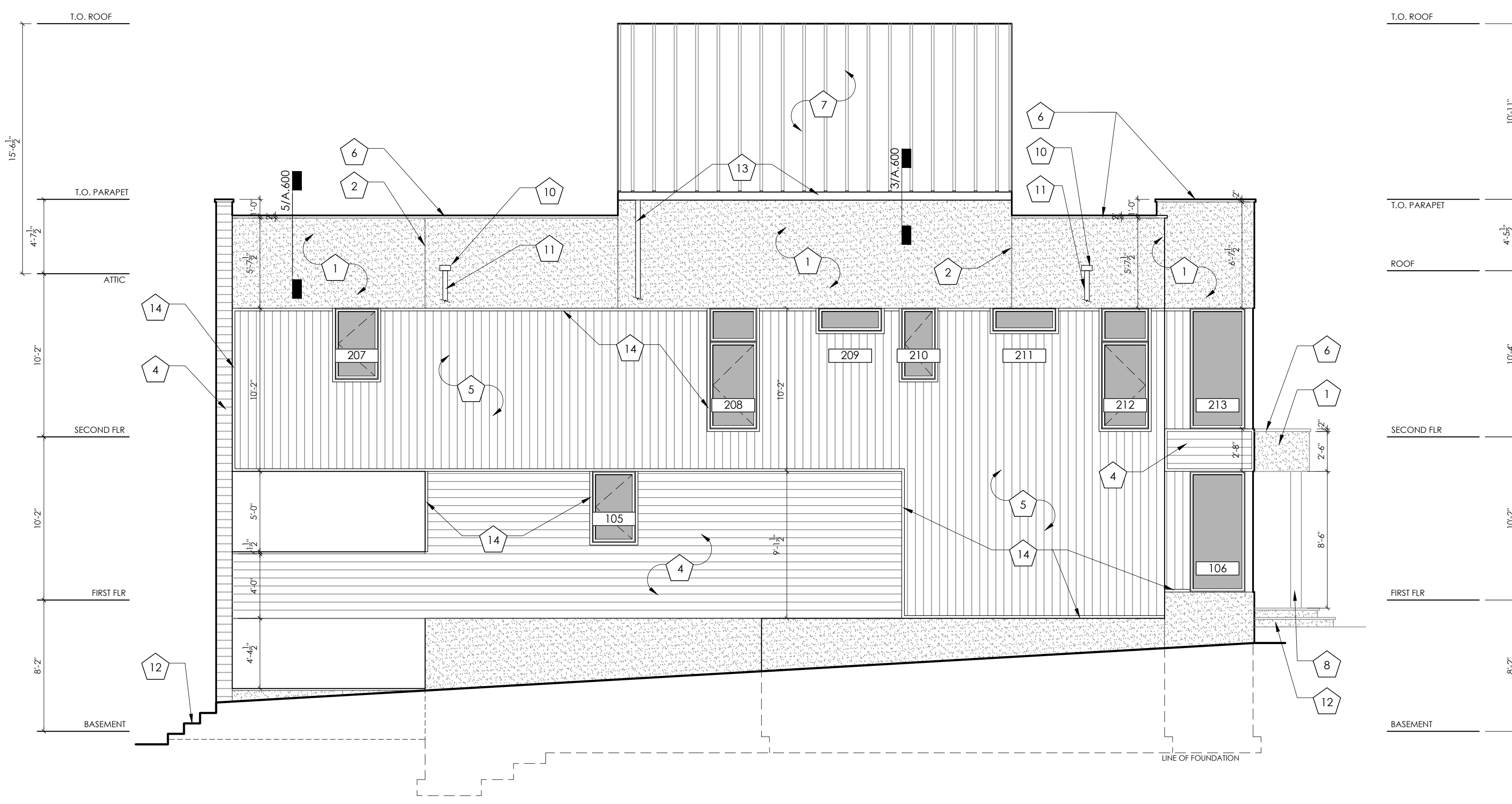
2 EXTERIOR ELEVATION: RIGHT

SCALE: 3/16" = 1'-0"



3 EXTERIOR ELEVATION: REAR

SCALE: 3/16" = 1'-0"




4 EXTERIOR ELEVATION: LEFT

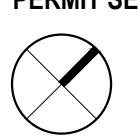
SCALE: 3/16" = 1'-0"

ELEVATION LEGEND

- 1 STUCCO FINISH AS SELECTED BY OWNER. SEE SPECIFICATIONS.
- 2 STUCCO CONTROL JOINT.
- 3 HARDIE PANEL AS SELECTED BY OWNER.
- 4 HARDIE PLANK HORIZONTAL SIDING AS SELECTED BY OWNER.
- 5 HARDIE PLANK VERTICAL SIDING AS SELECTED BY OWNER.
- 6 BREAK METAL COPING, COLOR AS SELECTED.
- 7 STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C., COLOR TO BE SELECTED BY OWNER.
- 8 STRUCTURAL COLUMN WRAPPED IN BREAK METAL, PAINTED, COLOR AS SELECTED.
- 9 36" HIGH METAL AND CABLE GUARD RAIL SYSTEM TO BE SELECTED BY OWNER AND INSTALLED AS PER MANUFACTURER.
- 10 6" SCUPPER SET 4" ABOVE ROOF LINE.
- 11 4" ALUMINUM DOWNSPOUTS, PAINT AS SELECTED.
- 12 MASONRY STAIR WITH BLUE STONE TREADS AND LANDING.
- 13 5" CONT. ALUMINUM GUTTER WITH 4" ALUMINUM DOWNSPOUTS, OWNER TO SELECT FINISH.
- 14 TRIM AS SELECTED, COLOR TO MATCH SIDING.



PERMIT SET



PLAN ARCHITECTURE

125 PATERSON AVE, Second Floor
Little Falls, NJ 07424

dan@plnarc.com
T: 973-837-8399

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PROJECT:

PROPOSED NEW CONSTRUCTION FOR:
THE PROPOSED RESIDENCE

FLOOR OR FLOORS (IF APPLICABLE):

EXTERIOR ELEVATIONS

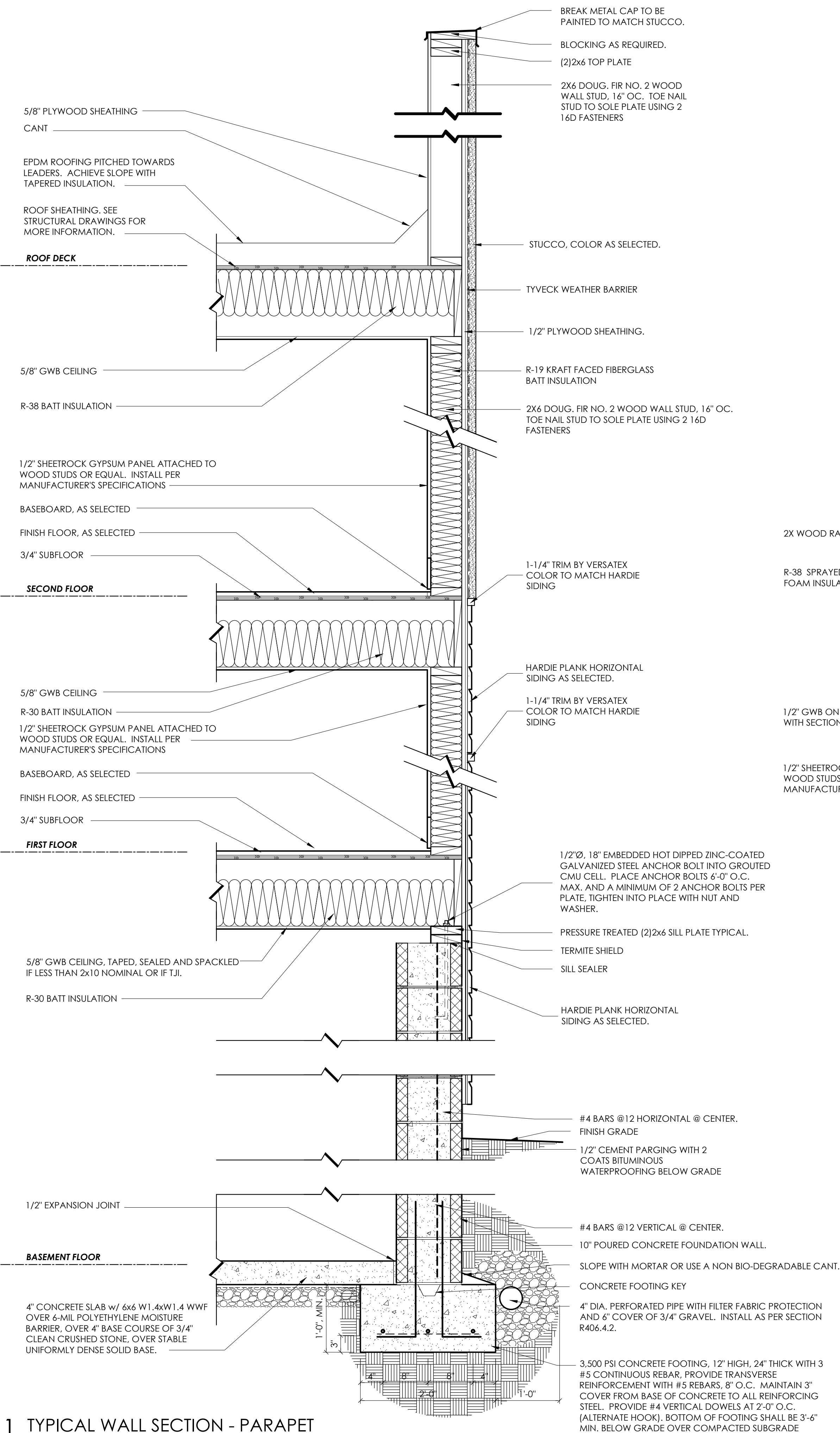
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DWS. BY: JLD/WAG
CHK BY: DD
DWG NO.: A.500

DANIEL D'AGOSTINO, A.I.A.
N.J. LIC. NO. 21401880000

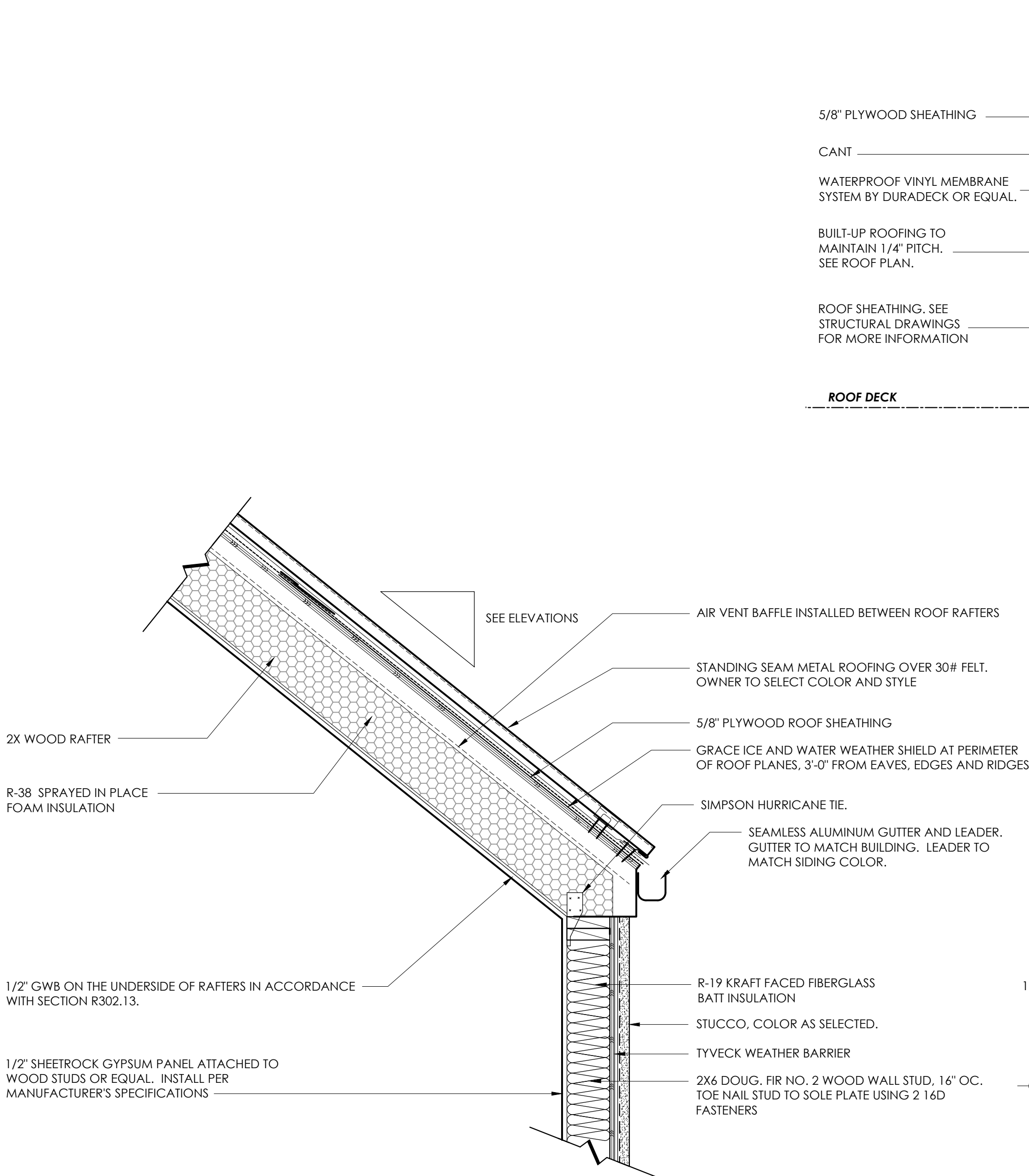
MASONRY FOUNDATION WALLS W/ REINFORCING				
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL	8"	10"	12"
6'-8"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	6'-8"	#6 @ 48	#5 @ 56	#5 @ 72
7'-4"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#5 @ 48	#5 @ 56	#5 @ 72
	7'-4"	#6 @ 40	#6 @ 56	#6 @ 72
8'-0"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#5 @ 48	#5 @ 56	#5 @ 72
	7'-0"	#6 @ 40	#6 @ 56	#6 @ 72
8'-8"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#5 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#6 @ 48	#5 @ 56	#5 @ 72
	7'-0"	#6 @ 40	#6 @ 56	#6 @ 72
9'-4"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#5 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#6 @ 48	#5 @ 56	#5 @ 72
	7'-0"	#6 @ 40	#6 @ 56	#6 @ 72
10'-0"	8'-0"	#6 @ 24	#6 @ 40	#6 @ 56
	9'-4"	#6 @ 16	#6 @ 24	#6 @ 40
	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#5 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#6 @ 48	#5 @ 56	#5 @ 72
	7'-0"	#6 @ 32	#6 @ 48	#6 @ 72
	8'-0"	#6 @ 24	#6 @ 40	#6 @ 48
	9'-0"	#6 @ 16	#6 @ 24	#6 @ 40
	10'-0"	#6 @ 16	#6 @ 24	#6 @ 32

LATERAL SOIL LOAD= 60PSF



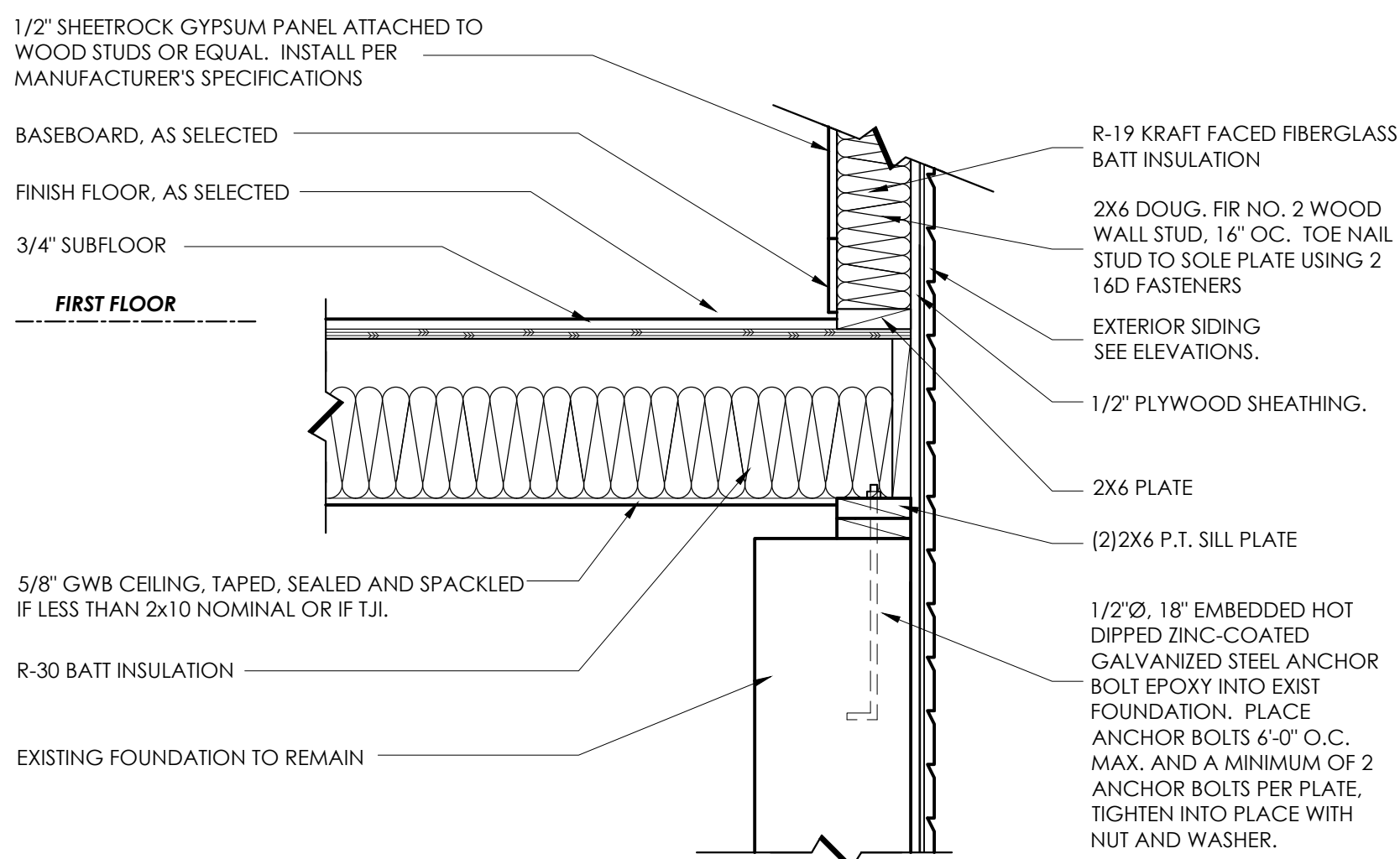
1 TYPICAL WALL SECTION - PARAPET

SCALE: 1"=1'-0"



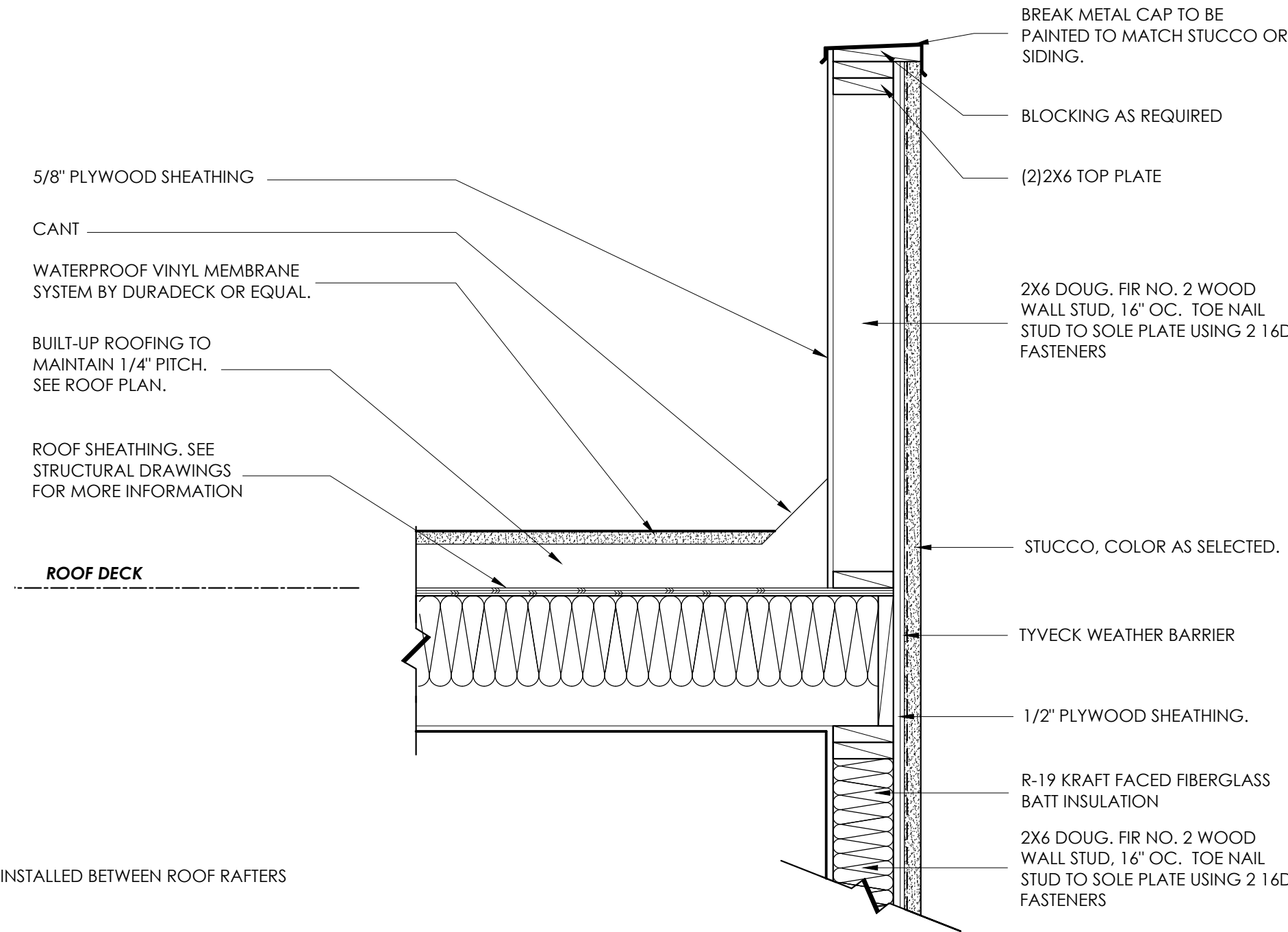
3 TYPICAL WALL SECTION DETAIL

SCALE: 1"=1'-0"



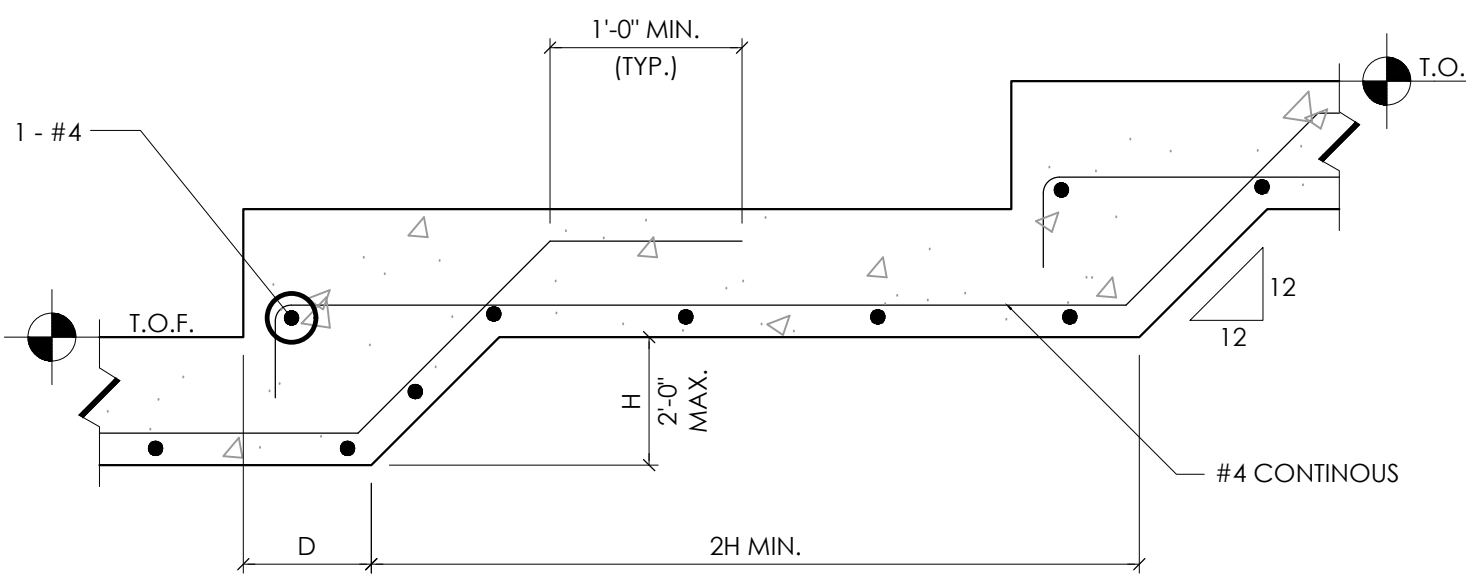
2 TYPICAL WALL SECTION-@ EXIST. FOUNDATION

SCALE: 1"=1'-0"



5 ROOF DECK PARAPET DETAIL

SCALE: 1"=1'-0"

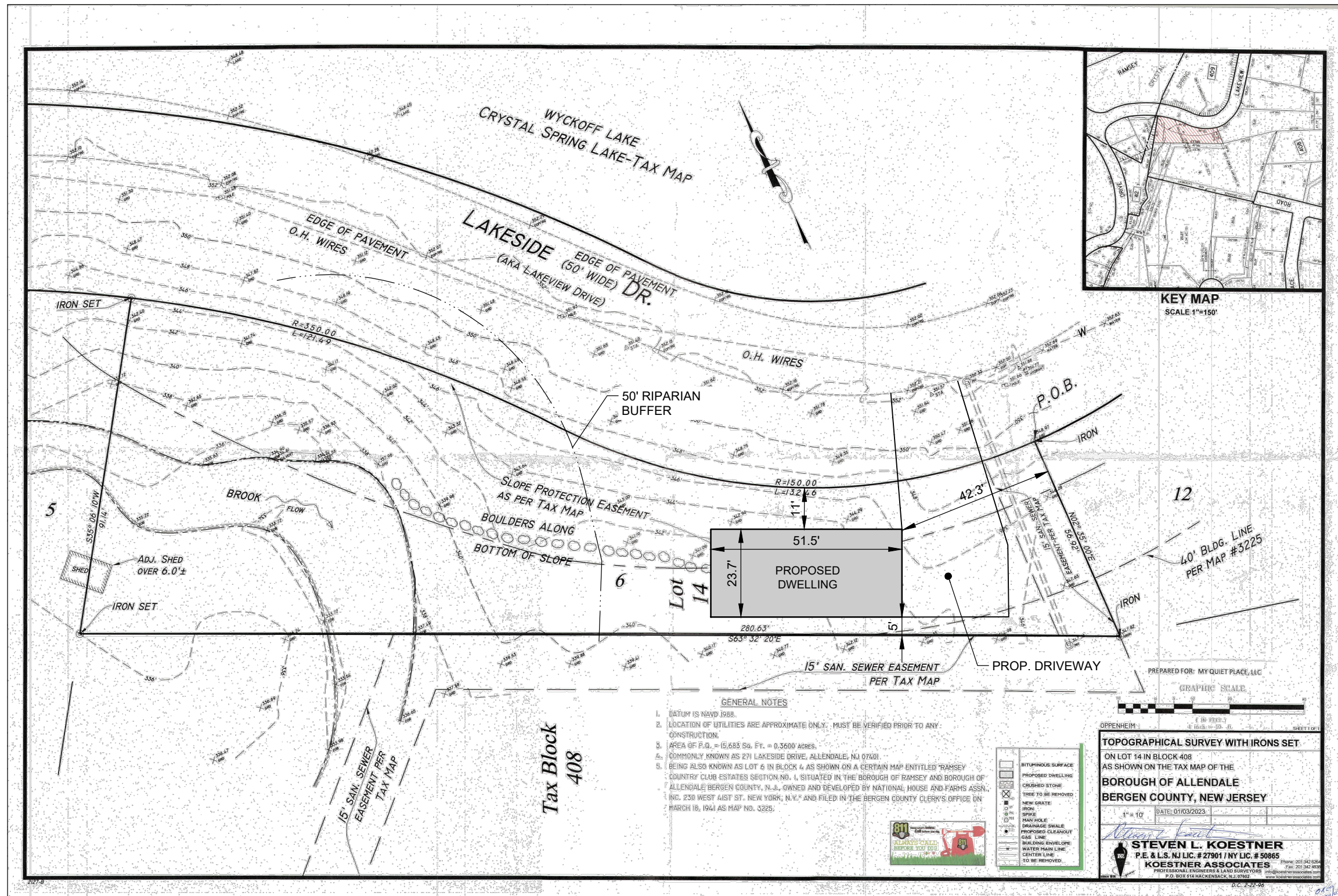


4 TYP. STEPPED FOOTING DETAIL

SCALE: 1"=1'-0"

NOTE: SEE PLANS AND ELEVATIONS FOR STEP LOCATIONS

PLAN ARCHITECTURE		PERMIT SET															
125 PATERSON AVE. Second Floor Little Falls, NJ 07424		dan@plmarc.com T: 973-837-8399															
REVISIONS: <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>YEAR/MO.DA</th> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>			NO.	DESCRIPTION	YEAR/MO.DA												
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PROJECT: PROPOSED NEW CONSTRUCTION FOR THE PROPOSED RESIDENCE																	
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TYPICAL WALL SECTION, DETAILS																	
SEAL & SIGNATURE: DANIEL D'AGOSTINO, A.I.A. N.J. LIC. NO. 21401880000	DATE: NOV. 3, 2020 PROJECT NO.: 19-0611 SCALE: AS NOTED DWG. BY: JLD/WAG CHK BY: DD DWG NO.:	A.600															



ALLENDALE LAND USE BOARD
APPLICATION CHECK LIST

NAME LAURA AQUINO BLOCK 1708 LOT 14

ADDRESS 203 WEST ALLENDALE AVENUE

ZONE A TYPE OF VARIANCE HARDSHIP

BRIEF DESCRIPTION OF APPLICATION CONSTRUCTION OF A ONE STORY

REAR ADDITION, CONVERSION OF EXISTING GARAGE TO LIVING SPACE
AND CONSTRUCTION OF A NEW DETACHED GARAGE.

SPECIFIC VARIANCE(S) REQUIRED SIDE YARDS: 270-64C(2)
DRIVEWAY WIDTH: 270-18B(2)

ADMINISTRATIVE REQUIREMENTS

STATUS

1. Application form complete

✓

2. Fee paid

✓

3. Denial by Building Inspector

✓

4. Affidavit of Service

5. Proof of Publication

6. Taxes Current

✓

7. Plot Plan

✓

8. Maps

✓

9. Photographs

✓

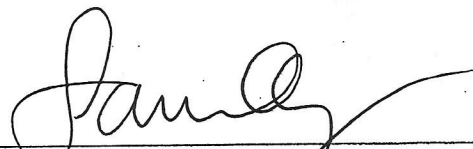
10. Email address

LAURA.AQUINO1438@GMAIL.COM
917-842-1651

✓

11. Miscellaneous

12/21/2023
Date


Applicant's Signature

BOROUGH OF ALLENDALE

CODE ENFORCEMENT OFFICE

500 West Crescent Avenue Allendale, NJ 07401

kett

Phone: (201) 818-



al

Fax: (201)

MEMORANDUM

TO: Emma Aquino
203 W Allendale Ave.
Allendale, NJ 07401

FROM: Anthony Hackett, Zoning Official/Construction Official

CC: Linda Garofalo Land use Administrator

RE: Rear addition, convert garage to living space, and new detached garage.

DATE: December 7, 2023

The Allendale Building/Zoning Department received the following documents:

- A. Borough of Allendale Zoning Review Application
- B. Plot plan prepared by Conklin Associates
- C. Plans prepared by Chris Greimel PE PP RA

I have reviewed these documents and the Borough of Allendale Zoning Ordinances and I must deny your application for the following reason(s):

1) Your property is in the A zone, to calculate the side-yard setbacks, a formula is used (using your Gross Floor Area). In your case you have an existing nonconformity on the right side of your home. According to **Borough Code 270-37(A)2**, you cannot create any new or additional encroachment or nonconformity. Currently there is a 14.4' right side-yard setback where 15' was required, however, the proposed additional square footage would now require side yard setbacks of 19.2'. As a result, your right side-yard would be out of compliance by 4.2 feet and the left side out of compliance by 1.8 feet. See **Borough Code 270-64C (2)**

2) A driveway cannot exceed 35' in width including turn arounds, the plans show 48' wide. See **Borough Code 270-18 B (2)**

You are hereby notified that you have the right under N.J.S.A. 40:55D-72 to appeal this decision to the Zoning board of adjustments of the Borough of Allendale within 20 days from the date of the decision. For further information please visit. <http://allendalenj.gov/zoning-board-of-adjustments/>

Anthony Hackett
Construction Official

REQUIRED MATERIALS AND CHECKLIST FOR ALLENDALE LAND USE BOARD HEARINGS

This checklist and attached sample drawings are provided to ensure that you or your professionals are prepared for your hearing and that your application is complete. All items should be supplied to the extent that they are applicable to the specific application. If information is insufficient or missing, the board may deem your application incomplete and adjourn your hearing until it receives all necessary documentation. Please create ~~18~~ ¹⁰ packets of the below information. PWS PDF FILES.

I. PROVIDE AN ACCURATE SURVEY FOR THE PROPERTY IN QUESTION WHICH CONTAINS THE FOLLOWING INFORMATION:

- ☒ 1. Footprint of existing buildings or structures.
- ☒ 2. Precise distances from all property lines to closest point of principal building including steps, deck or other extensions of the building.
- ☒ 3. The location and precise distances of accessory buildings, such as garages and sheds, to property lines and the principal building or structure.
- ☒ 4. The location and dimensions of steps, patios, driveways, decks, pools and all other improved impervious areas and their precise distances to nearest property line and structures.
- ☒ 5. An accurate depiction of the proposed construction or alteration including the information requested in 1, 2, 3 and 4 above.
- ☒ 6. The precise distances from all property lines to the closest point of the proposed construction.

II. AN ENLARGED TAX MAP DEPICTING PROPERTY IN QUESTION AND ITS RELATIONSHIP TO NEIGHBORING PROPERTIES.

- ☒ 1. The precise distances from the existing buildings or structure in question to the closest point of all neighboring buildings and structures.
- ☒ 2. The precise distances from the proposed construction to the closest point of all neighboring buildings and structures.

III. STRUCTURAL DIMENSIONS:

- ☒ 1. All dimensions of existing building or structure.
- ☒ 2. All dimensions of proposed building or structure.

- ☒ 3. Height of existing building or structure.*
- ☒ 4. Height of proposed building or structure.*
*(height to be measured from lowest point of the ground that abuts the foundation of the structure to the highest point on the roof.)
- ☒ 5. Front, rear and side elevations of the proposed structure.

IV. FLOOR PLANS.

- ☒ 1. Floor plans of the existing interior of the building containing all relevant dimensions.
- ☒ 2. Floor plans of the interior of the proposed construction containing all relevant dimensions.
- ☒ 3. Precise square footage of the existing building.
- ☒ 4. Precise square footage of the proposed construction.
- ☒ 5. Floor area ratio calculation pursuant to Section 270-63 of the zoning ordinance (required for all applications)

V. PHOTOGRAPHS.

- ☒ 1. Photographs of the property in question and existing improvements may be helpful to the Board in presenting your information.
- ☒ 2. Photographs of views from the existing building or structure to neighboring properties and buildings which show existing plantings or other buffers are also helpful and may be requested by the Board.

(All photographs should be taken by you or someone who can testify to the Board as to when they were taken and that the photographs represent an accurate depiction of what they saw at the time.)

VI. LANDSCAPING AND LAND FEATURES.

- ☒ 1. The survey, plat or plan should locate and describe any proposed landscaping to be done in connection with the application.
- ☒ 2. The location of any unusual property features should be indicated, such as flood plain, streams, wooded areas, rock outcroppings or steep slopes.

VII. PREVIOUS APPLICATIONS.

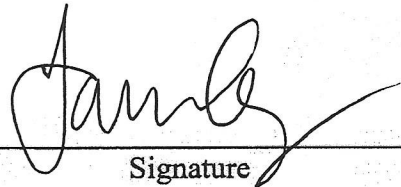
- ☒ 1. Applicants should be prepared to discuss prior applications to the Land Use Board, Board of Adjustment and Planning Board and the results thereof.

VIII. Any additional information which may be deemed necessary by the Land Use Board, its Consultants or Borough departments and agencies.

NOTE: ALL DIMENSIONS AND DISTANCES MUST BE DEPICTED TO SCALE ON DRAWINGS AND PLANS.

Any questions regarding your hearing or the checklist should be directed to the Land Use Administrator at the Borough of Allendale Municipal Building 201-818-4400 x202. Please submit ~~fifteen~~ ¹⁸ (15) packets with copies of all drawings and plans to the Land Use Administrator at least ten (10) days prior to the hearing. It is suggested that the property owner refer to the appropriate building code to assure proper engineering and construction techniques, or to secure the services of a local, reputable architect and/or engineer.

12/21/2023
Date


Signature

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

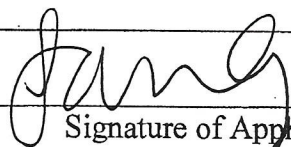
The petition of LAURA AQUINO
shows that on or about the 1ST day of DECEMBER, 2023
an application to the Zoning Official for the purpose of (describe intended
action) CONSTRUCTING A ONE STORY ADDITION, CONVERTING AN EXISTING
GARAGE TO LIVING SPACE AND CONSTRUCTING A NEW DETACHED
GARAGE.
on the premises located at (street address) 203 WEST ALLENDALE AVENUE,
ALLENDALE, NEW JERSEY Block 1708 Lot 14
as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that
after due consideration the Zoning Enforcement Officer did on the 7TH day of DEC, 2023
decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement
Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of
appeal with said Officer, together with the required fee of \$500, and requests that
action of the Zoning Enforcement Officer be reversed or modified as the facts may be
determined, and applicant further requests that a day be fixed for hearing on this appeal and
states that the proper notice will be given to all owners of property situated within two hundred
(200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

An application is hereby made for a (Hardship) (~~Floor Area Ratio~~) (~~Use~~) variance from the terms
of Article(s) and Section(s) Z70-64C(2) & Z70-18B(2)
of the Zoning Ordinance so as to
permit CONSTRUCTION OF A ONE STORY REAR ADDITION, CONVERT
AN EXISTING GARAGE TO LIVING SPACE AND CONSTRUCT A NEW
DETACHED GARAGE.


Signature of Applicant

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 14 Block(s) 1708
Street Address 203 WEST ALLENDALE AVENUE
Applicant LAURA AQUINO Address 203 WEST ALLENDALE AVENUE
Owner LAURA AQUINO Address 203 WEST ALLENDALE AVENUE
Lessee N/A Address _____
Last Previous Occupancy RESIDENCE
Size of Lot 25,043 SF
Floor area ratio calculation 12.99% PROPOSED
Percentage of lot occupied by building(s) 10.87% PROPOSED
Height of building(s) 2 stories 21'6" feet
Set back from front property line 32' ft. From side (if corner lot) N/A ft.
Zoning requirements - Frontage 44', side yards 19.5', set-back 35', rear yard 50'
"Prevailing set-back" of adjoining buildings within one block 30' ft
Has there been any previous appeal involving these premises? NO
If so, state character of appeal and date of disposition _____

Proposed use: RESIDENCE

This application for a use variance includes an application for subdivision _____, site plan _____, conditional use _____ approval.

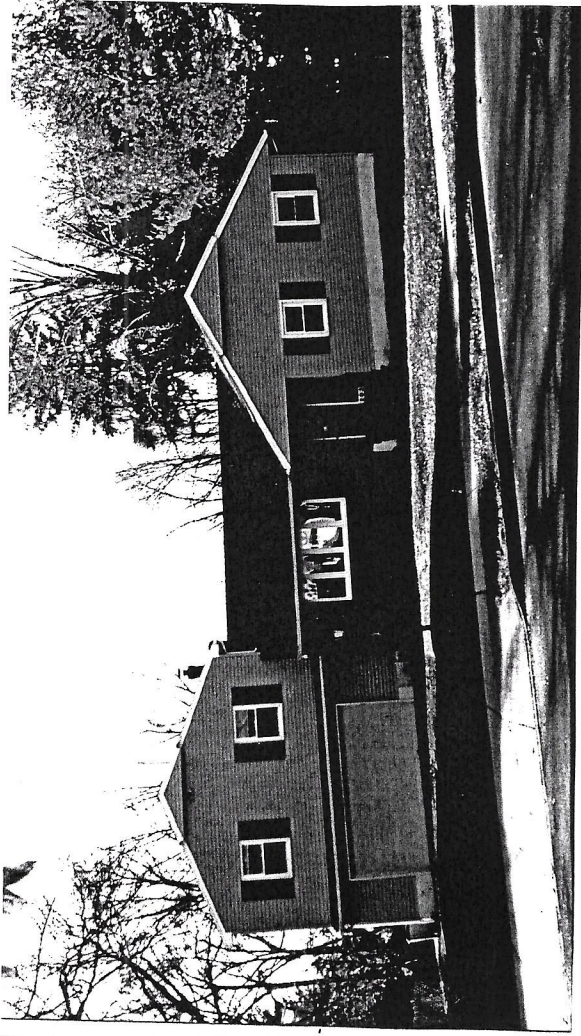
ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) ~~Fifteen~~ ¹⁰ (15) copies of all application documents
- (c) ~~Fifteen~~ ¹⁰ (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified "location map" and clearly indicate such buildings and their approximate location, together with "prevailing set-back" dimensions.
- (d) ~~Fifteen~~ ¹⁰ (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) ~~Fifteen~~ ¹⁰ (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) ~~Fifteen~~ ¹⁰ (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

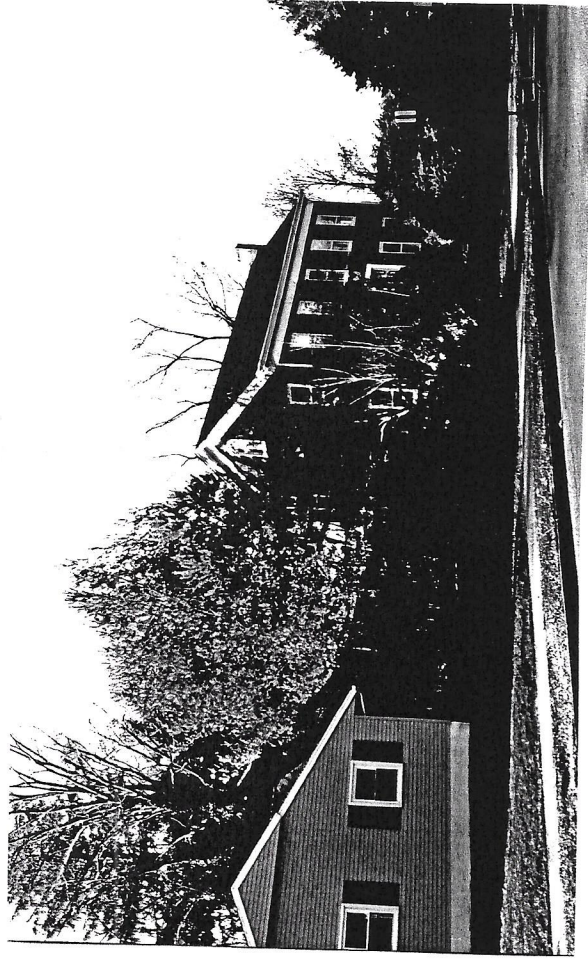
(File all copies with the Land Use Administrator when only a variance is sought.)

Date: 8/21/2023

[Signature]
Signature of Applicant or Agent

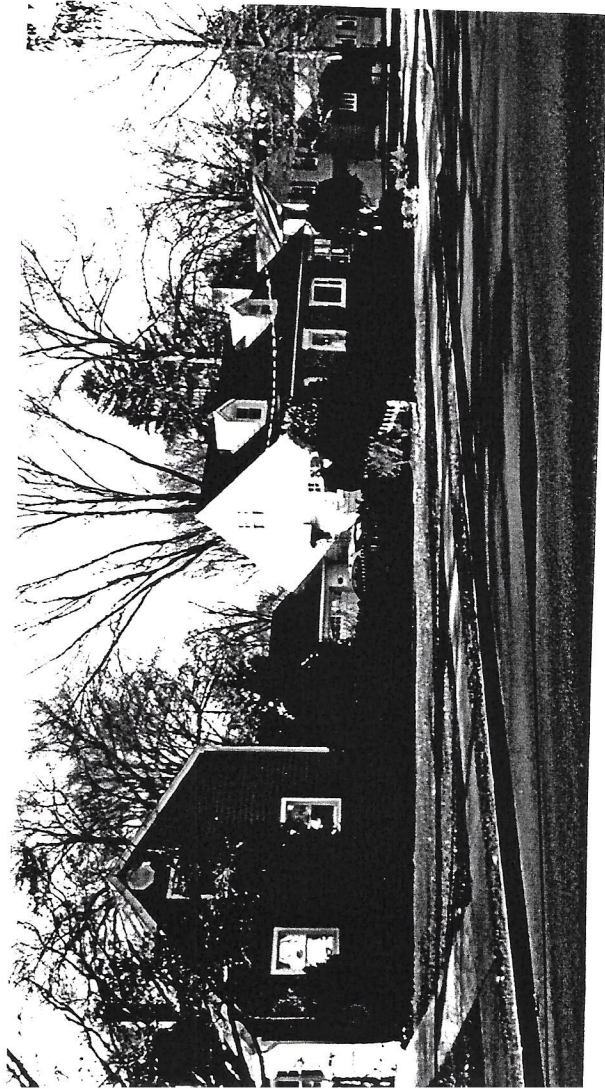


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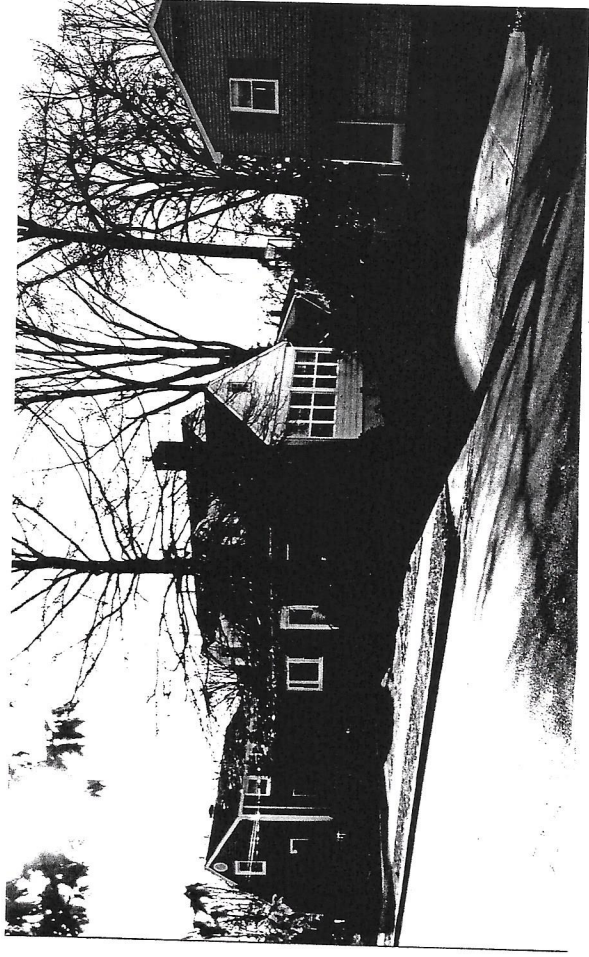
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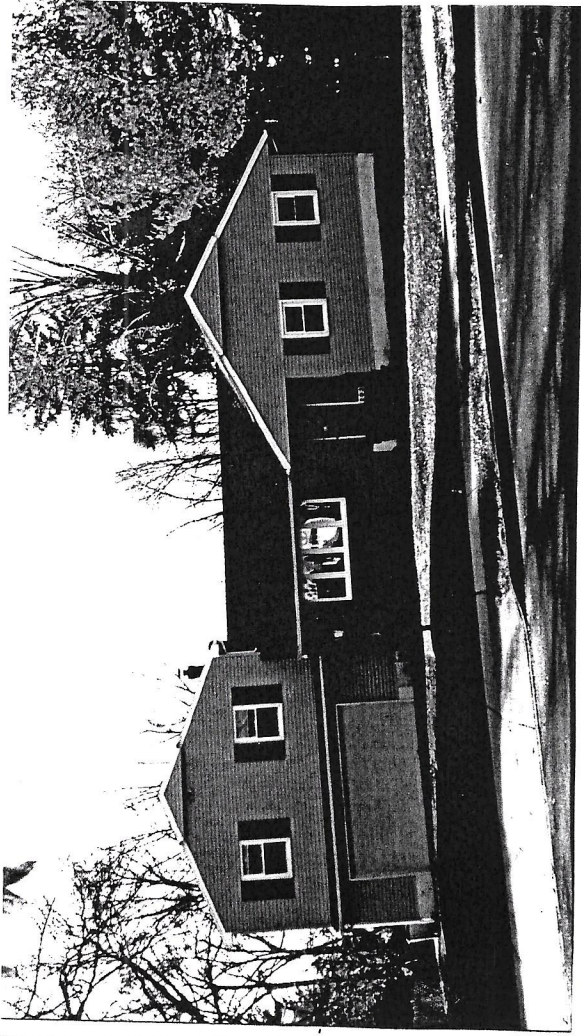
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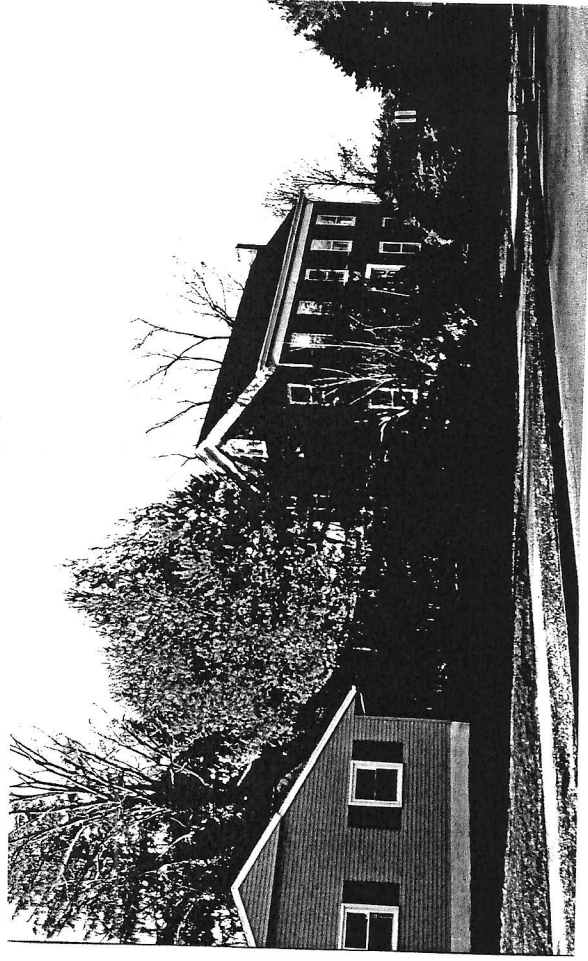
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WEST ALLENDALE AVENUE - STREET SCAPE

C. GREIMEL 12/20/23

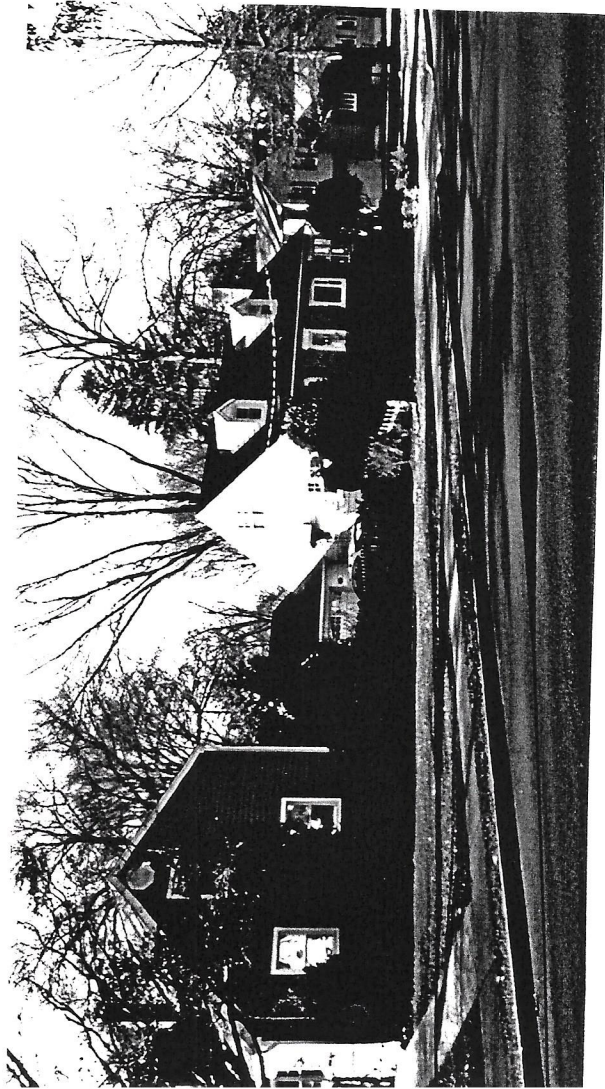


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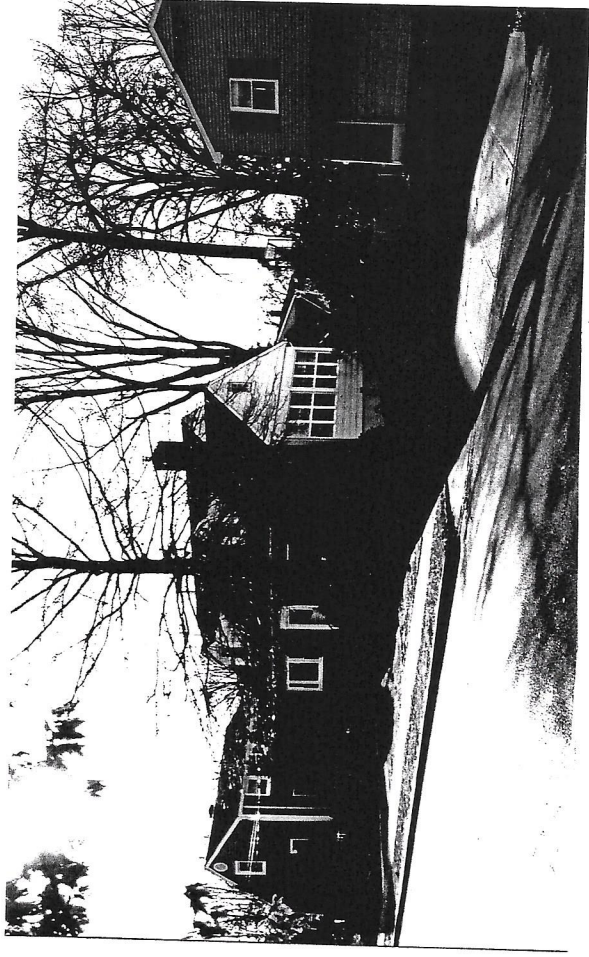
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WEST ALLENDALE AVENUE - STREET SCAPE

C. GREIMEL 12/20/23

ROOF DRAINAGE CALCULATIONS

- NEW ROOF AREA = 946 SF
- 2-HOUR STORM AT 1.0" / HOUR / SF $(946 \text{ SF} \times 1.0 \text{ "/hour} \times 2 \text{ HRS}) / 12 = 157.7 \text{ CF} \times 7.48 \text{ GAL/CF} = 1,179.3 \text{ GAL}$

REQUIRED CAPACITY

ZONING REQUIREMENTS - "A" ONE FAMILY RESIDENTIAL

DESCRIPTION	REQUIREMENT	ORIGINAL ①	PROPOSED
LOT AREA	20,000 SF	25,043 SF	25,043 SF
LOT WIDTH	115'	100'	100'
FLOOR AREA RATIO ①	21.99% MAX	14.43%	12.99%
GROSS BUILDING FLOOR AREA ②	5507 SF MAX	3,614 SF	3,252 SF
IMPERVIOUS COVERAGE ③			
• BUILDING COVERAGE	N/A	12.32%	10.81%
• OTHER COVERAGE ④			
• DRIVEWAY	N/A	4.23%	9.84%
• PATIO, SIDEWALKS, ETC ④	N/A	2.49%	1.43%
• TOTAL	34.76% MAX	19.04%	22.14%
PRINCIPAL BUILDING			
• FRONT YARD	35' MIN	32.0'	32.0'
• SIDE YARD #1 ⑤ ⑥	19.5' MIN	17.5'	17.5'
• SIDE YARD #2 ⑤ ⑥	19.5' MIN	14.4'	14.4'
• REAR YARD	50' MIN	164' +/-	164' +/-
• BUILDING HEIGHT			
• FEET	35' MAX	21' +/-	21' +/-
• STORIES	2 1/2 STY. MAX	2 STY	2 STY
ACCESSORY BUILDING			
• FRONT SETBACK	70' MIN	114' +/-	123' +/-
• SIDE SETBACK #1	6' MIN	9' +/-	7'
• SIDE SETBACK #2	6' MIN	53' +/-	67' +/-
• REAR SETBACK	6' MIN	95' +/-	95' +/-
• HEIGHT	21' MAX	28' +/-	20' +/-
• DISTANCE TO PRINCIPAL BUILDING	10' MIN	41' +/-	44' +/-

- ① FAR = $25.0002 \times (25,043 - 10,000) = 21.99\% \text{ MAX}$
- ② GBA = $21.99 \times 25,043 = 5,507 \text{ SF MAX}$
- ③ IMPERVIOUS COVERAGE = $55 / 125,043 = 34.76\% \text{ MAX}$
- ④ DECK IS PERVIOUS - NOT INCLUDED
- ⑤ SIDE YARD = $.006 \times \text{GBA (WITH ADDITION \& NEW GARAGE)} = .006 \times 3,252 = 19.51'$
- ⑥ DENOTES EXISTING NON-CONFORMING CONDITION TO REMAIN UNCHANGED. PROPOSED ADDITION \& DETACHED GARAGE TO BE FULLY CONFORMING.
- ⑦ SIDE YARD REQUIREMENT BASED ON EXISTING GBA = $.006 \times 2614 = 21.68'$ THEREFORE, PROPOSED CONSTRUCTION REDUCES SIDEYARD REQUIREMENT BY 2.42' THEREBY REDUCING MAGNITUDE OF SIDEYARD NON-CONFORMANCE FOR THE EXISTING PRIMARY BUILDING.
- ⑦ INCLUDES BARN.

N.T.U.C.C. DATA REQUIREMENTS

- APPLICABLE CODES:
- INT. RESIDENTIAL CODE, 2021 (NJ)
- NAT. ELECTRIC CODE, 2020
- NAT. STANDARD PLUMBING CODE, 2021
- INT. MECHANICAL CODE, 2021
- INT. FUEL GAS CODE, 2021
- INT. ENERGY CONSERVATION CODE, 2021
- USE GROUP DESIGN CRITERIA: R5
- CONSTRUCTION TYPE: 5B
- NEW CONSTRUCTION # STORIES: 1
- NEW CONSTRUCTION HEIGHT (IRC DEF)
- ADDITION: 13' +/-
- DETACHED GARAGE: 5' +/-

- NEW BUILDING AREA: 270 S.F.
- NEW STRUCTURE VOLUME: 12,768 C.F.
- NEW ROOF AREA: 946 S.F.
- LAND AREA DISTURBED: 4,000 S.F.
- EXCAVATION: 60 C.Y.
- NEW PLUMBING FIXTURES: 4
- NEW ELECTRIC DEVICES: 89
- DESIGN LOADS:

	LIVE	DEAD
• GARAGE FLOOR	50 PSF	60 PSF
• 1ST FLOOR (HOUSE)	40 PSF	15 PSF
• ATTIC (LIGHT STORAGE)	20 PSF	10 PSF
• ROOF/SNOW	30 PSF	15 PSF

ENERGY CODE COMPLIANCE (PRESCRIPTIVE PACKAGE - CLIMATE ZONE 3A) FOR ADDITION

DESCRIPTION	REQUIREMENT	PROVIDED
FENESTRATION "U" FACTOR	.30	.30 (ANDERSEN LOW E4)
FENESTRATION SHGC	.40	.29 (ANDERSEN LOW E4)
CEILING "R" VALUE	60	61 (FIBERGLASS BATT)
WOOD FRAME WALL "R" VALUE	30 OR 20+501	30 (FOAM IN STUD BAYS)
FLOOR "R" VALUE	30	30 (FIBERGLASS BATT)
CRAWL SPACE WALL "R" VALUE	1501	1801 (FOAM BD - INTERIOR)

LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED
- NEW WOOD STUD WALL
- NEW CEMENT BLOCK WALL
- SILL ANCHOR
- DOOR \& WINDOW SCHEDULE ITEM #
- SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- 120 VAC RECEPTACLE
- 120 VAC GFCI RECEPTACLE
- CEILING MOUNT FIXTURE (LED)
- DOWNWITE (LED)
- WALL MOUNT FIXTURE (LED) - MEMOTION DETECTOR
- SMOKE ALARM (120 VAC/BATTERY BACKUP)
- CO ALARM (120 VAC/BATTERY BACKUP)
- CABLE TV OUTLET/DATA PORT
- TELEPHONE OUTLET
- CEILING FAN WITH LIGHT KIT
- FAN CONTROL SWITCH
- BATH EXHAUST FAN - VENT TO OUTSIDE
- ELECTRIC PANEL
- OVERHEAD DOOR OPENER
- UNDERGROUND ELECTRIC
- UNDERGROUND DRAIN
- SEALED SHOWER FIXTURE (LED)
- FLOOD LIGHT (LED) - M = MOTION DETECTOR

CONSTRUCTION NOTES

- SEE APPENDIX #1 FOR GENERIC NOTES AS APPLICABLE.
- UNLESS OTHERWISE NOTED, FRAMING LUMBER SHALL BE:
 - DOUGLAS FIR, #2 GRADE OR BETTER FOR PROTECTED AREAS, \&
 - ACQ PRESSURE TREATED SYP, #2 GRADE OR BETTER FOR FRAMING EXPOSED TO MOISTURE, ETC.
- FASTENERS, HANGERS \& CONNECTORS USED WITH ACQ SHALL BE:
 - HOT DIPPED GALVANIZED, OR
 - GIBS TRIPLE ZINC COATED (ELECTROPLATED), OR
 - STAINLESS STEEL
- FLASHING IN CONTACT WITH ACQ SHALL BE COPPER.
- STRUCTURES SHALL BE FRAMED USING A COMBINATION OF STRUCTURAL SHEATHING, STEEL CLIPS, TIES, STRAPS \& ANCHORS \& FASTENERS TO PROVIDE A COMPLETE \& CONTINUOUS LOAD PATH FROM THE ROOF TO THE FOUNDATION.
- ELECTRICAL CONTRACTOR SHALL DETERMINE:
 - BRANCH CIRCUIT LOADING \& SIZING
 - PANEL SERVICE LOADING \& SIZING
 - CONDUCTOR, CONDUIT \& BOX SIZING
 - CIRCUIT BREAKER SIZING \& TYPE
 - ROUTING FOR ALL WIRING

PROPOSED ADDITION \& DETACHED GARAGE

PLANS FOR: AQUINO RESIDENCE
LOCATION: 203 WEST ALLENDALE AVENUE
ALLENDALE, NEW JERSEY

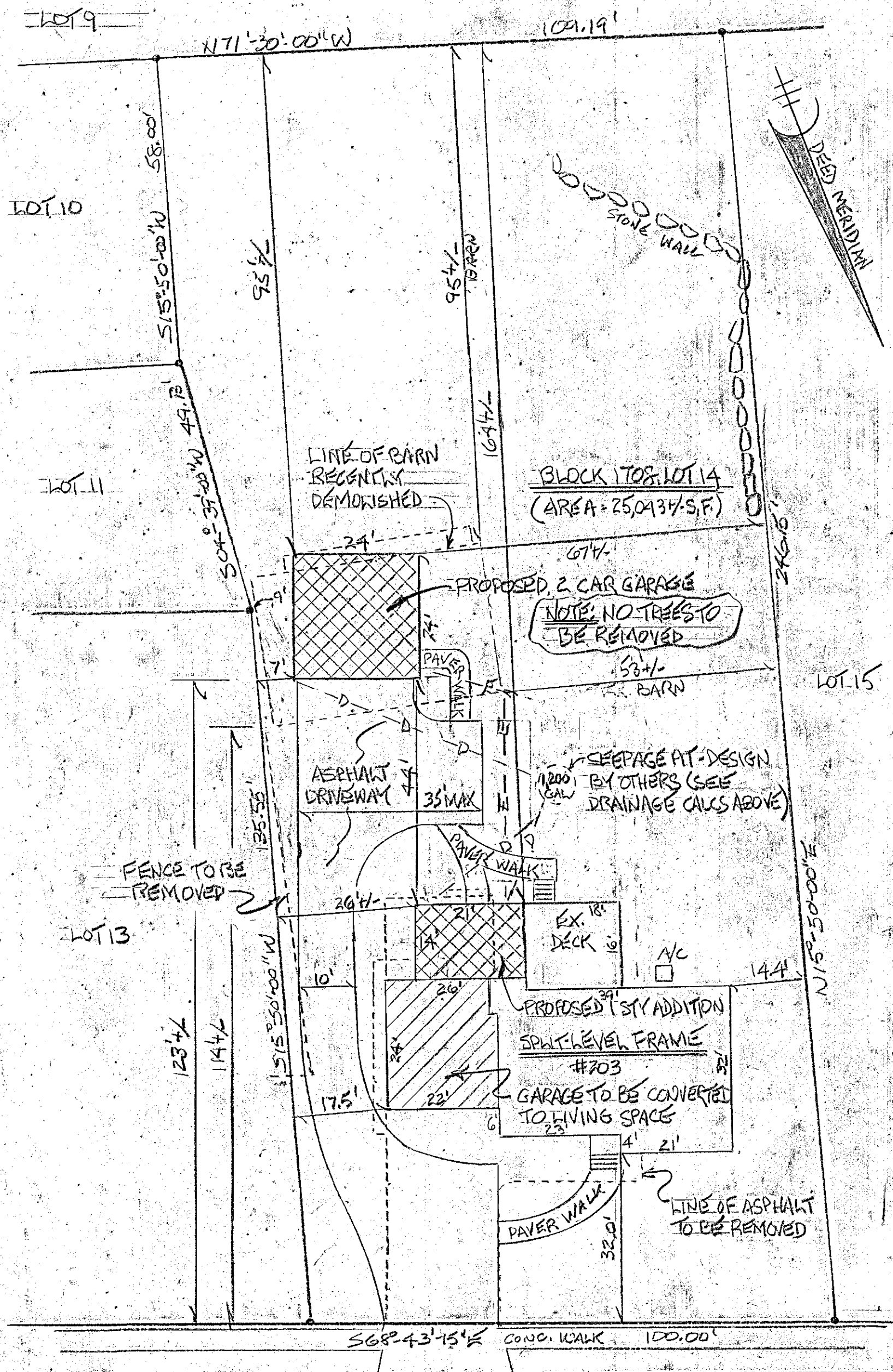
BLOCK # 1708 LOT # 14

CHRISTOPHER J. GREIMEL, P.E., R.A., P.P.
PROFESSIONAL REGISTERED PROFESSIONAL
ENGINEER ARCHITECT PLANNER
NJ LICENSE #28992 NJ LICENSE #09959 NJ LICENSE #03435

DRAWN BY: CTC
APPROVED BY: CTC
DATE: 12/8/23
PROJECT # 23-00-00
REVISION # 2

DRAWING #
1 OF 5

157 Park Avenue, Allendale New Jersey 07401
201-825-7535

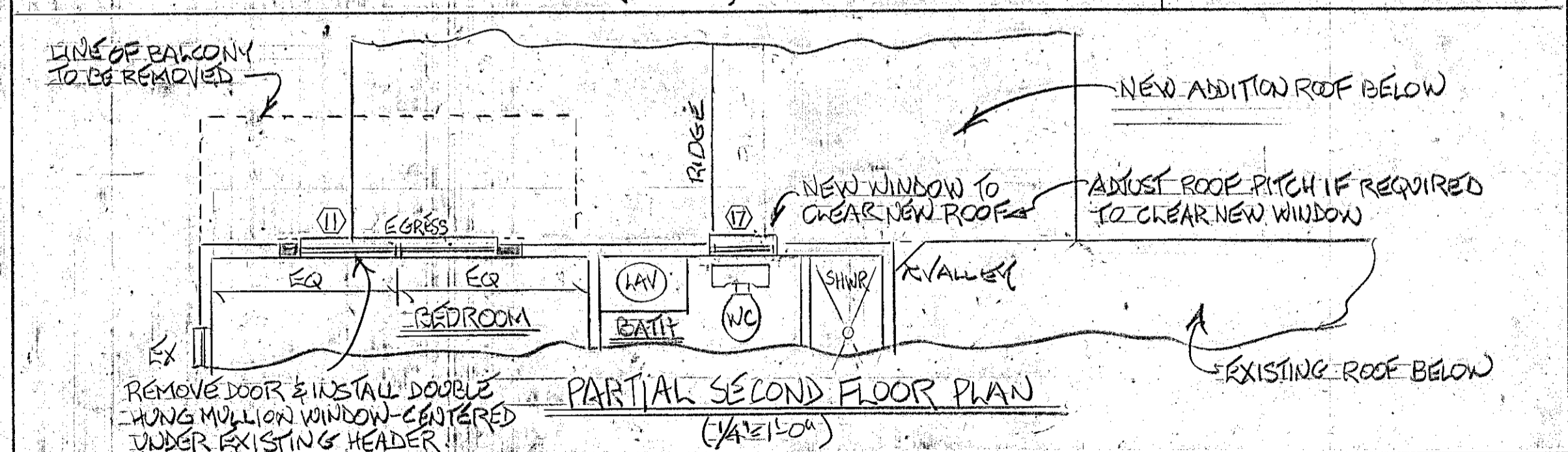
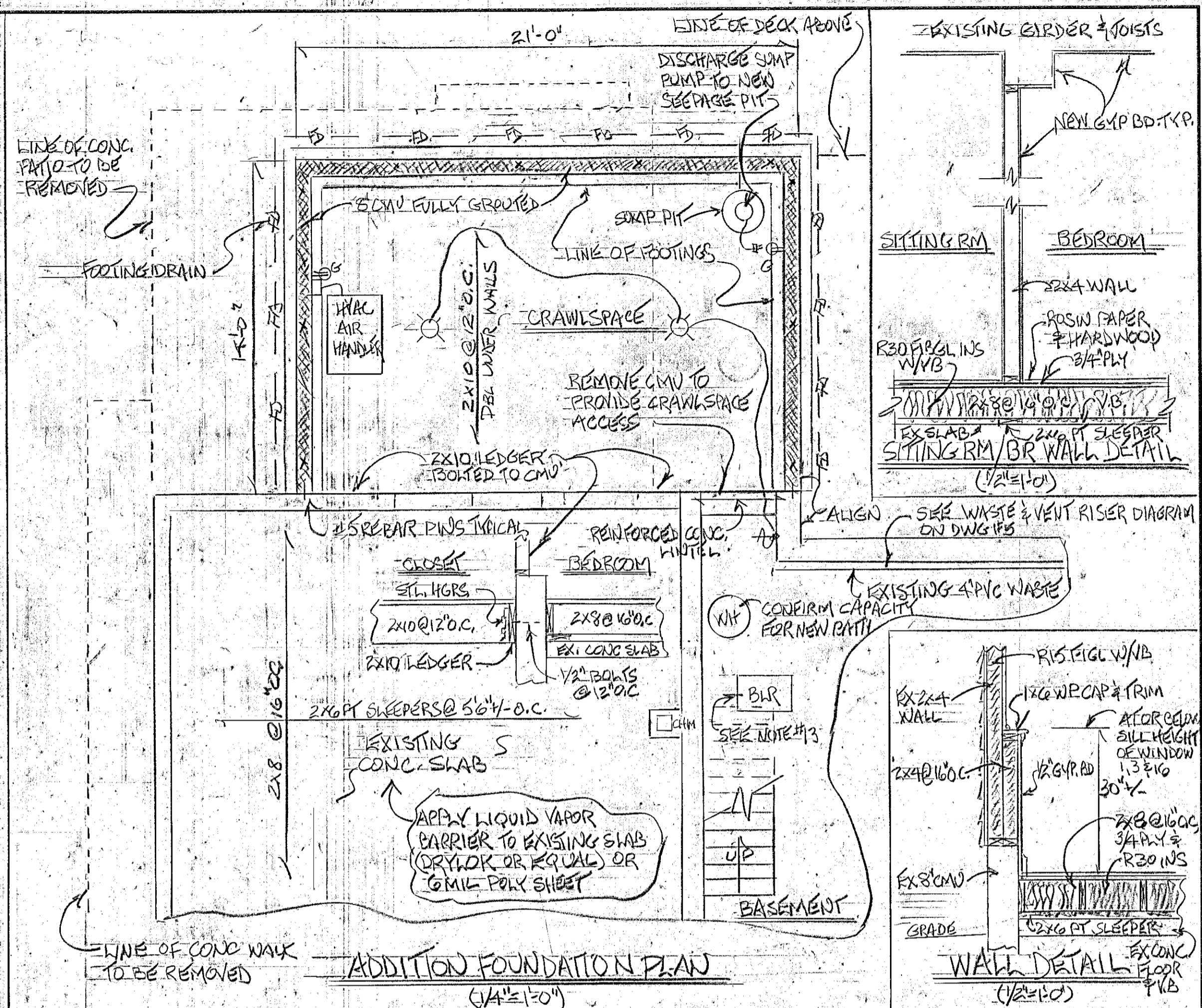
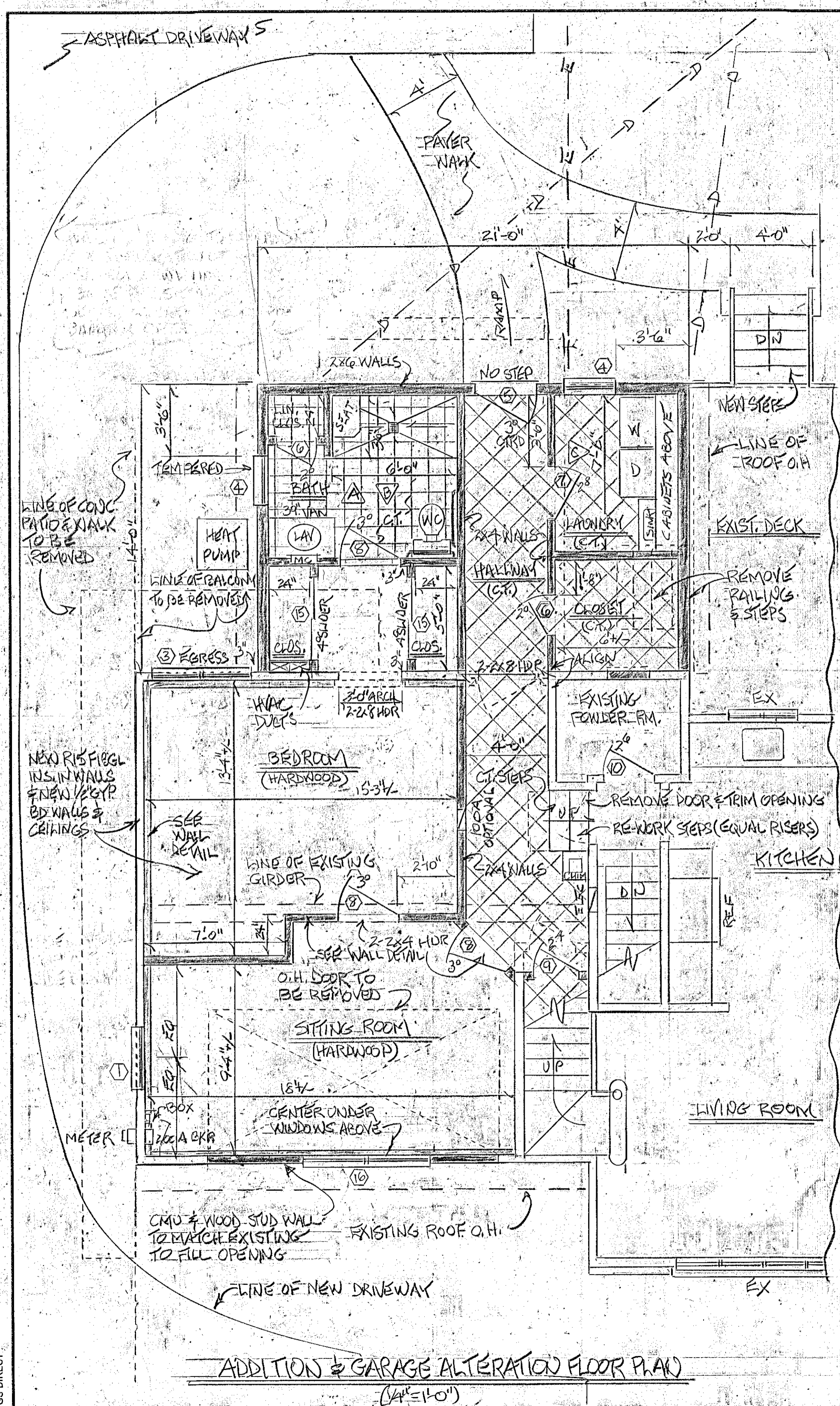


WEST ALLENDALE AVENUE (50' R.O.W.)

SITE PLAN

(1"=20'-0")


FROM SURVEY BY CHRISTOPHER J. LANTELME, P.E. \& L.S. (NJ LIC #34580)
DATED 4/19/18. OFFSETS FOR PROPOSED ADDITION \& DETACHED GARAGE
ARE SCALED OR CALCULATED.



ENERGY COMPLIANCE (ZONE 5A PRESCRIPTIVE PACKAGE)		
DESCRIPTION	REQUIRED	PROVIDED
• FENESTRATION "U" FACTOR	.30 MAX	.30
• FENESTRATION SHGC	.40 MAX	.29
• CEILING "R" VALUE	60 MIN	61
• WOOD FRAME WALL "R" VALUE	30 MIN	30+3C1
• FLOOR "R" VALUE	30 MIN	30
• CRAWL SPACE WALL "R" VALUE	15 C1	18 C1

PLANS FOR: AQUINO RESIDENCE
LOCATION: 203 WEST ALLENDALE AVENUE
ALLENDALE, NEW JERSEY

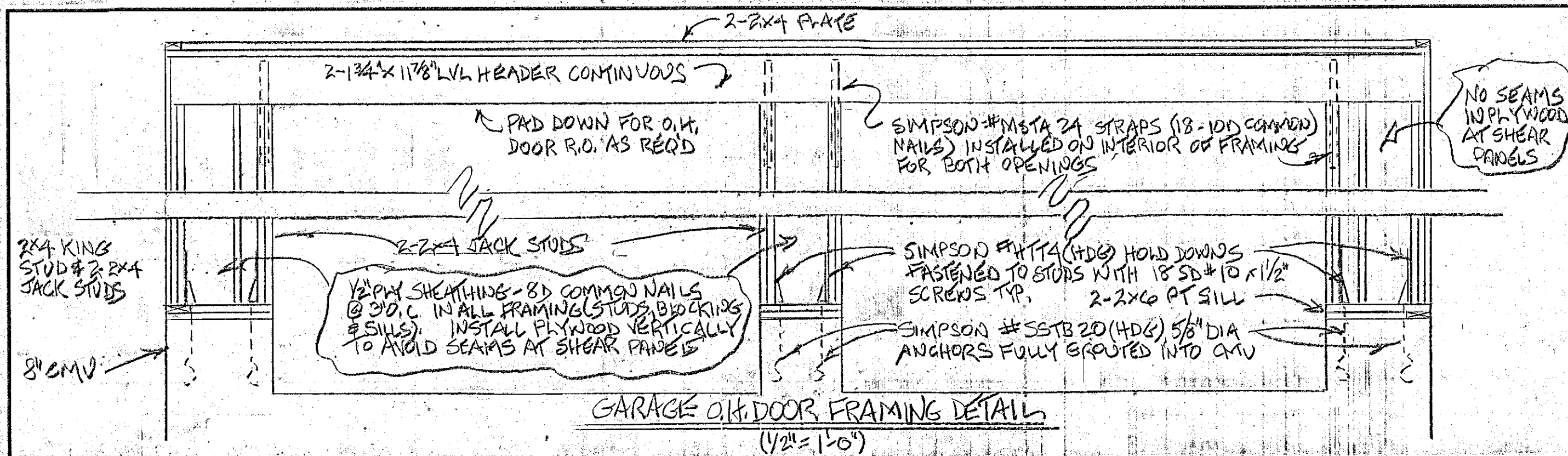
BLOCK # 1708 LOT # 1A


CHRISTOPHER J. GREIMEL, P.E., R.A., P.P.
PROFESSIONAL REGISTERED PROFESSIONAL
ENGINEER ARCHITECT PLANNER
NJ LICENSE #28992 NJ LICENSE #00959 NJ LICENSE #03435

157 Park Avenue, Allendale New Jersey 07401
201-825-7535

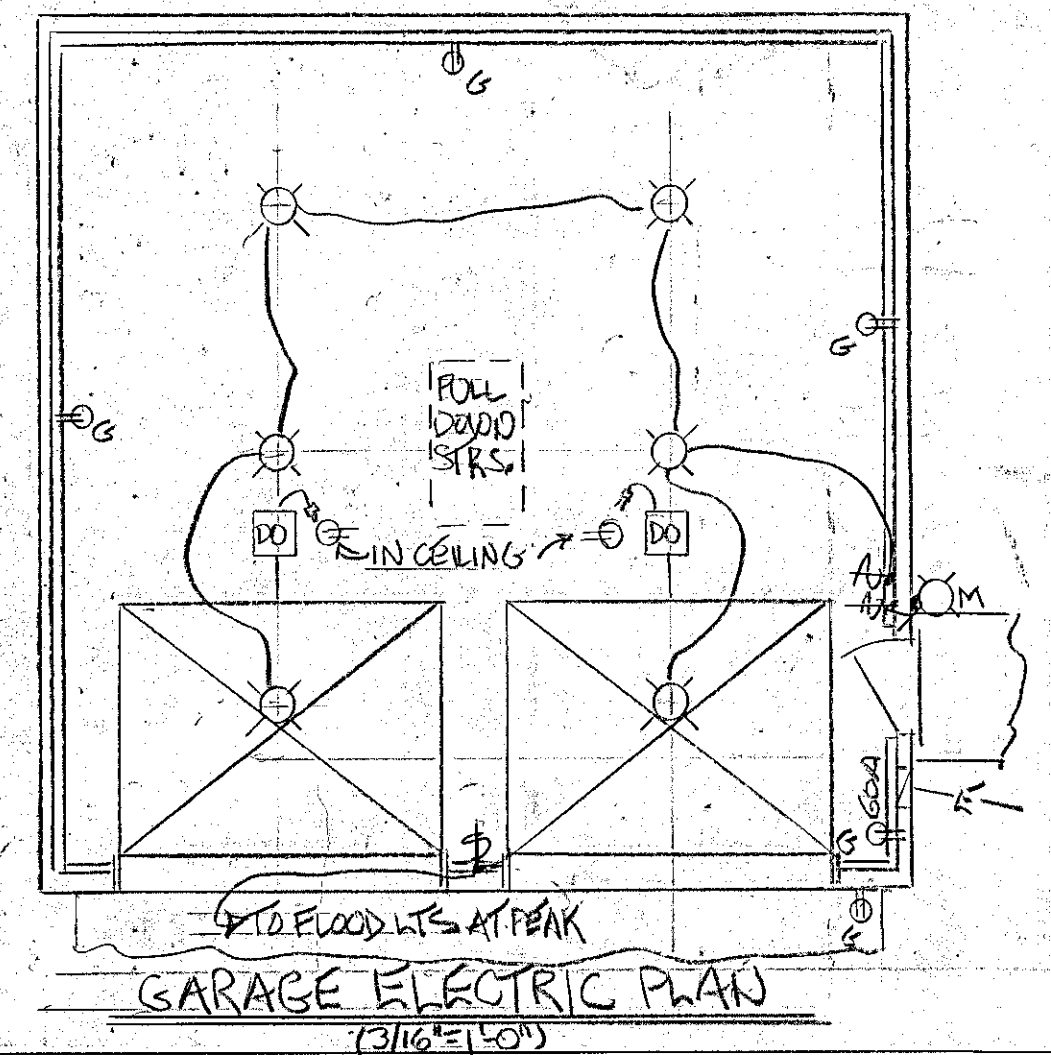
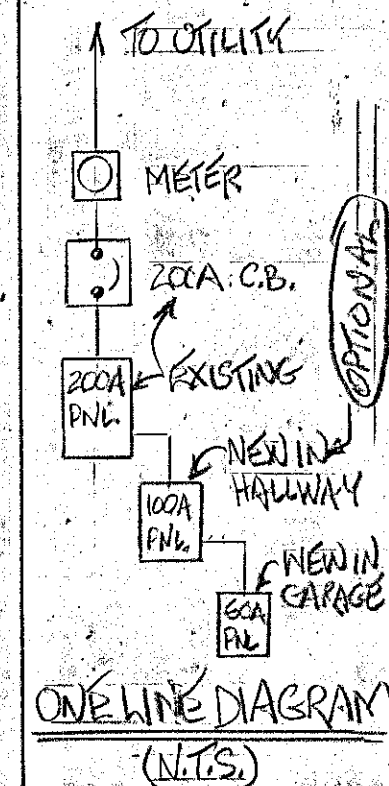
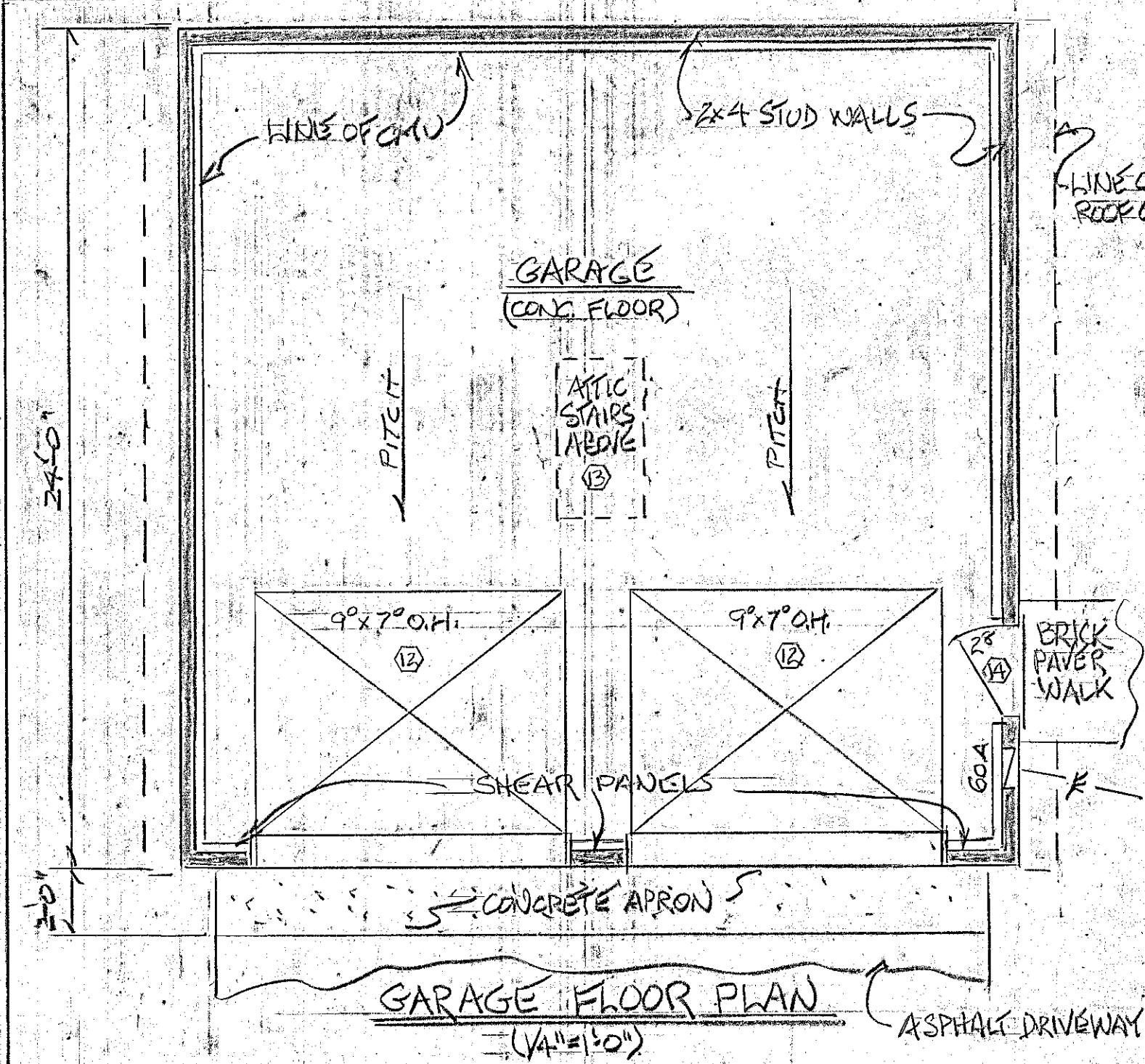
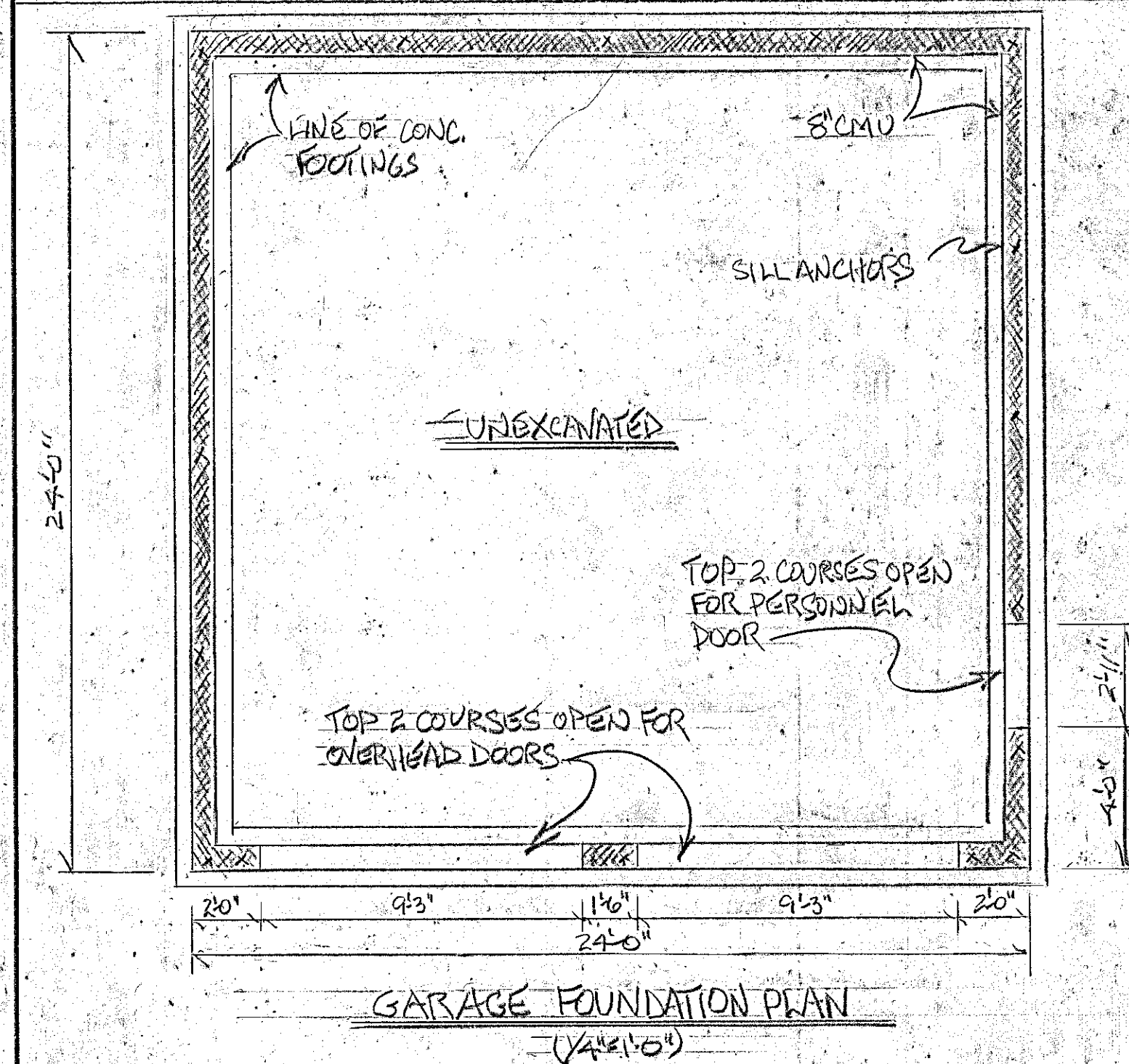
DRAWN BY: CJG
APPROVED BY: CJG
DATE: 12/8/23
PROJECT #: 23-06-06
REVISION #: 2

DRAWING #
205



CONSTRUCTION NOTES CONTINUED

7. PLUMBING CONTRACTOR SHALL DETERMINE SIZE & ROUTING FOR:
 - COLD & HOT WATER LINES
 - WASTE LINES & CLEANOUTS
 - VENT LINES
 - NATURAL GAS LINES
8. NEW GYPSUM BOARD WALLS & CEILING SHALL BE TAPED, SPACKLED & PRIMED FIVE ONE COAT OF PAINT (COLOR BY OWNER).
9. INTERIOR TRIM SHALL MATCH EXISTING.
10. TRIM, DOORS & WINDOWS SHALL BE PRIMED PLUS ONE COAT OF ENAMEL (COLOR BY OWNER).
11. HARDWOOD FLOORING SHALL BE SANDED, STAINED, PLUS 3 COATS OF POLYURETHANE. (STAIN SELECTION BY OWNER).
12. EXTERIOR DOORS & WINDOWS SHALL BE FLASHED, SEALED & INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS.
13. HVAC CONTRACTOR SHALL DETERMINE DESIGN FOR HEAT PUMP HEATING & COOLING SYSTEM INCLUDING SIZE, LOCATION & ROUTING FOR:
 - HEAT PUMP
 - DUCTS/REGISTERS
 - AIR HANDLER/COIL
 - CONDENSATE LINE
 - H/C/COOLING LINES
 - THERMOSTAT
14. CONTRACTOR SHALL PROVIDE SEPARATE ALLOWANCES IN THE BID FOR THE ITEMS LISTED BELOW. FINAL SELECTIONS BY OWNER.
 - ASPHALT PAVING
 - BRICK PAVEMENT WALKS
 - VINYL SIDING & SOFFITS
 - ALUMINUM GUTTERS & LEADERS
 - FIBERGLASS/ASPHALT ROOFING
 - LANDSCAPING
 - PLUMBING FIXTURES & FIXTURES
 - LIGHTING FIXTURES & FIXTURES
 - GARAGE DOOR OPENERS
 - BATH & LAUNDRY CABINETRY
 - COUNTERTOPS
 - MEDICINE CABINET
 - BATH TOWEL BARS, GRAB BARS, ETC.
 - SHOWER DOOR
 - CLOSET SHELVING SYSTEMS
 - LOCK SETS
 - HARDWOOD FLOORING
 - CERAMIC TILE

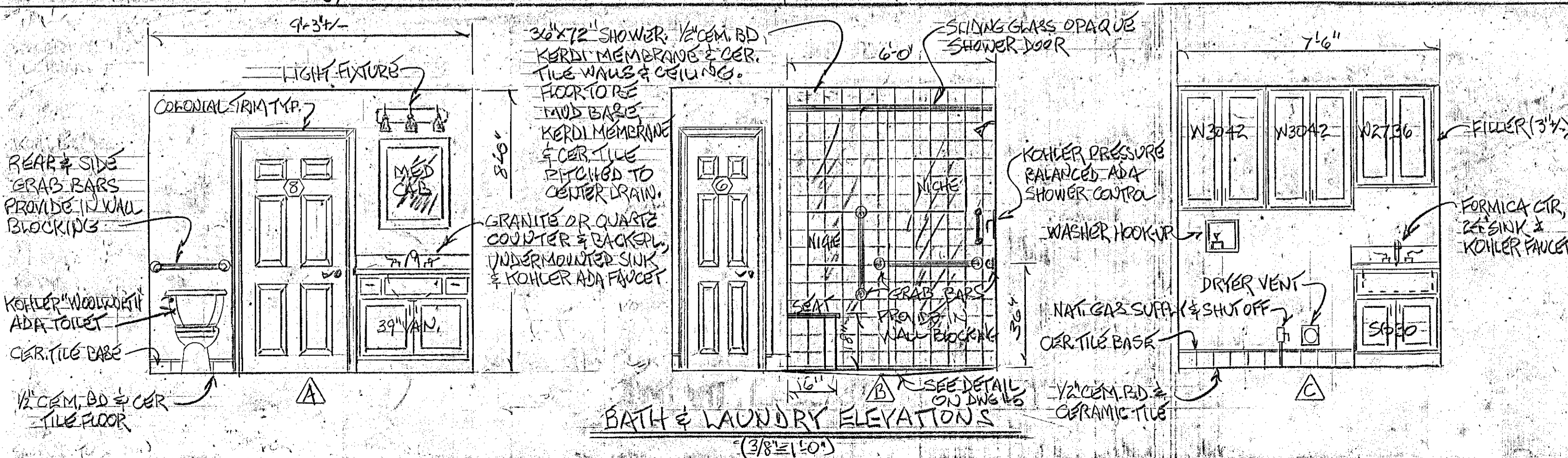
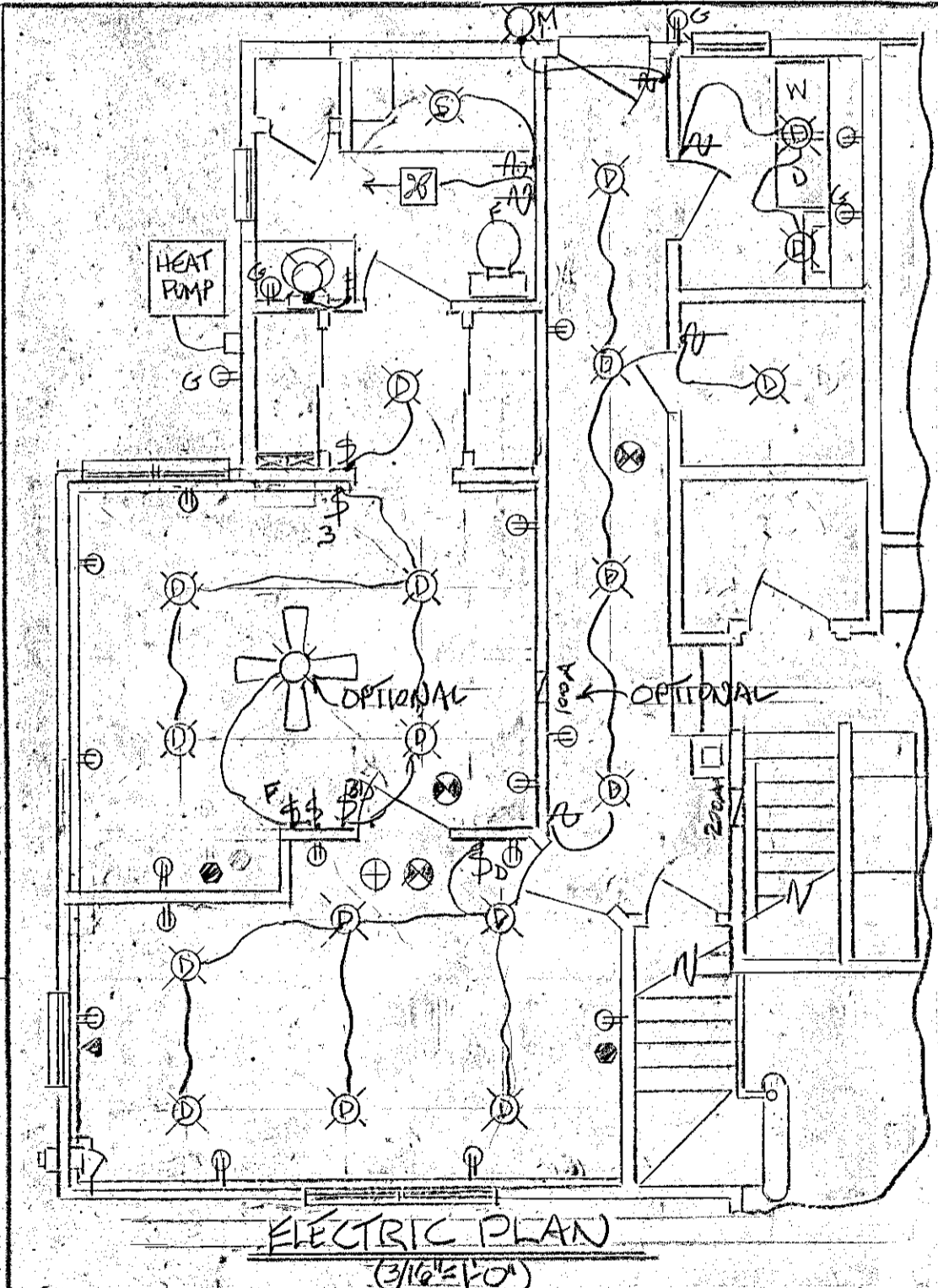
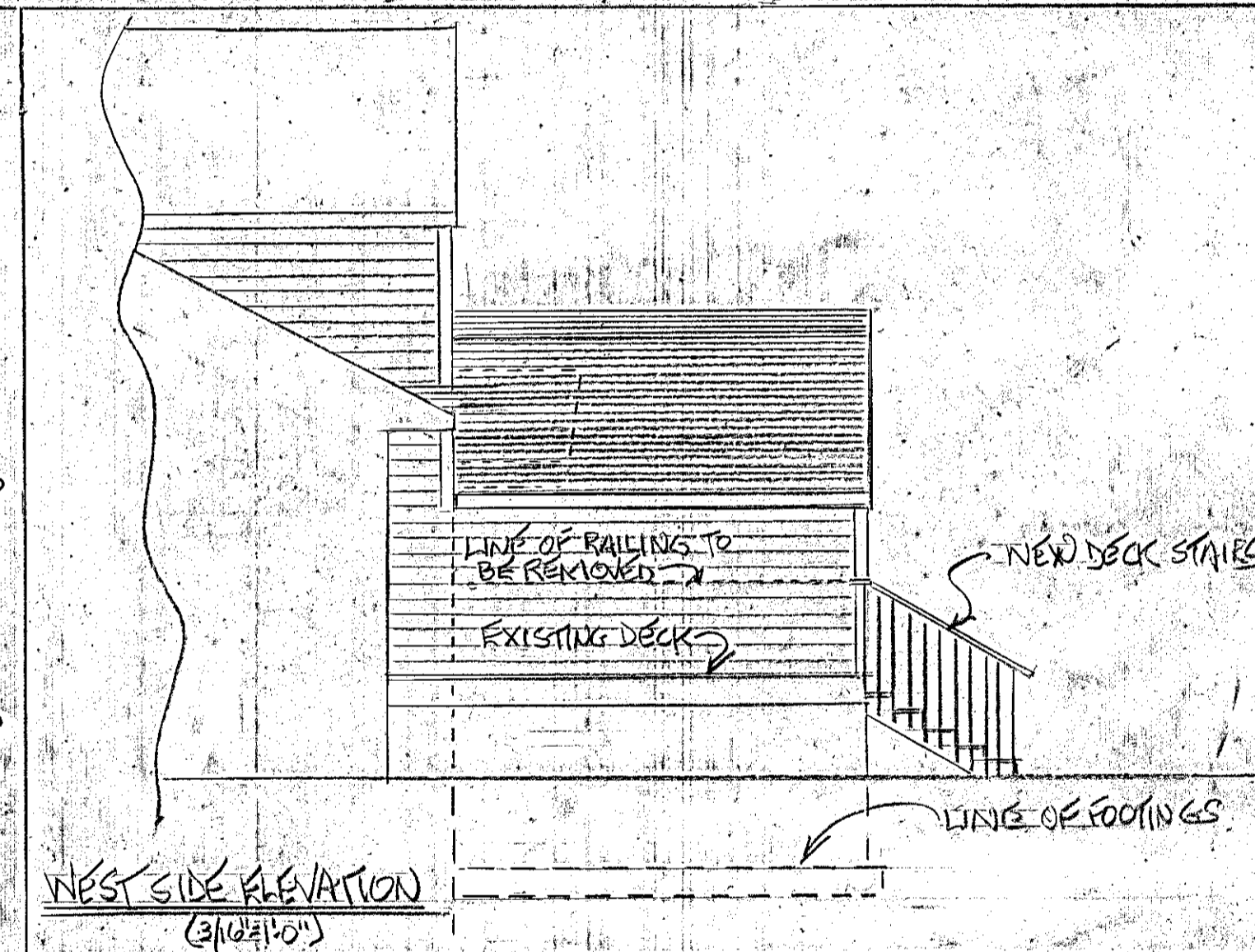
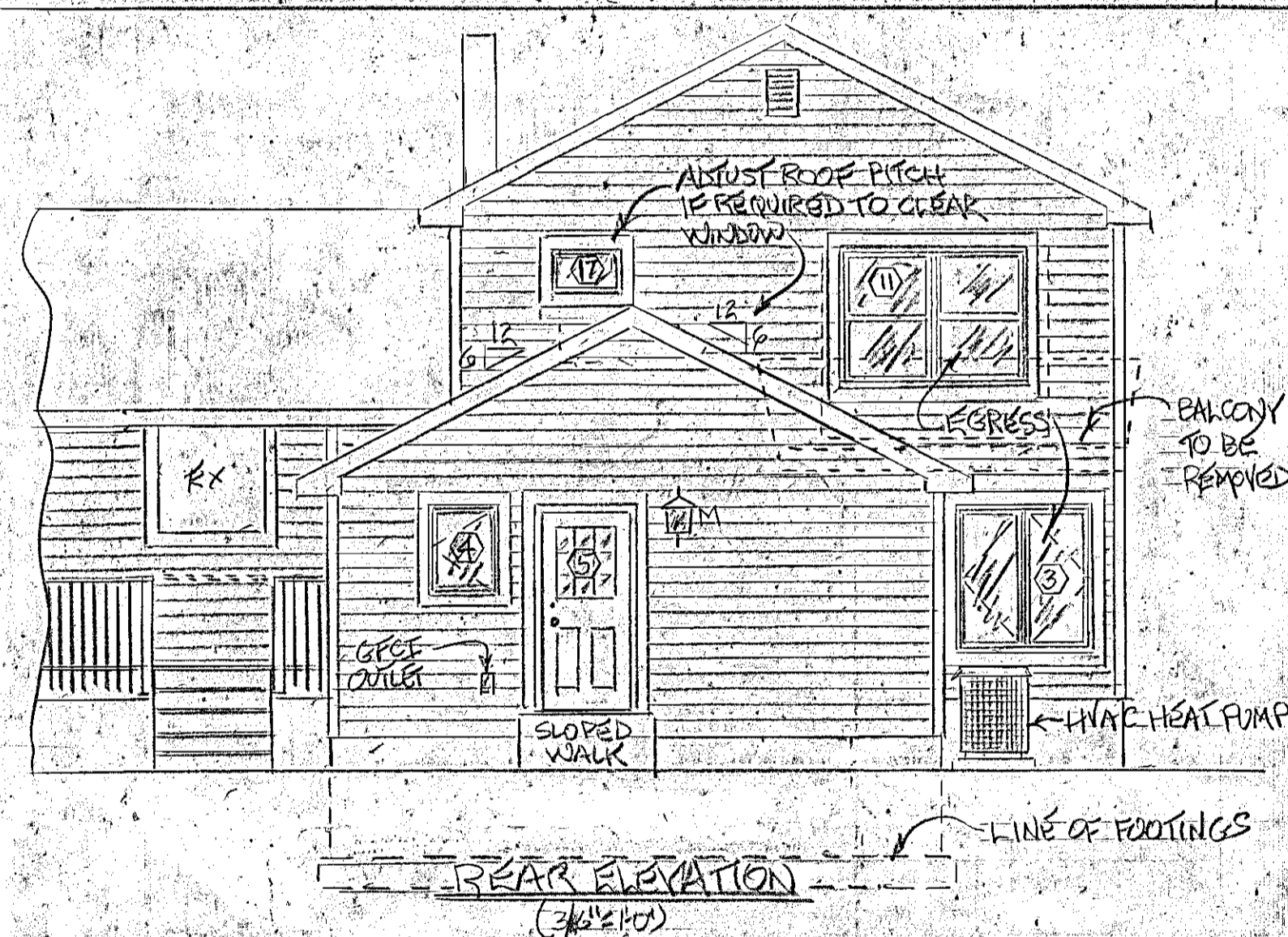
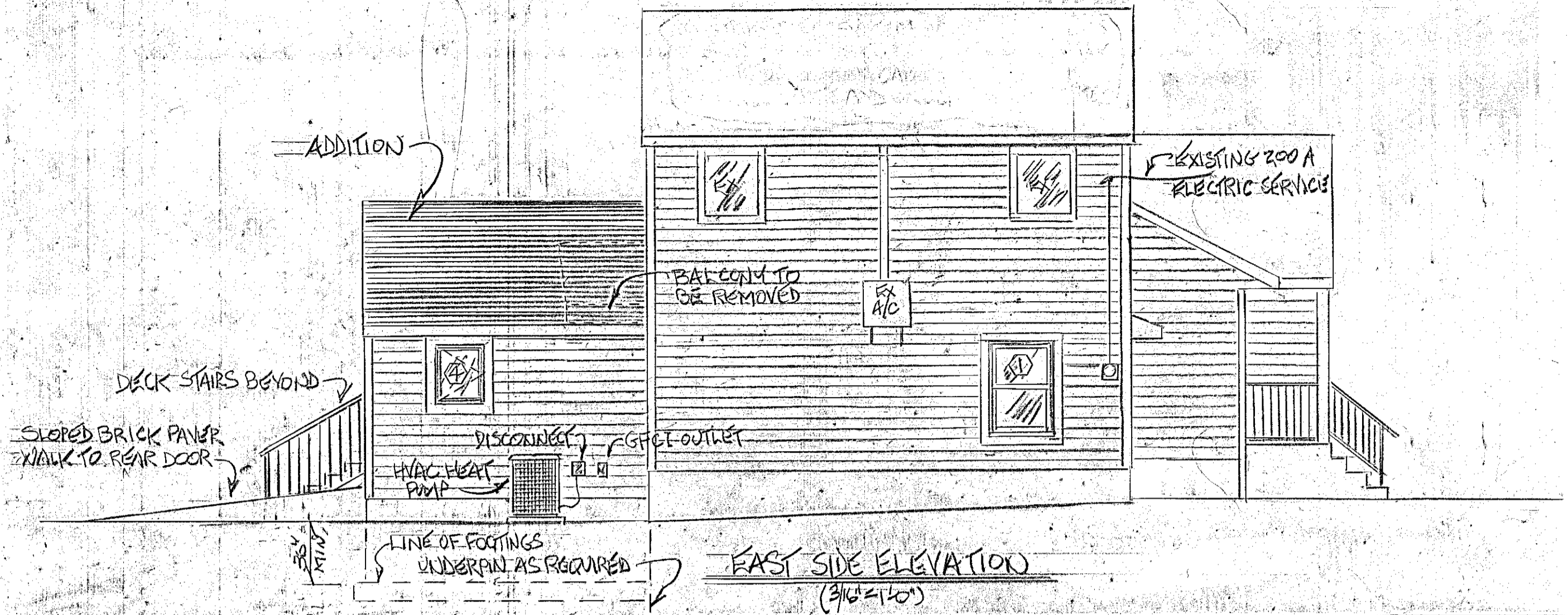
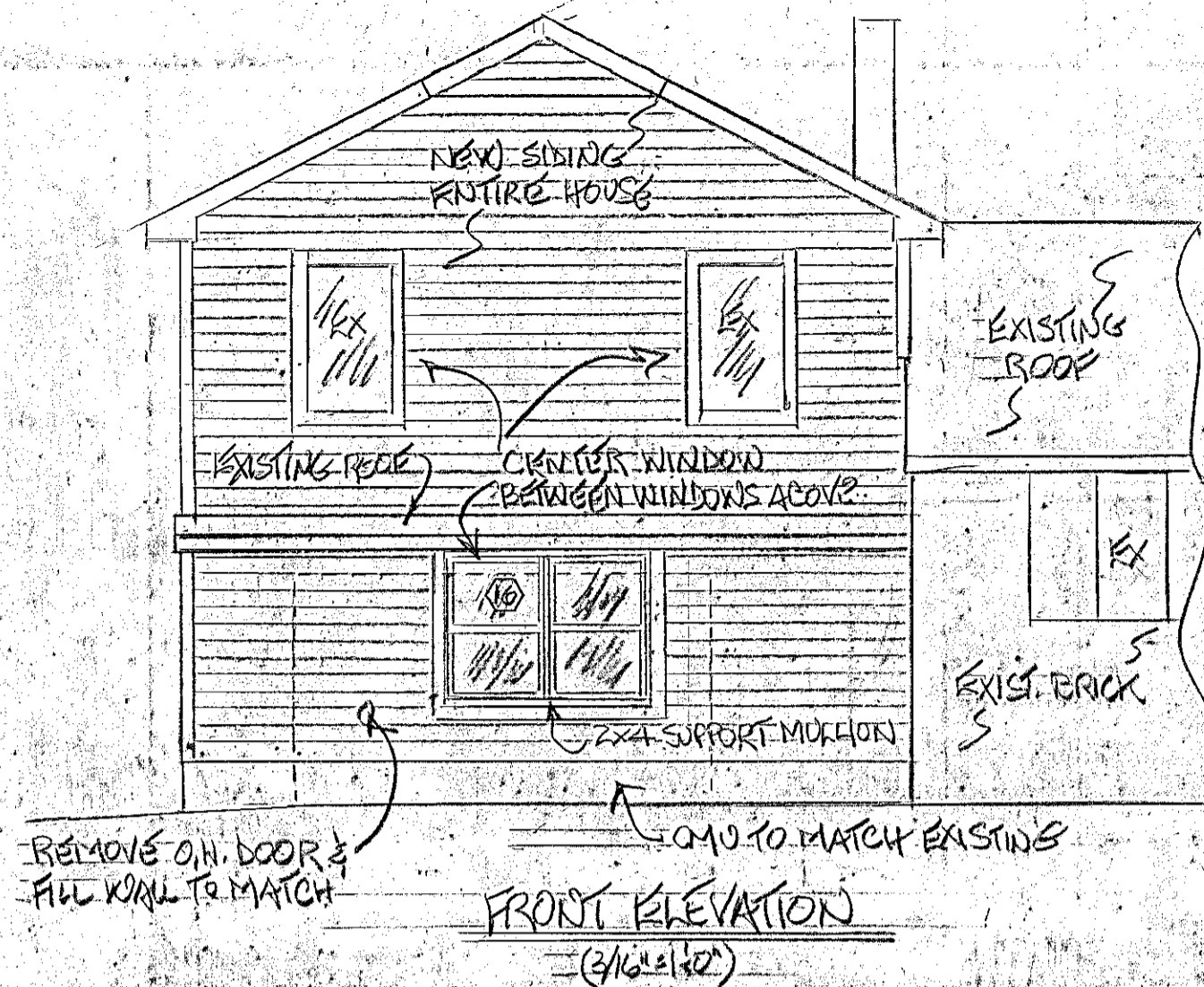


PLANS FOR: AQUINO RESIDENCE
 LOCATION: 203 WEST ALLENDALE AVENUE
 ALLENDALE, NEW JERSEY
 BLOCK # 1708 LOT # 14

DRAWN BY: *CTG*
 APPROVED BY: *CTG*
 DATE: 12/8/23
 PROJECT #: 23-06-06
 REVISION #: 2
 DRAWING #: 3 OF 5

CHRISTOPHER J. GREIMEL, P.E., R.A., P.P.
 PROFESSIONAL ENGINEER REGISTERED ARCHITECT PROFESSIONAL PLANNER
 NJ LICENSE #28992 NJ LICENSE #09959 NJ LICENSE #03435
 157 Park Avenue, Allendale New Jersey 07401
 201-825-7535

ITEM #	QUANTITY	DESCRIPTION	MANUFACTURER & MODEL #	ROUGH OPENING	MIN. HEADER SIZE	HARDWARE	U-Factor	SHGC
1	1	3'x4' DOUBLE HUNG WINDOW	ANDERSEN # TW3042	3'2 1/8" x 4'4 7/8"	2-2x8	SASH LOCK	.30	.28
2	2	8'x3' CASEMENT WINDOW	ANDERSEN # CW13 (RIGHT & LEFT)	7'11" x 3'0 1/2"	2-2x6	SASH LOCK	.29	.29
3	1	4'x5' CASEMENT WINDOW (EGRESS)	ANDERSEN # CW25	4'0 1/4" x 5'0 3/8"	2-2x8	SASH LOCK	.29	.29
4	2	2'x3' CASEMENT WINDOW	ANDERSEN # CW13	2'5 1/8" x 3'0 1/4"	2-2x6	SASH LOCK	.29	.29
5	1	3'x6' INS. DOOR W/WHITES-FIBGL.	THERMATRU # SZ62 LE	3'2 1/4" x 6'10 1/2"	2-2x6	DEADBOLT & PRIVACY	.26	.15
6	2	2'x6' INT. DOOR - 6 PANEL	CRAFTMASTER COLONIST	2'1" x 6'10"	2-2x4	PASSAGE/PRIVACY	N/A	N/A
7	1	2'x6' INT. DOOR - 6 PANEL	CRAFTMASTER COLONIST	2'10" x 6'10"	2-2x4	PASSAGE	N/A	N/A
8	3	3'x6' INT. DOOR - 6 PANEL	CRAFTMASTER COLONIST	3'2 1/4" x 6'10"	VARIABLES	PRIVACY	N/A	N/A
9	1	2'x6' INT. DOOR - 6 PANEL	CRAFTMASTER COLONIST	2'6" x 6'10"	2-2x4	PASSAGE	N/A	N/A
10	1	2'x6' INT. DOOR - 6 PANEL	CRAFTMASTER COLONIST	EXISTING	EXISTING	PASSAGE/PRIVACY	N/A	N/A
11	1	3'x4' DBL HUNG MULLION WIN (EGRESS)	ANDERSEN # TW3046-2	6'3 1/16" x 4'1 5/8"	EXISTING	SASH LOCK	.30	.28
12	2	9'x7' OVERHEAD ST. DOOR	CLOPAY #1000 OR EQUAL	9'2 3/4" x 7'1 1/2" (2xBUCKS)	3/2" x 1 1/8" LVL	AUTOMATIC OPENER	N/A	N/A
13	1	2'x4' ATTIC PULL DOWN STAIRS	BESSLER SPACE SAVER	2'0" x 4'0"	2-2x6	N/A	N/A	N/A
14	1	2'x6' INT. DOOR W/WHITES-STEEL	THERMATRU # TS26Z	2'10 1/4" x 6'10 1/4"	2-2x6	DEADBOLT & PRIVACY	N/A	N/A
15	2	4'x6' INT. SLIDER DOORS - 6 PANEL	CRAFTMASTER COLONIST	4'2" x 6'10"	2-2x6	FINGER-PULL	N/A	N/A
16	1	3'x4' DBL HUNG MULLION WINDOW	ANDERSEN # TW3042-2 (SUPPORT)	6'4 1/2" x 4'1 5/8"	2-2x8	SASH LOCK	.30	.28
17	1	2'x1'5" ARCHIT. WINDOW	ANDERSEN # AR251	2'5 1/8" x 1'5 1/2"	2-2x4	SASH LOCK	.29	.29



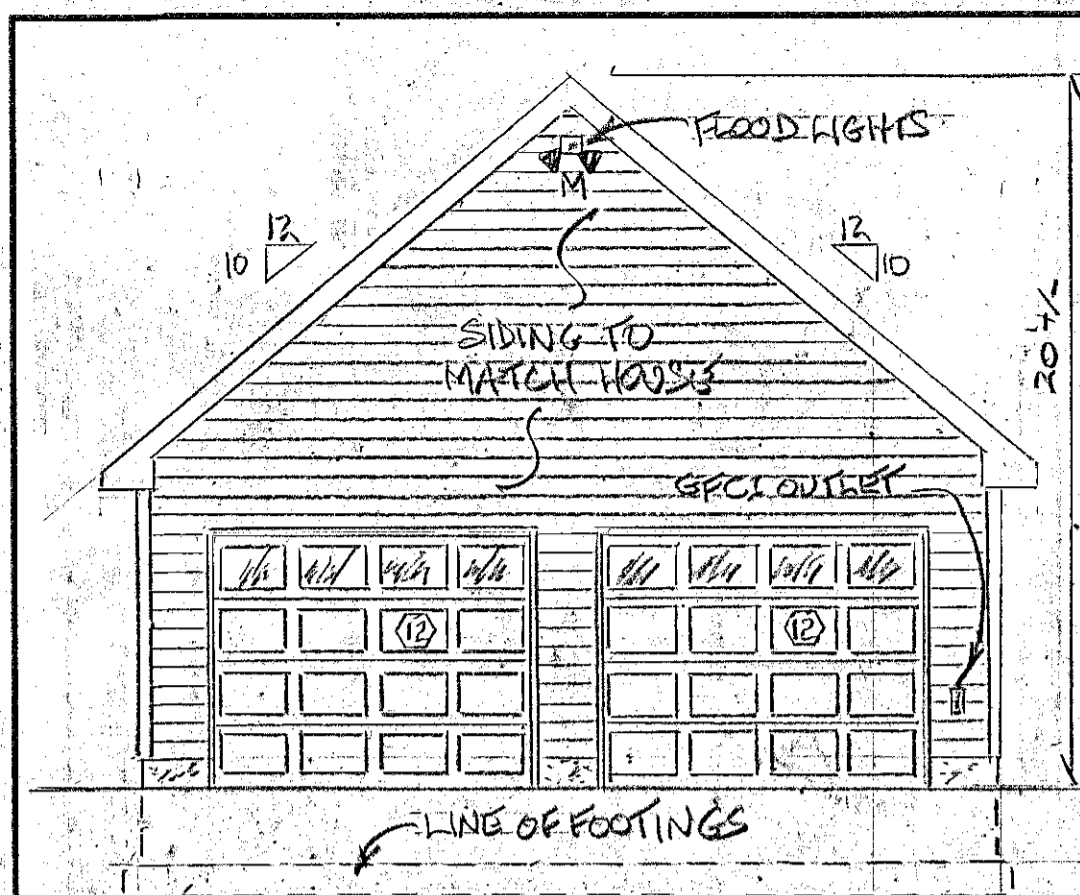
PLANS FOR: AGUINO RESIDENCE
 LOCATION: 203 WEST ALLENDALE AVENUE
ALLENDALE, NEW JERSEY
 BLOCK # 1708 LOT # 14

CHRISTOPHER J. GREIMEL, P.E., R.A., P.P.
 PROFESSIONAL REGISTERED PROFESSIONAL
 ENGINEER ARCHITECT PLANNER
 NJ LICENSE #28992 NJ LICENSE #09959 NJ LICENSE #03435

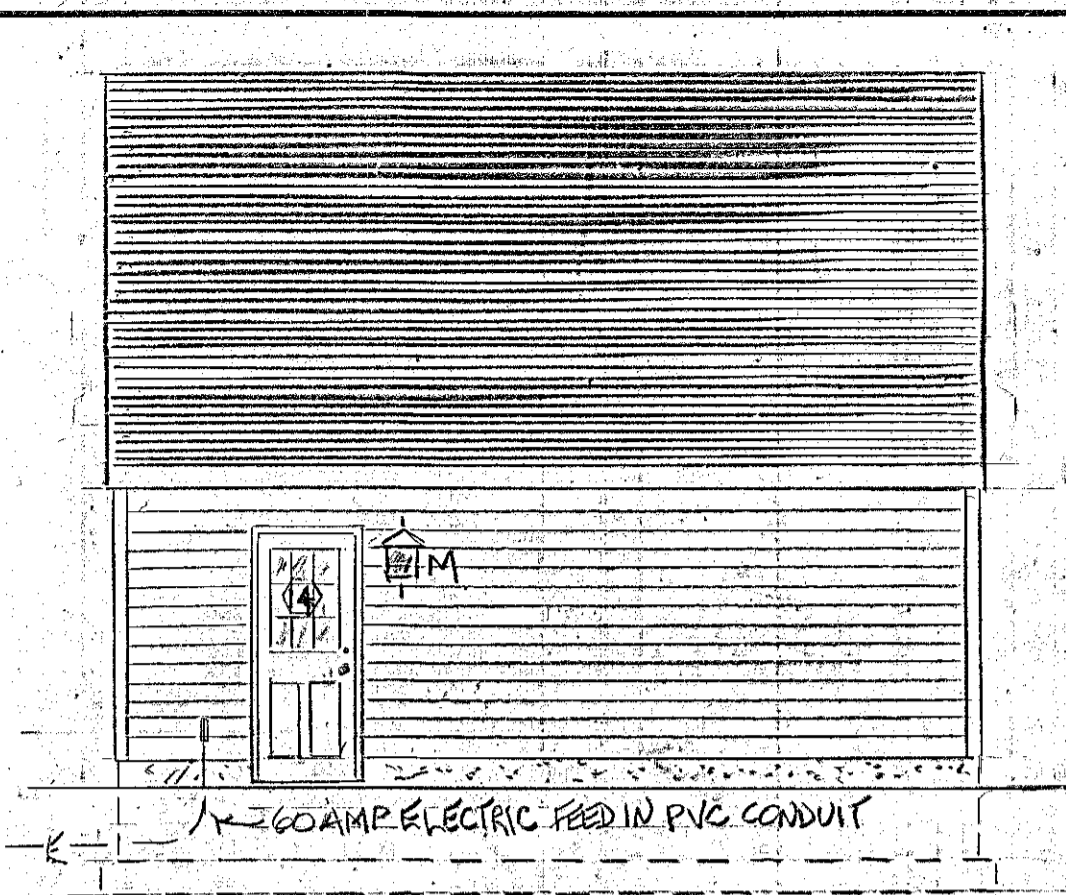
157 Park Avenue, Allendale New Jersey 07401
 201-825-7535

DRAWN BY: CSG
 APPROVED BY: CSG
 DATE: 12/8/23
 PROJECT # 23-08-06
 REVISION #: 2

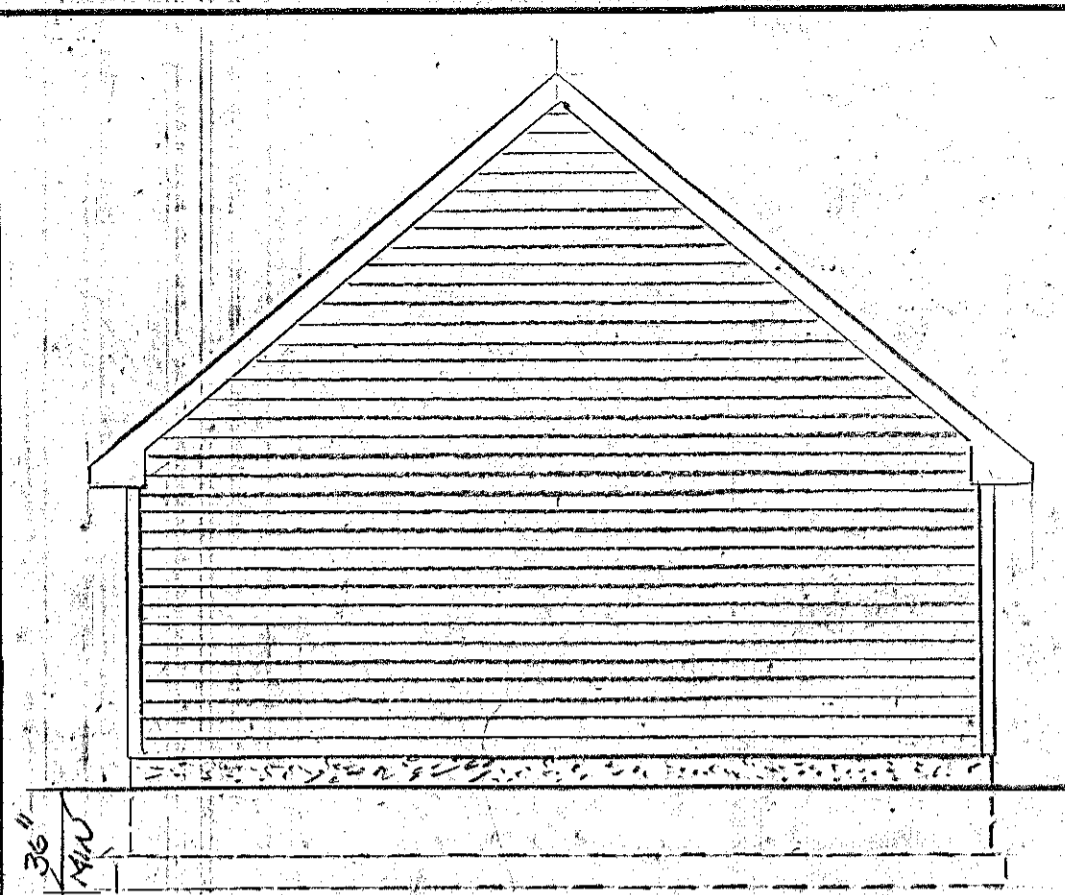
DRAWING #
4 OF 5



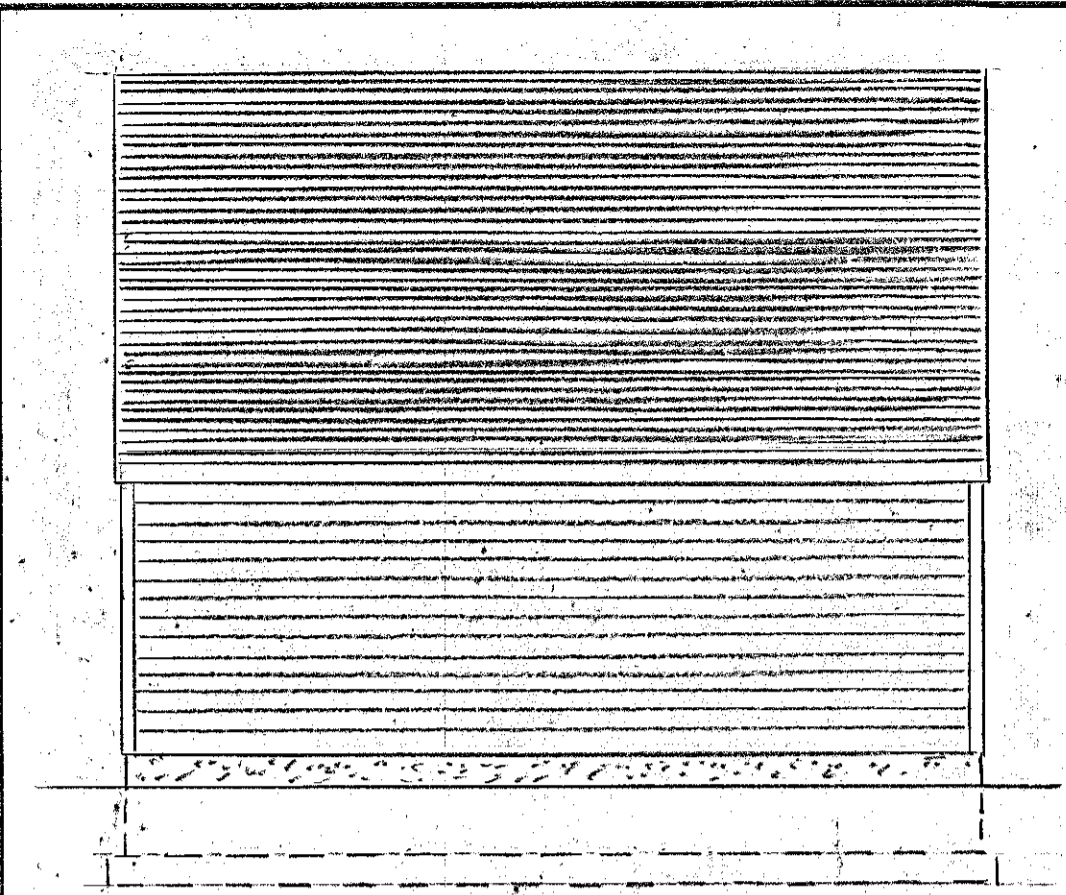
GARAGE FRONT ELEVATION
(3/16"=1'-0")



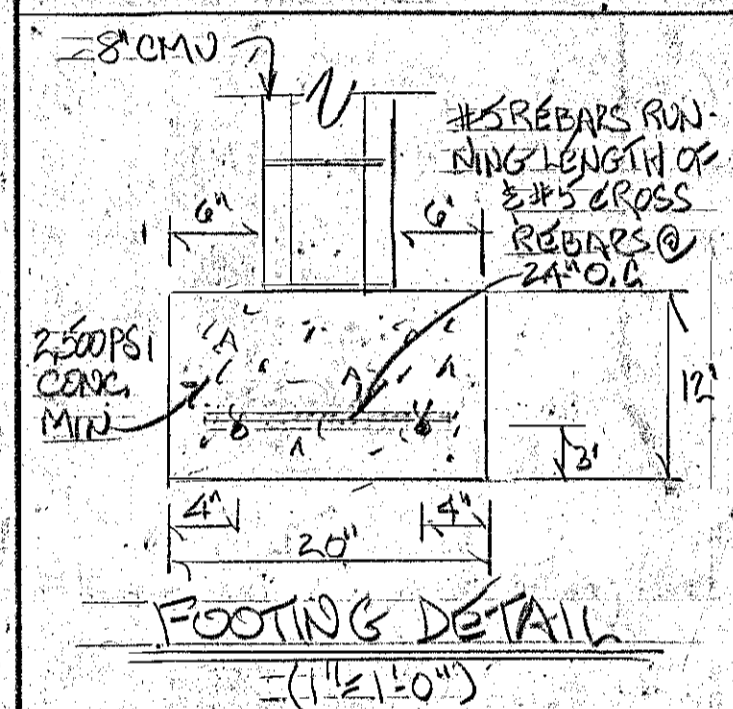
GARAGE WEST SIDE ELEVATION
(3/16"=1'-0")



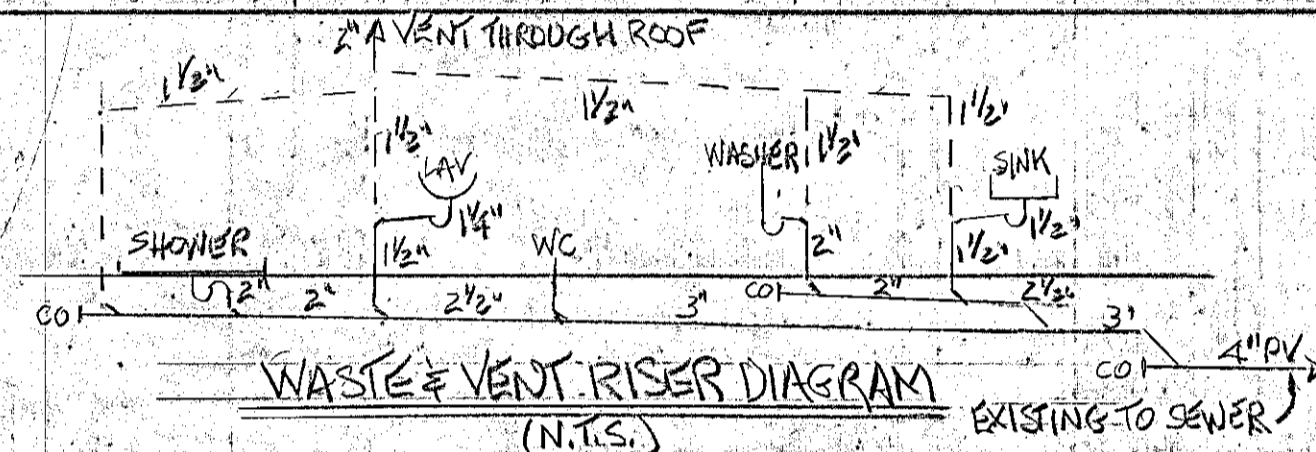
GARAGE REAR ELEVATION
(3/16"=1'-0")



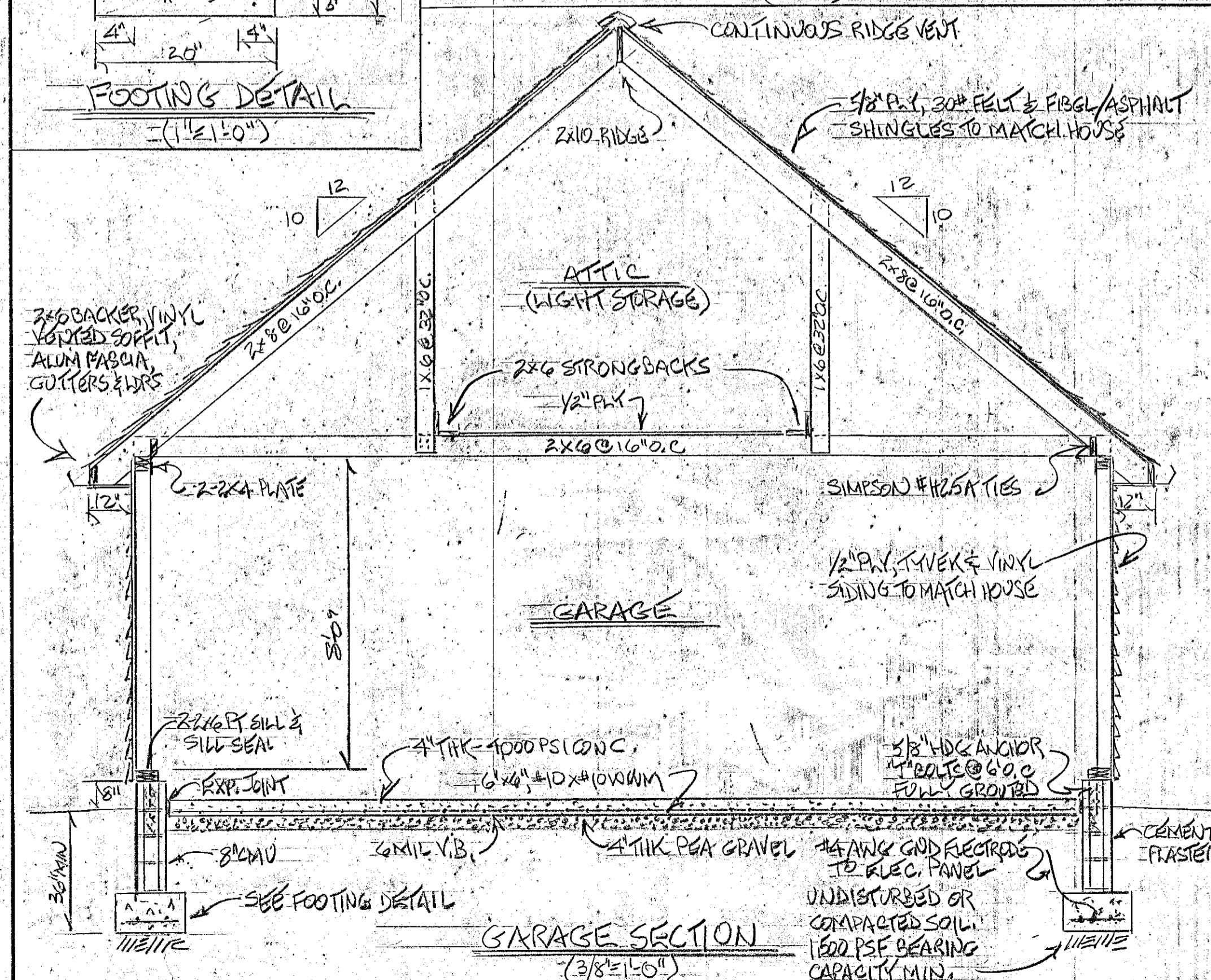
GARAGE EAST SIDE ELEVATION
(3/16"=1'-0")



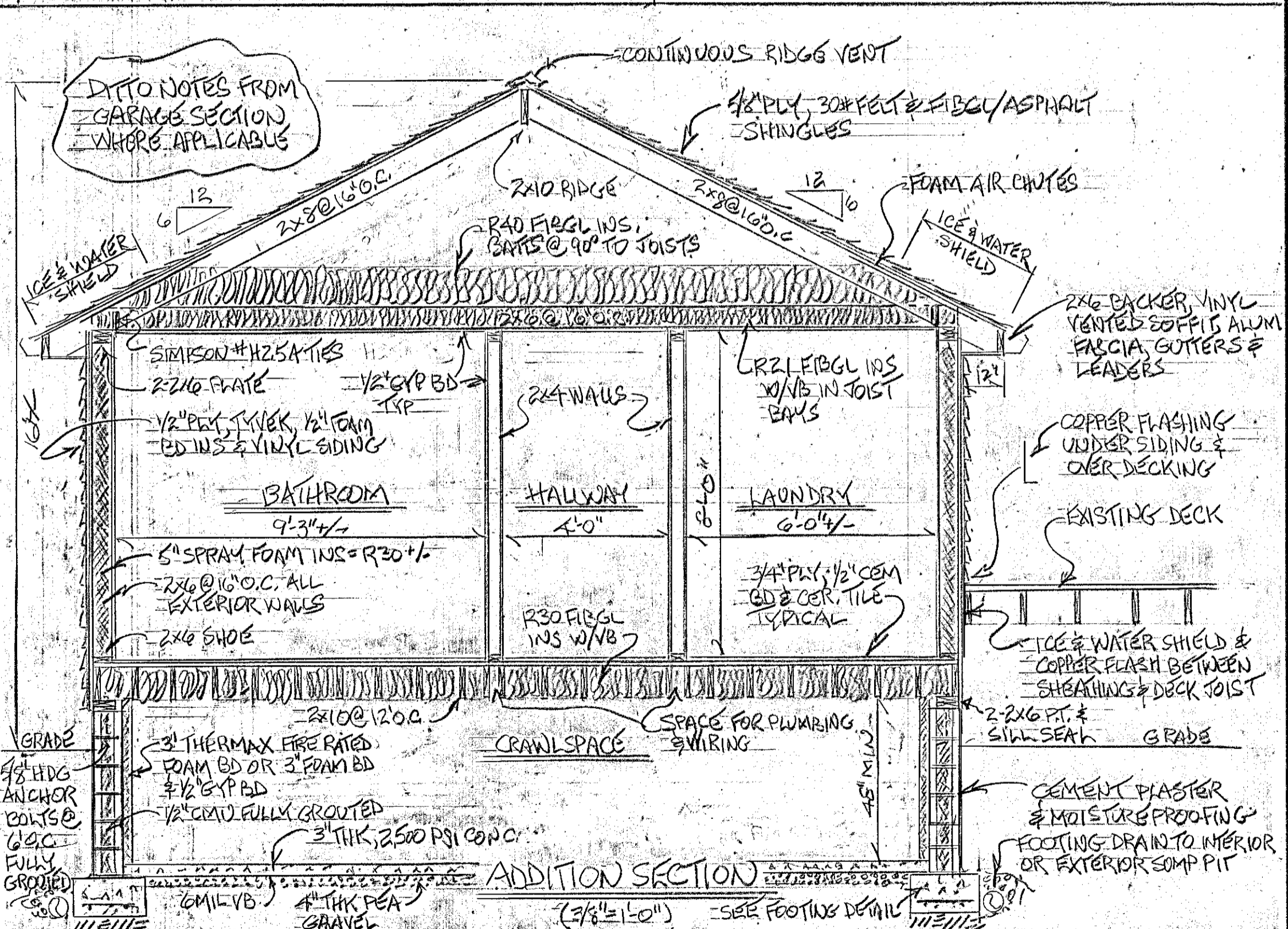
FOOTING DETAIL
(1"=1'-0")



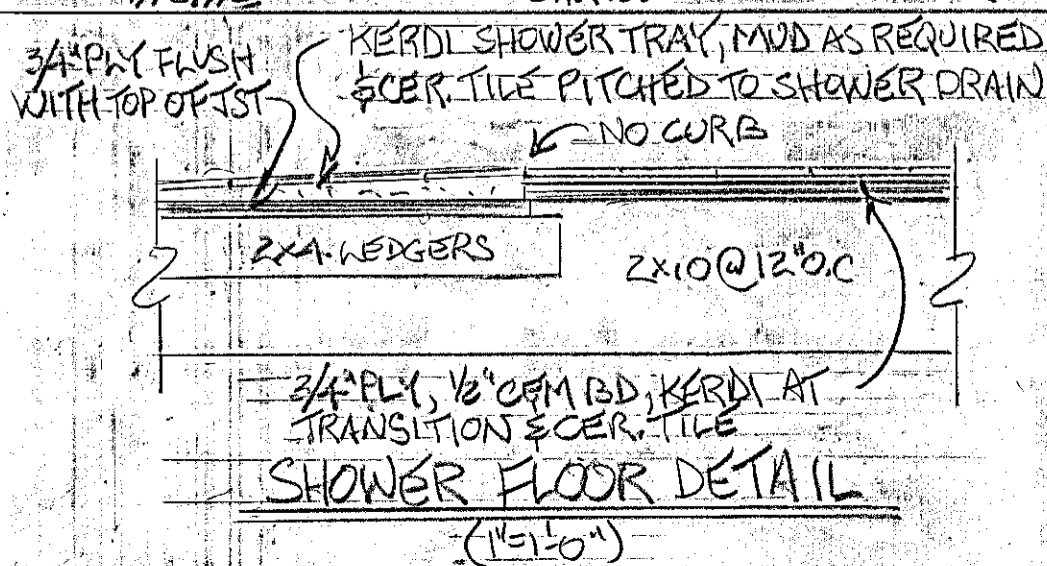
WASTE & VENT. RISER DIAGRAM
(N.T.S.)



GARAGE SECTION
(3/8"=1'-0")



ADDITION SECTION
(3/8"=1'-0")



SHOWER FLOOR DETAIL
(1"=1'-0")

PLANS FOR: AQUINO RESIDENCE
LOCATION: 203 WEST ALLENDALE AVENUE
ALLENDALE, NEW JERSEY
BLOCK # 1708 LOT # 14

CHRISTOPHER J. GRIMEL, P.E., R.A., P.P.
PROFESSIONAL REGISTERED PROFESSIONAL
ENGINEER ARCHITECT PLANNER
NJ LICENSE #28992 NJ LICENSE #09959 NJ LICENSE #03435
157 Park Avenue, Allendale New Jersey 07401
201-825-7535
DRAWN BY: CTG
APPROVED BY: CTG
DATE: 12/8/23
PROJECT #: 23-06-06
REVISION #: 2
DRAWING # 5 OF 5

GENERAL NOTES

1. CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY AND ALL SAFETY RELATED ASPECTS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED TO PERFORM THE CONSTRUCTION WORK DETAILED HEREIN.
2. CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK AND ADVISE ARCHITECT AS TO ANY MATERIAL DISCREPANCIES FOUND TO THIS PLAN AND ARCHITECT SHALL, IN A TIMELY MANNER, ISSUE REVISED CONSTRUCTION DRAWINGS REFLECTING ANY REQUIRED CORRECTIONS.
3. CONSTRUCTION SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES HAVING JURISDICTION. WHERE DRAWINGS CONFLICT WITH CODE, THE CODE REQUIREMENT SHALL TAKE PRECEDENCE. STRUCTURAL DESIGN HAS BEEN PERFORMED AS PER THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND ANY APPLICABLE REFERENCE MODEL CODES.
4. ARCHITECT SHALL NOT BE RESPONSIBLE WHERE WORK DEVIATES FROM DRAWINGS OR WRITTEN SPECIFICATIONS.
5. IN ANY EVENT, ARCHITECT'S RESPONSIBILITY AND LIABILITY FOR DESIGN SHALL BE LIMITED TO THE AMOUNT OF THE FEE CHARGED FOR THE PROJECT IN QUESTION.
6. USE OF THESE DRAWINGS SHALL CONSTITUTE LEGAL AND BINDING AGREEMENT TO THE PROVISIONS AND LIMITATIONS CONTAINED HEREIN.

FOOTINGS & SLABS

1. FOOTINGS ARE DESIGNED TO AND SHALL BEAR ON FIRM UNDISTURBED OR COMPACTED EARTH HAVING A MINIMUM BEARING CAPACITY OF 4000 PSF.
2. ALL FILL UNDER SLABS SHALL BE IN 6" LAYERS COMPACTED TO 95% MINIMUM DENSITY.
3. EXTERIOR FOOTING DEPTH SHALL BE 3'-0" MINIMUM BELOW FINISHED GRADES OR DEEPER IF REQUIRED BY CODES.
4. WHERE FOOTINGS ARE STEPPED, BOTTOMS SHALL NOT SLOPE MORE THAN ONE FOOT VERTICALLY FOR EACH TWO FEET HORIZONTALLY.
5. CONCRETE SLABS SHALL BE PLACED OVER 6 MIL VAPOR BARRIER (WHERE APPROPRIATE) AND 4" MINIMUM OF POROUS FILL (CRUSHED STONE, GRANULOM OR SAND).
6. MINIMUM SPREAD FOOTING SIZE FOR FOUNDATION WALLS SHALL BE AS FOLLOWS:
• DEPTH = 3"
• WIDTH = 4" WIDER EACH SIDE THAN WALL ABOVE IF FORMED
• 6" WIDER EACH SIDE THAN WALL ABOVE IF NOT FORMED.

1. MINIMUM FOOTING SIZE FOR MASONRY CHIMNEYS SHALL BE 12" DEEP AND 6" WIDER EACH SIDE THAN CHIMNEY ABOVE.

8. MINIMUM CONCRETE COMPRESSIVE STRENGTH SHALL BE:

LOCATION	STRENGTH
• FOOTINGS, FOUNDATION WALLS & SLABS NOT EXPOSED TO WEATHER (EXCEPT GARAGE FLOOR SLABS)	2,500 PSI
• FOUNDATION WALLS, EXTERIOR WALLS & VERTICAL CONCRETE WORK EXPOSED TO WEATHER	3,000 PSI
• GARAGE FLOORS & EXTERIOR SLABS	3,500 PSI

9. ALL GARAGE FLOOR SLABS AND EXTERIOR SLABS TO BE PROVIDED WITH 6"x6" 410 STEEL MESH OR SUITABLE EQUIVALENT.

MASONRY

1. FOUNDATION WALLS TO BE POURED CONCRETE OR HOLLOW CEMENT BLOCK, LAID UP IN RUNNING BOND WITH BOTTOM COURSE FILLED SOLID, DRAINAGE EVERY OTHER COURSE, AND A 4" MINIMUM SOLID CAP UNDER FINISHING MEMBERS.

2. MINIMUM CEMENT BLOCK SIZING SHALL BE:

CEMENT BLOCK THICKNESS	MAXIMUM DEPTH UNBALANCED FILL FOR TYPE OF STRUCTURE ABOVE	WOOD FRAME MASONRY VEN.	MASONRY
8"	4'-0" (6'-0")*	4'-6" (6'-0")*	5'-0" (7'-0")*
10"	5'-0" (7'-0")*	5'-6" (7'-0")*	6'-0" (7'-0")*
12"	7'-0"	7'-0"	7'-0"

* WHERE WARRANTED BY SOIL CONDITIONS.

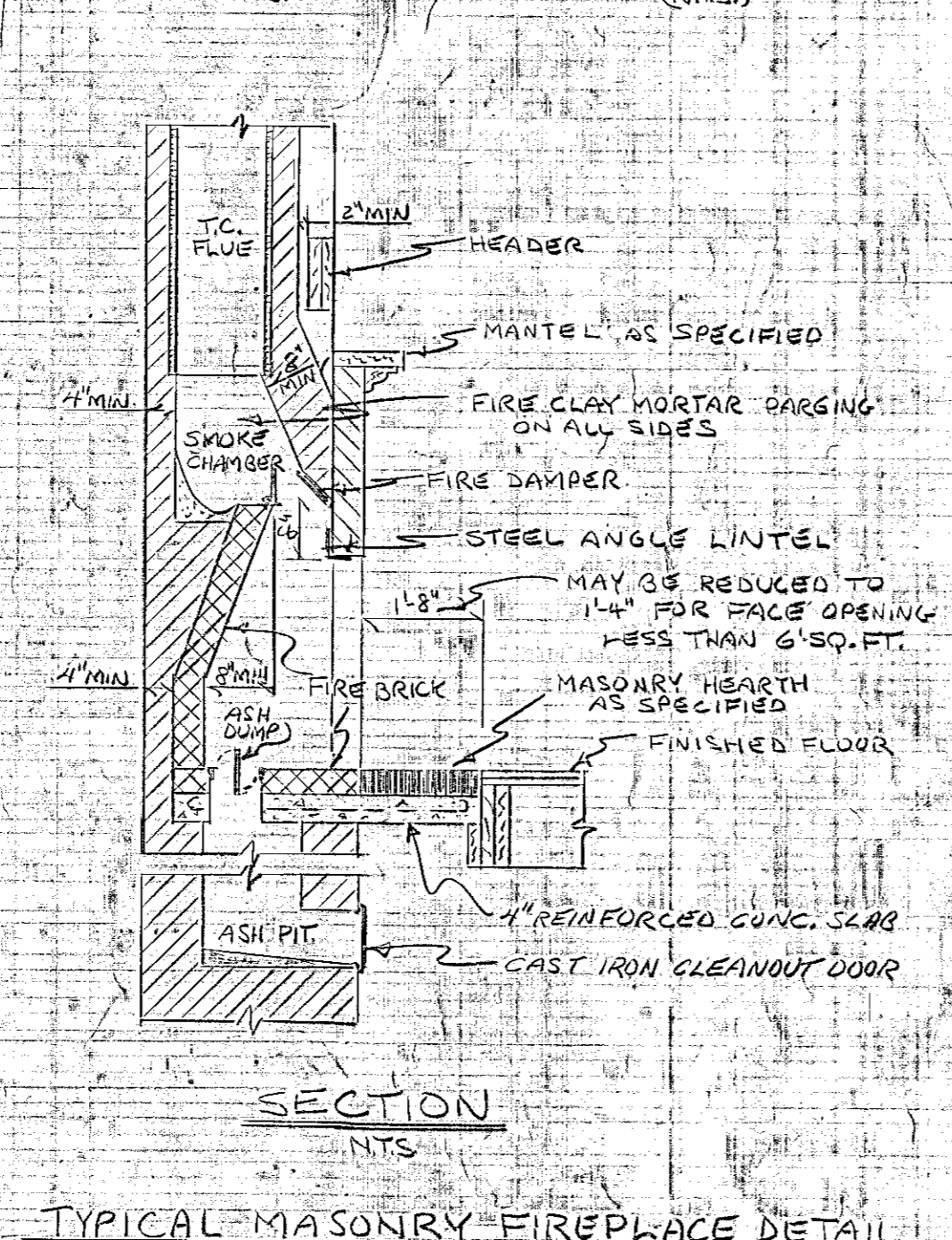
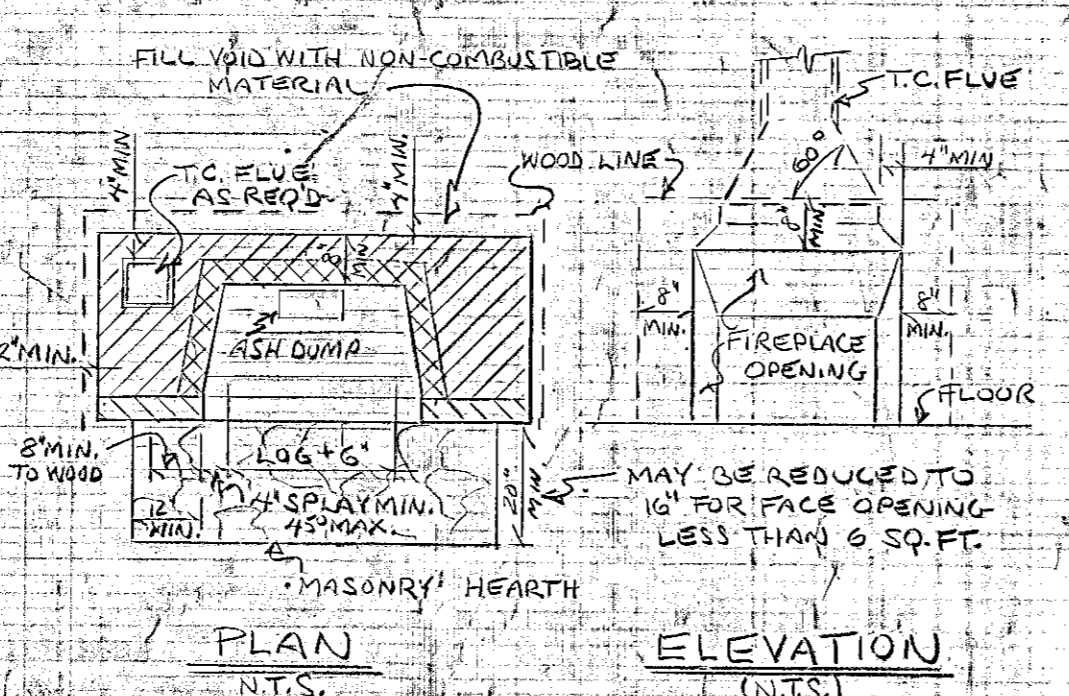
3. APPLY 1/2" PORTLAND CEMENT PARING TO EXTERIOR OF CEMENT BLOCK FOUNDATION WALLS (FROM FOOTING TO CAP).

4. APPLY BITUMINOUS MOISTURE PROOFING OR SUITABLE SUBSTITUTE OVER PARING OR DIRECTLY TO CONCRETE FOUNDATIONS BELOW GRADE.

5. PROVIDE 1/2" DIAMETER 1" ANCHOR BOLTS AT 6'-0" O.C. FOR WOOD STILLS (OR APPROVED ANCHORING ALTERNATIVE).
6. FILL ALL HOLLOW CEMENT BLOCK SOLID TO FOOTING UNDER GIRDER BEARING POCKETS.
7. BRICK VENEER SHALL BEAR ON 12" BLOCK FOUNDATION WALLS WITH SOLID BLOCK UNDER FIRST COURSE OF BRICK. PROVIDE FLASHING & WEEP HOLES AT 8'-0" O.C.
8. ANCHOR BRICK VENEER TO MASONRY BACK-UP OR TO WOOD SHEATHING WITH GALVANIZED STEEL TIES SPACED AT 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY. PROVIDE 1/2" AIR SPACE BETWEEN WOOD SHEATHING AND BRICK.
9. UNLESS OTHERWISE SPECIFIED, PROVIDE ONE STEEL ANGLE LINTEL FOR EACH 4" INCHES OF MASONRY WIDTH ABOVE ALL OPENINGS AND RECESSES AS FOLLOWS:

SPAN	LINTEL SIZE
0'-0" - 4'-0"	3/4" x 3/4" x 5/16 (3.6 K ALLOW)
4'-0" - 6'-0"	1" x 3/4" x 5/16 (3.2 K ALLOW)
6'-0" - 8'-0"	5/8" x 3/4" x 5/16 (3.5 K ALLOW)
8'-0" - 10'-0"	6" x 3/4" x 5/16 (4.0 K ALLOW)

10. MASONRY CHIMNEYS TO BE PROVIDED WITH FIRE CLAY (TERRA COTTA) FLUE LINING AND THIMBLE AS FOLLOWS:
• FOR HEATING UNIT - SIZE AS RECOMMENDED BY MANUFACTURER
• FOR FIREPLACES - SIZE AS REQUIRED BY DAMPER MANUFACTURER FOR FIREPLACE DIMENSIONS SHOWN.
• PREFABRICATED FIREPLACE AND CHIMNEY FLUE UNITS SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
11. THE FOLLOWING TYPICAL FIREPLACE/CHIMNEY DETAIL IS PROVIDED FOR REFERENCE.



TYPICAL MASONRY FIREPLACE DETAIL

CARPENTRY

1. LUMBER AND ITS FASTENINGS SHALL CONFORM TO ALL APPLICABLE CODES AND STANDARDS.
2. STRUCTURAL LUMBER, UNLESS OTHERWISE NOTED, SHALL BE DOUGLASS FIR WITH MINIMUM STRENGTH OF:
• E_F = 1200 PSI
• F_V = 90 PSI
• E = 1,600,000 PSI.
3. SILLS SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE BOLTED TO FOUNDATION WALLS AT 6'-0" O.C. WITH 1/2" DIA 1" BOLTS (OR APPROVED ANCHORING ALTERNATIVE), WITH SILL SEAL SANDWICHED BETWEEN SILL AND FOUNDATION WALL CAP.
4. SET ALL JOISTS AND BEAMS WITH NATURAL CAMBER UP. ENDS LAPPED OVER BEARING SHALL BE SECURELY SPIKED TOGETHER. FIRE CUT ENDS BEARING IN MASONRY WALLS WITH 1" ANCHORS EVERY 4TH JOIST.
5. DOUBLE UP JOISTS UNDER PARALLEL PARTITION WALLS ABOVE.
6. FRAME OPENINGS LARGER THAN 16" WITH DOUBLE HEADERS AND TRIMMERS.
7. UNLESS OTHERWISE NOTED, PROVIDE 3/4"x3" CROSS BRIDGING AT 8'-0" O.C. MAXIMUM FOR FLOOR JOISTS AND SOLID BLOCKING AT JOIST ENDS.
8. SUBFLOORING, WALL SHEATHING, AND ROOF SHEATHING SHALL BE 5/8" PLYWOOD #3/16 OR BETTER WITH EXTERIOR GLUE IN SIZES SHOWN ON DRAWINGS.
9. UNLESS OTHERWISE SPECIFIED, MINIMUM HEADER SIZES SHALL BE AS FOLLOWS:

SPAN	HEADER SIZE
0'-0" - 2'-0"	2-2x4
2'-0" - 3'-0"	2-2x6
3'-0" - 5'-0"	2-2x8
5'-0" - 7'-0"	2-2x10
7'-0" - 8'-0"	2-2x12

10. HEADERS & GIRDERS SPANNING 6'-0" OR GREATER SHALL BEAR ON DOUBLE STUDS.
11. LAMINATED HEADERS & GIRDERS SHALL BE THROUGH-BOLTED WITH 1/2" DIAMETER BOLTS PER MANUFACTURERS SPACING REQUIREMENTS.
12. BUILT-UP LAMINATED TRUSSES FOR FLOORS, CEILINGS, AND ROOFS SHALL BE INSTALLED AND BRACED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. CUTTING AND BORING FOR PIPING, WIRING, & DUCTING SHALL BE PER MANUFACTURERS LIMITATIONS.
13. WOOD INTERIOR STAIRS, UNLESS OTHERWISE SPECIFIED, SHALL BE CONSTRUCTED OF THE FOLLOWING:
STRINGERS: CLEAR PINE - 5/4"x12"
TREADS: HARDWOOD, 16" MINIMUM PLUS 1" NOSING (BASEMENT TREADS MAY BE PINE)
RISERS: CLEAR PINE, 7/4" MAXIMUM RISE (NOT REQUIRED ON BASEMENT STAIRS)

PLUMBING

1. ALL PLUMBING PIPING, DEVICES & APPLIANCES SHALL BE SIZED, LOCATED AND INSTALLED IN ACCORDANCE WITH THE N.T.U.C.C. AND ANY AND ALL REFERENCED PLUMBING CODES IN ADDITION TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING & INTERNATIONAL RES. CODE. IN THE EVENT OF A CONFLICT AMONG CODES, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
2. THE PLUMBING CONTRACTOR SHALL SUPPLY ISOMETRIC DRAWINGS SHOWING SCHEMATICALLY THE SIZE, ROUTING AND CONNECTIONS FOR THE FOLLOWING:
• WATER SUPPLY LINES (HOT & COLD)
• DRAIN LINES
• VENT LINES
• NATURAL GAS LINES
3. PLUMBING CONTRACTOR SHALL NOT NOTCH OR CORE THROUGH ANY GIRDER OR HEADER TO ACCOMMODATE PIPING SYSTEMS WITHOUT PRIOR APPROVAL FROM THE ARCHITECT AND/OR THE BUILDING INSPECTOR.
4. BORING THROUGH PRE-ENGINEERED JOISTS SHALL BE PER THE MANUFACTURERS SPECIFICATIONS.

GLAZING

1. ALL EXTERIOR GLAZING SHALL BE DOUBLE PANE, GAS FILLED LOW E" HIGH PERFORMANCE.
2. ENTRANCE DOORS, Sidelites & SHOWER DOORS SHALL BE PROVIDED WITH TEMPERED SAFETY GLASS.

CHRISTOPHER J. GREIMEL
REGISTERED ARCHITECT
P.E. LICENSE # 009955
SEAL

INSULATION & WATER VAPOR CONTROL

1. INSULATION SHALL BE FIBERGLASS WITH FOLIE FACED VAPOR BARRIER UNLESS OTHERWISE NOTED, WITH MINIMUM RATINGS OF:
• R15 FOR WALLS
• R30 FOR FLOORS OVER UNHEATED SPACES
• R4A FOR CEILINGS BELOW UNHEATED SPACES.
2. ALL INTERIOR SLABS TO BE PROVIDED WITH A 6 MIL VAPOR BARRIER.
3. SLABS ON GRADE FOR LIVING SPACES TO BE PROVIDED AT PERIMETER (24" HORIZONTALLY & VERTICALLY) WITH A MINIMUM OF 1" FOAM BOARD INSULATION.
4. PROVIDE MINIMUM VENTING OF 1 SQ. FT. PER 150 SQ. FT. OF ATTIC OR ORALN SPACE. ATTIC SPACES TO BE PROVIDED WITH COMBINATION SOFFIT & RIDGE VENT SYSTEMS UNLESS OTHERWISE NOTED.
5. BATHS AND LAVATORIES WITHOUT VENTABLE WINDOWS SHALL BE EQUIPPED WITH AN EXHAUST FAN DUCTED DIRECTLY TO THE OUTSIDE.

FIRE SAFETY

1. SMOKE ALARMS (20V A.C. WITH BATTERY BACKUP) SHALL BE INSTALLED & LOCATED IN ACCORDANCE WITH THE PLAN HEREIN, THE IRO ONE & TWO FAMILY DWELLING CODE, OR AS OTHERWISE INSTRUCTED BY LOCAL FIRE CODE OFFICIAL.
2. SMOKE ALARM UNITS SHALL BE POWERED FROM A DEDICATED CIRCUIT BREAKER (IN MAIN PANEL) EQUIPPED WITH A LOCK-ON DEVICE AND SHALL BE WIRED FOR SIMULTANEOUS ALARM.

ELECTRICAL

1. ALL ELECTRICAL WIRING, BOXES, CONDUITS, & DEVICES SHALL BE SIZED, LOCATED, & INSTALLED IN ACCORDANCE WITH THE N.E.C.C. & THE NATIONAL ELECTRIC CODE.
2. GROUND FAULT INTERRUPTER RECEPTACLES AND/OR PROTECTED CIRCUITS TO BE PROVIDED IN THE FOLLOWING AREAS:
• BATHROOMS
• KITCHENS (IN PROXIMITY TO SINK)
• GARAGES
• OUTDOOR LOCATIONS
• ALL OTHER AREAS WHICH ARE DAMP OR WHICH ARE A SHOCK HAZARD.

MISCELLANEOUS

1. UNLESS OTHERWISE INDICATED, WHERE EXCAVATION WORK HAS BEEN PERFORMED, CONTRACTOR SHALL REGRADE TO PRE-EXISTING CONTOURS, WHILE ASSURING ADEQUATE DRAINAGE OF SURFACE WATER AWAY FROM THE STRUCTURE.
2. UNLESS OTHERWISE INDICATED, CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL CONSTRUCTION DEBRIS, SOIL, ETC. DISPOSAL SHALL BE VIA APPROPRIATE AND LEGAL MEANS.


PLANS FOR: CONSTRUCTION NOTES
LOCATION: APPLICABLE TO RESIDENTIAL STRUCTURES.

BLOCK #	LOT #
157 PARK AVENUE ALLENDALE, N.J.	201-825-7535
CHRISTOPHER J. GREIMEL, P.E., R.A., P.P.	ENGINEER - ARCHITECT - PLANNER
128992 109955 103435	
OWN BY: CTC	APP. BY: CTC
DATE: 12/1/06	PROJ. #
REV. # 5	DRAWING #
APPENDIX #1	

DR ROLANDO AQUINO
DR EMMA AQUINO
144 CARLOUGH RD
U SADDLE RIV NJ 07458-1414

Cash Management Account® 406
12/21/23 87-176/843 30
Date

Pay to the Order of Borough of Allendale \$ 500.00
Five hundred & 00/100 — Dollars

MERRILL 
A BANK OF AMERICA COMPANY

For Application fee Elguino


⑆084301767⑆ 3019131570⑆0406

Harland Clarke GUARDIAN SAFETY® YELLOW

DR ROLANDO AQUINO
DR EMMA AQUINO
144 CARLOUGH RD
U SADDLE RIV NJ 07458-1414

Cash Management Account® 407
12/21/23 87-176/843 30
Date

Pay to the Order of Borough of Allendale \$ 1000.00
One thousand & 00/100 — Dollars

MERRILL 
A BANK OF AMERICA COMPANY

For engineering iserow Elguino

⑆084301767⑆ 3019131570⑆0407

Harland Clarke GUARDIAN SAFETY® YELLOW

December 20, 2023
03:50 PM

Borough of Allendale
Tax Account Detail Inquiry

Page No: 1

BLQ: 1708. 14.
Owner Name: AQUINO, ROLANDO B & EMMA S

Tax Year: 2023 to 2023
Property Location: 203 W ALLENDALE AVE

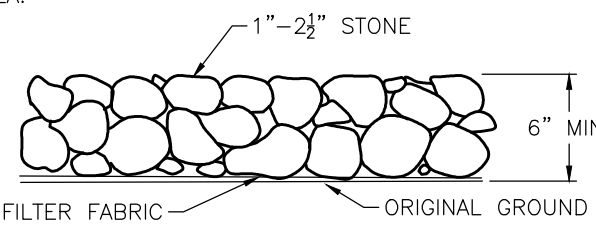
Tax Year: 2023	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	2,900.33	2,900.33	2,961.91	2,914.12	11,676.69
Payments:	2,900.33	2,900.33	2,961.91	2,914.12	11,676.69
Balance:	0.00	0.00	0.00	0.00	0.00

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2023 Prin Balance
		Description								
		original Billed						11,676.69		11,676.69
01/30/23	1	Payment h/o	001	38774358	CK	9282	36 COUNTER	2,900.26	0.00	8,776.43
05/05/23	1	Payment h/o	001	47478595	CK	9537	19 COUNTER	0.07	0.00	8,776.36
05/05/23	2	Payment h/o	001	47478595	CK	9537	20 COUNTER	2,900.33	0.00	5,876.03
05/05/23	3	Payment h/o	001	47478595	CK	9537	18 COUNTER	22.89	0.00	5,853.14
08/04/23	3	Payment h/o	001	55785875	CK	9764	31 COUNTER	2,939.02	0.00	2,914.12
11/06/23	4	Payment h/o	001	64141126	CK	9996	3 COUNTER	2,914.12	0.00	0.00

Total Principal Balance for Tax Years in Range: 0.00

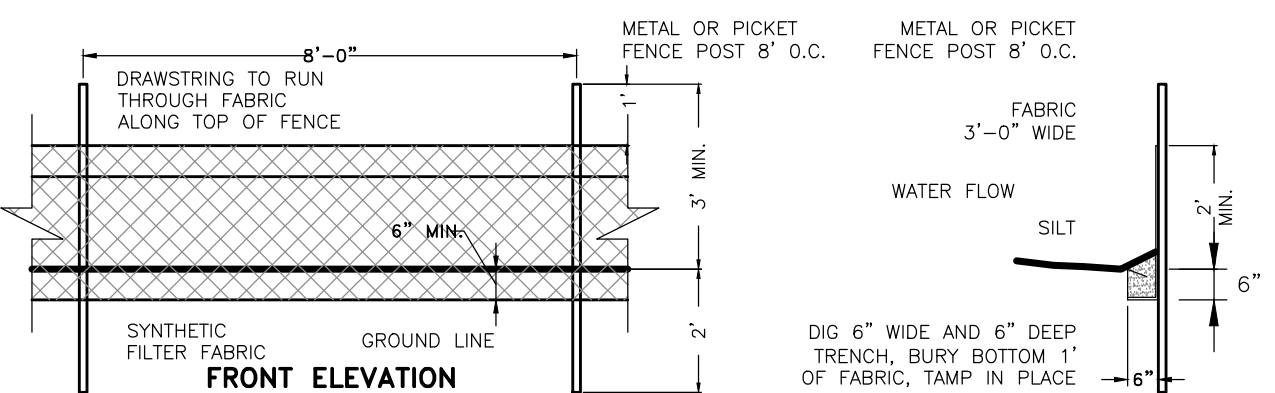
1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT PROTECTED BY A COVER SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NJ STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACR, ACCORDING TO THE NJ STANDARDS.
4. STABILIZATION SPECIFICATIONS:

2. PERMANENT SEEDING AND MULCHING:
 - a. GRASS LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - b. FERTILIZER - APPLIED UNIFORMLY AT A RATE OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4" DEEP.
 - c. SEEDS - PERENNIAL RYEGRASS 10 LBS/ACRE (2.3 LBS/1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - d. MULCH - UNROTATED STRAW OR HAY AT A RATE OF 70 TO 90 LBS/1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MUCK NETTING, OR LIQUID MUCK BINDER).
3. BERMANT SEEDING AND MULCHING:
 - a. GRASS LIMESTONE - APPLIED UNIFORMLY AT A MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED.
 - b. GRASS LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - c. FERTILIZER - APPLIED UNIFORMLY AT A RATE OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4" DEEP.
 - d. SEEDS - PERENNIAL RYEGRASS 10 LBS/ACRE (2.3 LBS/1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - e. MULCH - UNROTATED STRAW OR HAY AT A RATE OF 70 TO 90 LBS/1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MUCK NETTING, OR LIQUID MUCK BINDER).
4. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
5. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE SPECIFIED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
6. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ANY STOCKPILE SHALL BE CONTAINED BY A AVAILABLE SEDIMENT BARRIER OR SLURRY WALL.
7. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A STOCKPILE IS LOCATED. THE CRUSHED STONE SHALL BE COMPOSED OF 1" - 2 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
8. MAXIMUM SLOPE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE SPECIFIED.
9. DRAINWAYS MUST BE STABILIZED WITH 1" - 2 1/2" CRUSHED STONE OR SUBGRADE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
10. ALL SOIL, WASHED, DROPPED, SPILLED OR TRACKED UNDER THE LIMIT OF DISTURBANCE OR ONTO ANY OTHER RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
11. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 30-1 OF THE NJ STANDARDS.
12. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS ARE CONSTRUCTED.
13. DETAHERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE BASE OF THE TREE OR BEYOND. PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
18. ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT CONSTRUCTION SITE.
20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE. BERGEN COUNTY REQ, 700 KENNEDYRAMM RD., SUITE 106 BERGEN COUNTY, NJ 07620.
21. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
22. THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE A VISIT TO THE PROJECT SITE. THE DISTRICT WILL CONDUCT VISUAL INSPECTIONS OF THE PROJECT, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
23. THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS IN AN URBAN REDEVELOPMENT AREA.

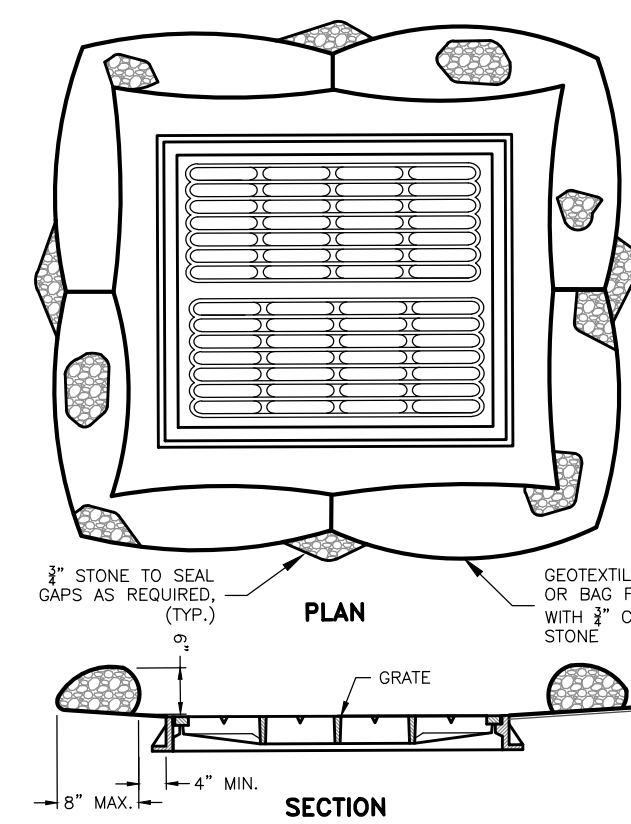


NOTE: APPROPRIATE TRANSITION BETWEEN
STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC
R.O.W. MUST BE PROVIDED.

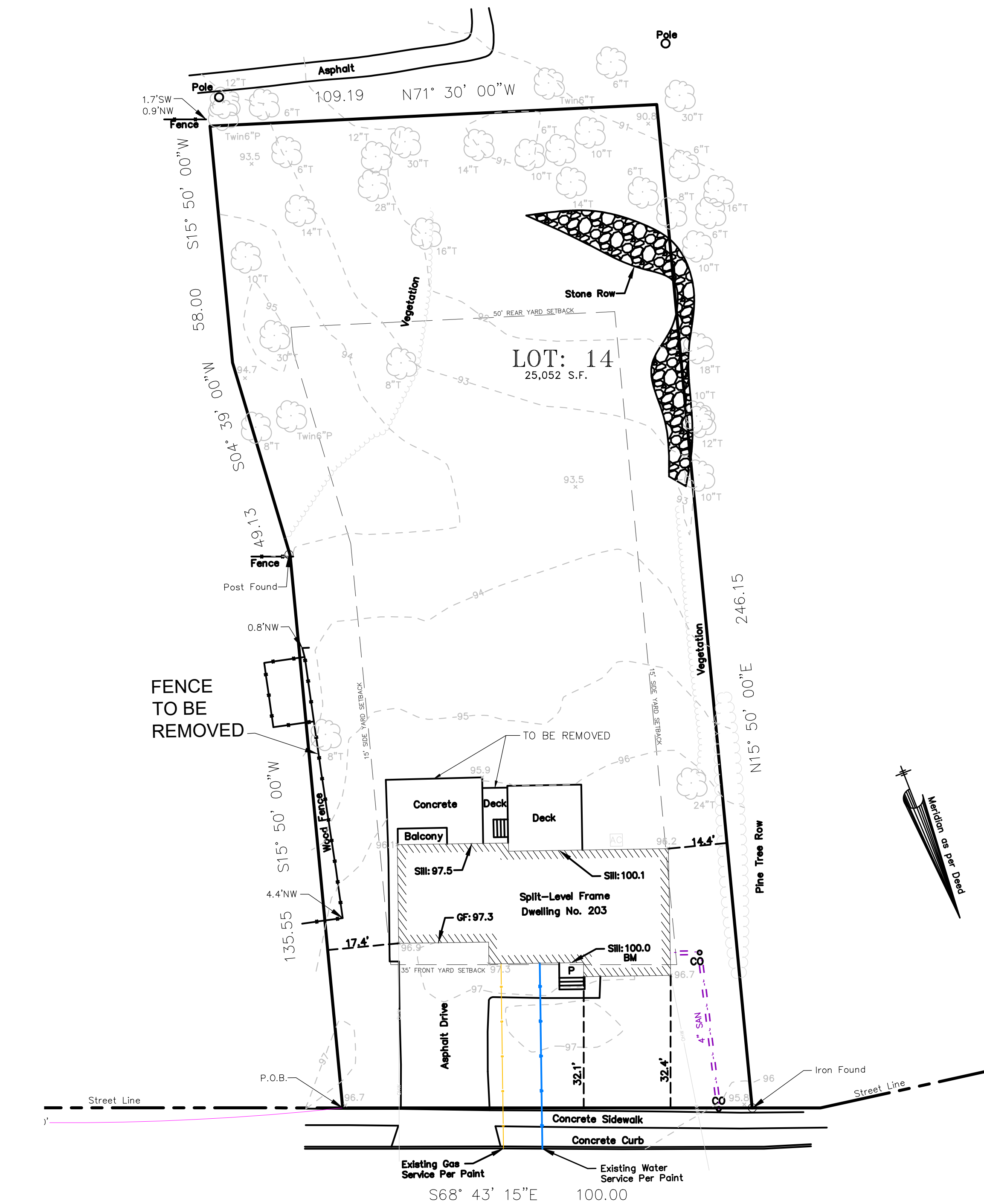
NOT TO SCALE



SEDIMENT FILTER DETAIL

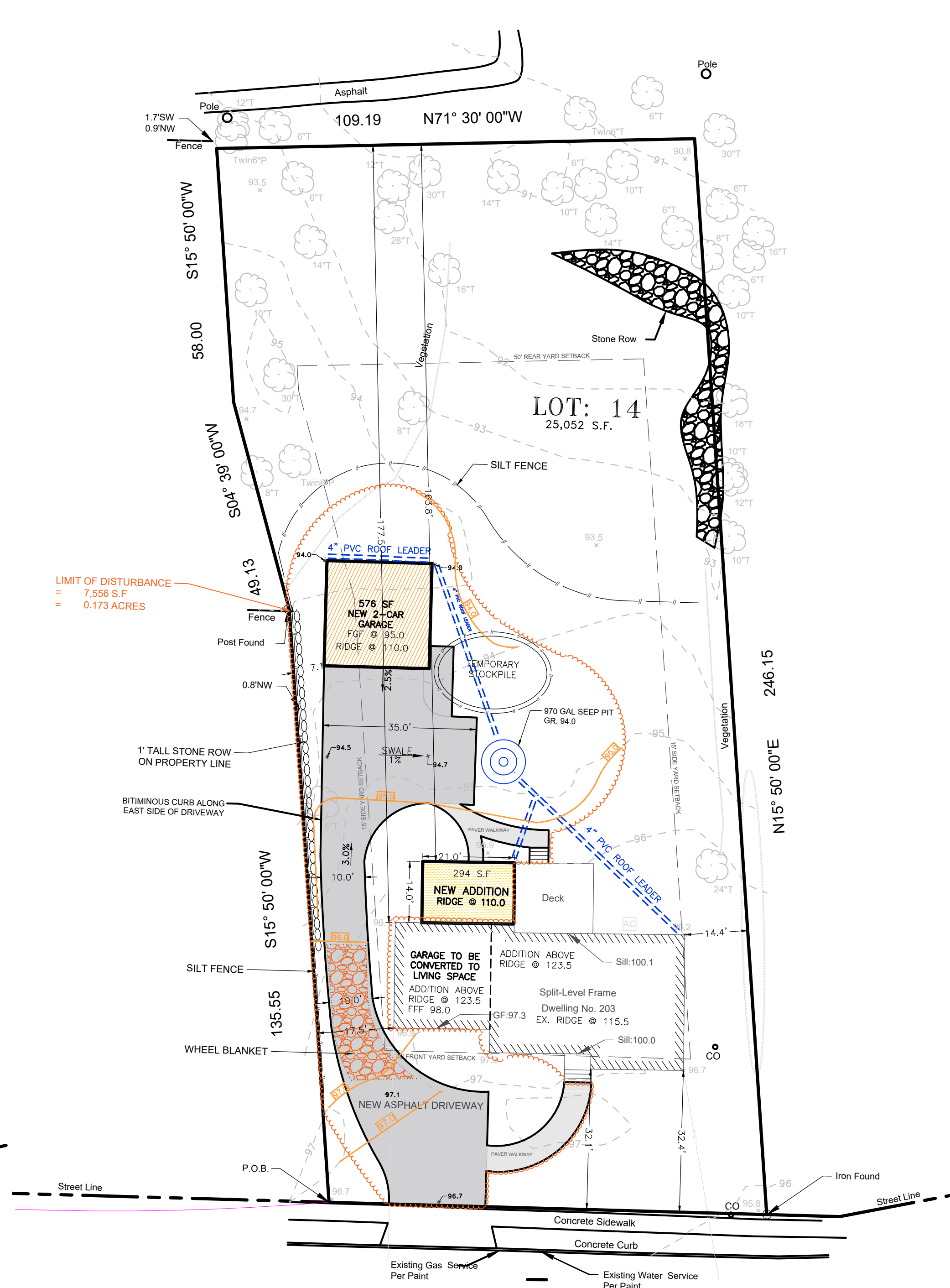
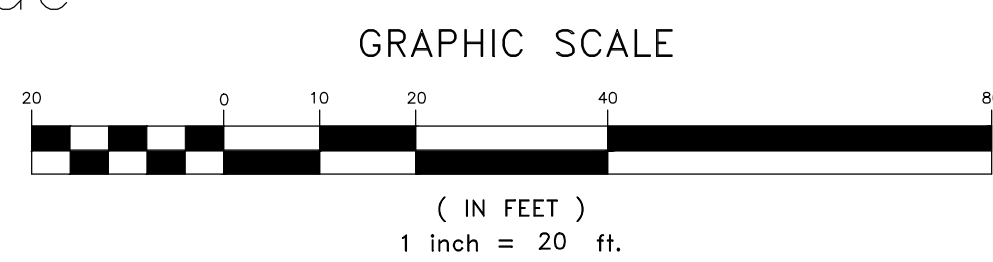


INLET FILTER DETAIL



West Allendale (50' Wide) Avenue

EXISTING



West Allendale (50' Wide) Avenue

PROPOSED

ALLENDALE NOTES



1. THE APPLICANT/OWNER WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE ROADWAY.
2. SEWER CLEAN-OUTS NEED TO BE FITTED WITH BRASS CAPS.
3. THE DESIGN ENGINEER IS RESPONSIBLE FOR ENSURING THE EFFECTIVENESS OF THE PROPOSED STORMWATER MANAGEMENT SYSTEM. THE APPLICANT SHALL PROVIDE SUFFICIENT REGULAR OVER-SIGHT DURING ITS CONSTRUCTION.
4. INFILTRATION STORMWATER MANAGEMENT MEASURES MUST BE PROTECTED DURING CONSTRUCTION TO PREVENT ACCUMULATION OF SEDIMENT.
5. THE INFILTRATION SYSTEM MUST BE INSTALLED 2 FEET ABOVE THE SEASONAL HIGH GROUNDWATER TABLE (SHOW).
6. GULLIES, TRAPS AND SINKS MUST BE MAINTAINED WITH MAINTENANCE ACCESS.
7. SHOULD BE CONSIDERED FOR ALL DRAINAGE AND STORMWATER MANAGEMENT MEASURES, WHEREVER PRACTICAL, TO MINIMIZE THE AMOUNT OF COARSE PARTICLES AND VEGETATION THAT MAY ENTER THE STORMWATER SYSTEM.
8. TO DEMONSTRATE ADEQUATE SOIL PERMEABILITY AND DOCUMENT THE DEPTH TO THE SHGW, CERTIFIED SOIL LOG(S) OR PERCOLATION TEST(S) AT THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT SYSTEM NEED TO BE PROVIDED (§225-5.2(d)). THE RESULTS MUST BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER AND THEN PROVIDED TO THE BOROUGH. SHOULD UNFAVORABLE CONDITIONS BE ENCOUNTERED, THE DESIGN ENGINEER WILL NEED TO PROVIDE AN ALTERNATIVE MEANS TO ADDRESS AND MANAGE STORMWATER.
9. SHOULD SOIL CONDITIONS BE FAVORABLE FOR THE CONSTRUCTION OF THE PROPOSED INFILTRATION SYSTEM, THE APPLICANT SHALL CONTACT THE ALLENDALE CONSTRUCTION DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM TO SCHEDULE AN INSPECTION (§225-5.4(3)). IN ADDITION, THE APPLICANT SHALL CONTACT THE ALLENDALE CONSTRUCTION DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION TO SCHEDULE AN INSPECTION.
10. THE APPLICANT/OWNER SHALL ENSURE THAT STORMWATER RUNOFF DOES NOT NEGATIVELY AFFECT NEIGHBORING PROPERTIES DURING AND AFTER CONSTRUCTION.
11. THE OWNER WILL BE RESPONSIBLE FOR ENSURING THE PROPOSED STORMWATER MANAGEMENT SYSTEM IS REGULARLY AND EFFECTIVELY MAINTAINED WITHOUT NEGATIVE IMPACTS TO DOWNSTREAM PROPERTIES.
12. SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROVIDED AND IN PLACE PRIOR TO INITIATING SOIL DISTURBANCE. THE MEASURES MUST BE MAINTAINED UNTIL THE AREA OF DISTURBANCE HAS BEEN PERMANENTLY STABILIZED.
13. UPON COMPLETION OF THE CONSTRUCTION OF THE BUILDING FOUNDATION, AN AS-BUILT FOUNDATION LOCATION PLAN PREPARED BY A LICENSED LAND SURVEYOR NEEDS TO BE SUBMITTED FOR REVIEW AND APPROVAL (§196-1.1C).
14. UPON COMPLETION OF THE PROJECT AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN AS-BUILT PLAN OF THE SITE NEEDS TO BE SUBMITTED AND APPROVED.

ALLENDALE A-ZONE ZONING SCHEDULE										
BULK ZONE REQUIREMENT	LOT AREA	FRONT YARD	1ST SIDE YARD	2ND SIDE YARD	REAR YARD	LOT WIDTH	GROSS BLD. FLOOR AREA	FLOOR AREA RATIO	LOT COVER	BLD. HGT.
	20,000 SF WITHIN 175' OF FRONT STREET	35'	15'	15'	50'	115' WITHIN 175' OF STREET	5509 SF MAX	21.99%	34.75%	35' IN 2 ND STYS.
EXISTING	17,662 SF	32.1'	17.5'	14.4'	177.5'	100.0'	2274 SF	9.10%	15.05%	27' IN 1 ST STYS.
PROPOSED	17,662 SF	32.1'	17.5'	14.4'	163.8'	100.0'	2634+5768=3210 SF	* 12.81%	23.44%	27' IN 1 ST STYS.

LOT COVER: 55 / SQRT(LOT AREA) [FOR 10,000 SF TO 40,000 SF] FAR: 25 - (0.0002)(LOT AREA - 10,000) [FOR 10,000 SF TO 40,000 SF] "x" INCLUDES DETACHED GARAGE

IMPERVIOUS SURFACE COVER


	BUILDING (PRIMARY)	BUILDING (ACCESSORY)	DRIVEWAYS & PARKING AREAS	PORCHES AND DECKS	WALKWAYS	GEN/AC PAD/PILLARS		TOTALS
EXISTING	1829 SF	47 SF	880 SF	392 SF	614 SF	9 SF		3771 SF
PROPOSED	2123 SF	576 SF	2542 SF	309 SF	314 SF	9 SF		5873 SF

REVISION DIGEST	CONKLIN ASSOCIATES PROFESSIONAL ENGINEERS AND LAND SURVEYORS 29 CHURCH STREET P.O. BOX 282, RAMSEY, NJ 07446 PHONE (201) 327-0443, FAX (201) 934-1097 CERTIFICATE OF AUTHORIZATION #24GA28046300		ADDITION PLOT PLAN SOIL EROSION CONTROL PLAN LOT 14 - BLOCK 1708 203 WEST ALLENDALE AVENUE IN THE BOROUGH OF ALLENDALE BERGEN COUNTY, NEW JERSEY FOR AQUINO RESIDENCE
12/20/23	TIBOR LATINCSICS N.J.P.E. 32444, N.J.P.P. 3736 	MICHAEL H. DARWSTATTER P.L.S., NJ License No. 24CS03430200 	
SCALE: 1" = 20' ORIGINAL PLAN DATE: 11/29/23 SURVEY DATE: 11/27/23	FILE NO.:	PLOT NO.: ALL-B1708-L14-LOT.dwg	

Memorandum

To: Borough of Allendale Land Use Board
L. Garofalo, Board Secretary / L. Calli, Board Attorney

Cc: L. Aquino, Applicant / C. Greimel, Applicant's Engineer & Planner

From: Michael Vreeland, Board Engineer 

Date: January 11, 2024

Re: LUB 2024-02 – Aquino
Variance Application – Addition and Detached Garage
203 West Allendale Avenue
Block 1708, Lot 14
ALN-1001.072

We are in receipt of the following information pertaining to the above-referenced application:

- A. Land Use Application and associated documents;
- B. Soil Movement Application and associated documents;
- C. Plan entitled, "Boundary & Topographic Plan of, Lot 14, Block 1708, 203 West Allendale Avenue, Borough of Allendale, Bergen County, New Jersey". The plan prepared by Darmstatter, Inc. (Michael H. Darmstatter, PLS), is dated November 27, 2023;
- D. Setback and photograph exhibits. The exhibits prepared by Christopher Greimel are dated December 14, 2023 and December 20, 2023, respectively;
- E. Plan set consisting of 6 sheets entitled, "Proposed Addition & Detached Garage, Aquino Residence, 203 West Allendale Avenue, Allendale, New Jersey". The plans prepared by Christopher Greimel, PE, RA, PP, are dated December 8, 2023; and
- F. Plan entitled, "Addition Plot Plan, Soil Erosion Control Plan, Lot 14 – Block 1708, 203 West Allendale Avenue, In The, Borough of Allendale, Bergen County, New Jersey, For Aquino Residence". The plan prepared by Conklin Associates (Tibor Latincsics, PE & Michael H. Darmstatter, PLS), is dated November 29, 2023.

We have reviewed the information along with the Borough Code (Code), visited the site and offer the following comments:

OFFICE LOCATIONS

www.vancleefengineering.com

Lebanon, NJ
908-735-9500

Hamilton, NJ
609-689-1100

Toms River, NJ
732-573-0490

Freehold, NJ
732-303-8700

Bethlehem, PA
610-332-1772

Hillsborough, NJ
908-359-8291

Mt. Arlington, NJ
862-284-1100

Phillipsburg, NJ
908-454-3080

Doylestown, PA
215-345-1876

Pottstown, PA
610-323-4040

1. INTRODUCTION

The subject ±0.575 acre property is commonly known as 203 West Allendale Avenue. The property is currently developed with a single-family dwelling and associated amenities. The property is located within the Borough's A Residence Zone District and is surrounded by residential uses.

The application and plans propose additions and renovations to the dwelling (including a rear addition, conversion of the existing garage to living space and a new detached garage).

The application and plans request relief for conflicts with §270-64C(2) (side yard setback). Relief may also be required to allow the driveway to remain in front of the dwelling §270-18B.(6).

2. TECHNICAL COMPLETENESS

We have reviewed the application for technical completeness in accordance with the Application Checklist. Based on the nature of the proposal, we believe the Applicant's submission is sufficient to conduct technical review.

We defer to the Land Use Administrator and the Board Attorney regarding administrative and legal completeness matters.

3. ZONING

We have reviewed this application in accordance with the requirements of the Code. Based on this review we find the following:

3.1. Discrepancies exist between the information presented in the Greimel Zoning Requirements Table and the Conklin Associates Zoning Schedule. Testimony should address the discrepancies.

3.2. Non-Conforming Conditions:

3.2.1. §270-18B(2) – Driveway Width

Comment: The illustrated driveway appears to be 48 ft wide at the rear parking/turning area and exceeds the allowable 35 ft width.

3.2.2. §270-18B(3) – Driveway Curb Cuts

Comment: The illustrated curb cut appears to be 23 ft wide and exceeds the allowable 20 ft width. The application does not appear to alter this condition.

3.2.3. §270-57(B) – Front Yard Setback

Comment: The zoning information indicates the existing dwelling encroaches ±3 ft into the required 35 ft front yard setback. The application does not appear to alter this condition.

3.2.4. §270-57E – Minimum Lot Width

Comment: The zoning information indicates the existing 100 ft width is less than the required 115 ft. The application does not appear to alter this condition.

3.2.5. §270-64C(2) – Side Yard Setbacks

Comment: The Greimel zoning information indicates an original gross building area of 3,614 sf (prior to removing a barn from the property). The dwelling encroached ± 4.2 ft (left) & ± 7.3 ft (right) into the required ± 21.7 ft enhanced side yard setback.

Removal of the barn along with the proposal decreases the GBA to 3,252 sf and requires ± 19.5 ft enhanced side yard setback. The dwelling would encroach ± 2 ft (left) & ± 5.1 ft (right) into the required ± 19.5 ft enhanced side yard setback.

3.3. Discussion:

Since this proposal does not meet the requirements noted above, the Applicant must seek relief from the Board pursuant to the Municipal Land Use Law under N.J.S.A. 40-55D-70c.

The Applicant has requested “C” variances in conjunction with this proposal.

“C(1)” or “Hardship” Variances:

In judging an application by the C(1) criteria, the core question presented to the Board is whether there has been a showing of (1) peculiar and exceptional practical difficulties to, or (2) exceptional and undue hardship upon, the Applicant arising out of (a) the exceptional narrowness, shallowness or shape of the subject property, or (b) by reason of exceptional topographic conditions or physical features uniquely affecting the subject property, or (c) by reason of an extraordinary and exceptional situation uniquely affecting the subject property or the structures lawfully existing thereon. In all cases, the alleged hardship must relate to a specific piece of property.

“C(2)” or “Benefits v. Detriments” Variances:

In judging an application by the C(2) criteria, the core questions presented to the Board is whether the grant of a variance would promote or advance the purposes of the Municipal Land Use Law and the benefits of such deviation outweigh any detriment.

As in all variance cases, the Applicant bears the burden of proving both the positive and negative criteria. Relief cannot be granted unless it can be granted without substantial detriment to the public good and unless it will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

We specifically note that it is the Applicant’s burden to show the special reasons and satisfy the negative criteria. As such, the Applicant will need to present additional information concerning the aforementioned issues as well as the positive and negative elements pertaining to the subject proposal.

4. TECHNICAL REVIEW COMMENTS

- 4.1. Testimony should address proposed building finishes, colors, and materials.
- 4.2. Testimony should address exterior lighting.
- 4.3. Roof runoff from the proposed garage and existing downspout located along the proposed driveway should not be directed towards adjacent properties.
- 4.4. Should the Board approve this application:
 - 4.4.1. The Applicant will need to obtain Soil Movement Permit (\$225) and Plot Plan Approval (\$196). A soil movement application has been submitted.
 - 4.4.2. We recommend an “As-Built Plan” be required prior to requesting a certificate of occupancy.

Please contact me should you have any questions.