LAND USE BOARD BOROUGH OF ALLENDALE Municipal Building 500 West Crescent Avenue Allendale, NJ

The Initial Meeting of the Allendale Land Use Board will be held in the Council Chambers in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401 on January 17, 2024 at 7:30 p.m. Formal action will be taken.

- I. CALL TO ORDER
 - A. Open Public Meetings Act Announcement
 - B. Salute to Flag

II. OATH OF OFFICE

- A. Class I Mayor Amy Wilczynski (term corresponds with term of office)
- B. Class II Andrew Agugliaro (term expiring December 31, 2024)
- C. Class III Joe Daloisio (term expiring December 31, 2024)
- D. Class IV John Dalo (term expiring December 31, 2026)
- E. Class IV Jason Warzala (term expiring December 31, 2026)
- F. Class IV Melissa Bergen (term expiring December 31, 2025)
- G. Class IV- Frank Putrino (term expiring December 31, 2027)
- H. Class IV- Michael Sirico (term expiring December 31, 2025)
- I. Class IV- (term expiring December 31, 2025)
- J. Alternate #1 Gregg Butler–Alt. #1 (term expiring December 31, 2024)
- K. Alternate #2 Joseph Conte-Alt. #2 (term expiring December 31, 2025)
- III. ROLL CALL

IV. ELECTION OF OFFICERS

- A. Resolution LUB 24-01: Order of Voting
- B. Resolution LUB 24-02: Election of Chair
- C. <u>Resolution LUB 24-03: Election of Vice Chair</u>
- D. <u>Resolution LUB 24-04: Election of Secretary</u>

V. RESOLUTIONS

- A. Resolution LUB 24-05: Appointment of Land Use Board Legal Counsel
- B. Resolution LUB 24-06: Appointment of Land Use Board Engineer
- C. <u>Resolution LUB 24-07: Appointment of Land Use Board Planner</u>
- D. Resolution LUB 24-08: Time and Place of Land Use Board Meetings for 2024
- E. Resolution LUB 24-09: Adoption of By Laws for the Land Use Board

VI. APPROVAL OF MINUTES December 20, 2023 Land Use Board Regular Meeting

VII. RESOLUTIONS

Application File No: LUB 2023-13Resolution No,: 24-10Applicant: William & Fani ThompsonAddress: 540 Hillside Avenue, Allendale, NJ 07401Block: 104Lot: 10Application: Add a new roof structure over existing patio. Side yard setback.

Application File No: LUB 2023-12

Resolution No.: 24-11 Applicant: Peter & Amy Bloom Address: 34 Harreton Road, Allendale, NJ 07401 Block: 509 Lot: 4 Application: Wood Burning fireplace – side yard setback encroachment.

VIII. PUBLIC HEARINGS

Application File No.: 2024-03 Applicant: Kurt Patrick Address: 271 Lakeside Drive, Allendale, NJ 07401 Block: 408 Lot: 14 Application: Conceptual – New home <u>Application and plans</u>

Application File No.: LUB 2024-01Applicant: Crown CastleAddress:300 West Crescent Avenue, Allendale, NJ 07401Block:201 Lot: 9Application: Collocation and tower extension.Application and Plans(to be caried to the February 2024 LUB Meeting)

Application File No: LUB 2024-02

Applicant: Laura Aquino Address: 203 W. Allendale Avenue, Allendale, NJ 07401 Block: 1708 Lot: 14 Proposed: One story rear addition, conversion of existing garage to living space & construction of a new detached garage. Pursuant to 270-64C(2) and 270-18B(2) <u>Soil Erosion Plan</u> Engineer's report

- IX. OPEN TO THE PUBLIC FOR COMMENT
- X. OTHER
- XI. ADJOURNMENT

AGENDA & AGENDA MATERIALS SUBJECT TO CHANGE

Borough Website Bulletin Board

BOROUGH OF ALLENDALE LAND USE BOARD

Instructions to applicants

After receiving denial letter from the Zoning Official, applicant will pick up application packet and check list from the Land Use Administrator.

Applicant will submit to the Land Use Administrator everything as indicated on the check list. Each item on the list must be checked to indicate compliance. Check list is to be signed by applicant.

If application is deemed complete, the applicant will be given a hearing date and advised to send notices to residents within 200 ft. and advertise in newspaper.

When proof of service and proof of publication is received, applicant will be placed on the agenda.

ALLENDALE LAND USE BOARD APPLICATION CHECK LIST

NAME	Kurt Patrick & Gelsey Patrick	BLOCK 408	14
ADDR	271 Lakeside Drive, Allendal	e, NJ	
ZONE	T	YPE OF VARIANCE	
BRIEF	DESCRIPTION OF APPLICATI	ON Lot requires hardship pe back, slope protection, a variances	rmission as well as set and potential height
SPECI	FIC VARIANCE(S) REQUIRED_		
ADMI	NISTRATIVE REQUIREMENTS		STATUS_
1.	Application form complete		X
2.	Fee paid		X
3.	Denial by Building Inspector		
4.	Affidavit of Service		
5.	Proof of Publication		
6.	Taxes Current		
7.	Plot Plan		
8.	Maps		X
9.	Photographs		
10.	Email address Gelseykane@gmail.	com; KTP86@msn.com	<u> </u>
11.	Miscellaneous		· · · · · · · · · · · · · · · · · · ·
1/12/20	24	Gallon Date	

Gelsey Patrick

Date

Applicant's Signature

REQUIRED MATERIALS AND CHECKLIST FOR ALLENDALE LAND USE BOARD HEARINGS

This checklist and attached sample drawings are provided to ensure that you or your professionals are prepared for your hearing and that your application is complete. All items should be supplied to the extent that they are applicable to the specific application. If information is insufficient or missing, the board may deem your application incomplete and adjourn your hearing until it receives all necessary documentation. Please create <u>15 packets</u> of the below information.

DRAUDE AN A COURA DE CURVEN FOR THE DRADEDTS DI ALECTION WHICH

1.	CONTAINS THE FOLLOWING INFORMATION:
X	1. Footprint of existing buildings or structures.
X	 Precise distances from all property lines to closest point of principal building including steps, deck or other extensions of the building.
X	 The location and precise distances of accessory buildings, such as garages and sheds, to property lines and the principal building or structure.
X	4. The location and dimensions of steps, patios, driveways, decks, pools and all other improved impervious areas and their precise distances to nearest property line and structures.
X	5. An accurate depiction of the proposed construction or alteration including the information requested in 1, 2, 3 and 4 above.
X	6. The precise distances from all property lines to the closest point of the proposed construction.
II. X	AN ENLARGED TAX MAP DEPICTING PROPERTY IN QUESTION AND ITS RELATIONSHIP TO NEIGHBORING PROPERTIES.
	1. The precise distances from the existing buildings or structure in question to the closest point of all neighboring buildings and structures.
X	The precise distances from the proposed construction to the closest point of all neighboring buildings and structures.
III.	STRUCTURAL DIMENSIONS:
X	1. All dimensions of existing building or structure.
Х	2. All dimensions of proposed building or structure.

N/A	2. Il aight of aviating huilding on structure *
X	 Height of existing building or structure.* Height of proposed building or structure.*
	*(height to be measured from lowest point of the ground that abuts the foundation
Х	of the structure to the highest point on the roof.)
<u> </u>	5. Front, rear and side elevations of the proposed structure.
IV.	FLOOR PLANS.
N/A	1. Floor plans of the existing interior of the building containing all relevant dimensions.
<u>X</u>	2. Floor plans of the interior of the proposed construction containing all relevant
	dimensions.
N/A	3. Precise square footage of the existing building.
X	4. Precise square footage of the proposed construction.
Х	5. Floor area ratio calculation pursuant to Section 270-63 of the zoning ordinance
	(required for all applications)
V.	PHOTOGRAPHS.
Email	1. Photographs of the property in question and existing improvements may be helpful
	to the Board in presenting your information.
N/A	2. Photographs of views from the existing building or structure to neighboring properties
	2. Photographs of views from the existing building of structure to heighboring properties and buildings which show existing plantings or other buffers are also helpful and may be requested by the Board.

(All photographs should be taken by you or someone who can testify to the Board as to when they were taken and that the photographs represent an accurate depiction of what they saw at the time.)

- VI. LANDSCAPING AND LAND FEATURES.
- N/A 1. The survey, plat or plan should locate and describe any proposed landscaping to be done in connection with the application.
- Х
- 2. The location of any unusual property features should be indicated, such as flood plain, streams, wooded areas, rock outcroppings or steep slopes.

VII. PREVIOUS APPLICATIONS.

N/A

1. Applicants should be prepared to discuss prior applications to the Land Use Board, Board of Adjustment and Planning Board and the results thereof. VIII. Any additional information which may be deemed necessary by the Land Use Board, its Consultants or Borough departments and agencies.

NOTE: ALL DIMENSIONS AND DISTANCES MUST BE DEPICTED TO SCALE ON DRAWINGS AND PLANS.

Any questions regarding your hearing or the checklist should be directed to the Land Use Administrator at the Borough of Allendale Municipal Building 201-818-4400 x202. Please submit fifteen (15) packets with copies of all drawings and plans to the Land Use Administrator at least ten (10) days prior to the hearing. It is suggested that the property owner refer to the appropriate building code to assure proper engineering and construction techniques, or to secure the services of a local, reputable architect and/or engineer.

1/12/2024

Gelsey Patrick

Date

Signature

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM BOROUGH OF ALLENDALE, NEW JERSEY

COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED TO THE APPLICANT:

NOTICE OF APPEAL OF ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of Kurt & Gelsey Patrick

show	vs that on or	about	t the	10th	day of	Janu	ary				, 2024
an	application	to	the	Zoning	Official	for	the	purpose	of	(describe	intended
actio	on) building	a sing	le fan	nily dwellii	ng in whicl	h we i	ntend	to occupy			

on the premises located at (street address) 271 Lakeside Dr, Allendale, NJ

Block_408 Lot 14 as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that after due consideration the Zoning Enforcement Officer did on the day of , 20 decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of appeal with said Officer, together with the required fee of , and requests that action of the Zoning Enforcement Officer be reversed or modified as the facts may be determined, and applicant further requests that a day be fixed for hearing on this appeal and states that the proper notice will be given to all owners of property situated within two hundred (200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

An application is hereby made for a (Hardship) (Floor Area Ratio) (Use) variance from the terms of Article(s) and Section(s)_______of the Zoning Ordinance so as to

permit

Gelsey Patrick

Signature of Applicant

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s)	14	Block(s)_	408	
Street Address 271 Lakeside Dr, Allendale,	NJ			
ApplicantKurt & Gelsey Patrick	Address 101 Art	hur St, Ric	lgefield Park, NJ	
Owner	Address			
Lessee	Address			
Last Previous Occupancy_N/A	· · · · · · · · · · · · · · · · · · ·			
Size of Lot 280.63 ft by 56.92 ft / 91.41ft				
Floor area ratio calculation 2400 sq ft for	dwelling	1		
Percentage of lot occupied by building(s)_				
Height of building(s)_44.2 ftstor		feet		
Set back from front property line <u>11 ft</u>	ft. From side (if corner lo	ot) 42.3 ft	ft.
Zoning requirements - Frontage, sid	e yards, set	t-back	, rear yard	
"Prevailing set-back" of adjoining building	s within one block	22	5 7 18 18 18 19 19 19 19 19 19 19 19 19 19 19 19 19	
Has there been any previous appeal involve	ing these premises	?		
If so, state character of appeal and date of a	disposition			

Proposed use: Single family, owner occupied, dwelling

This application for a use variance includes an application for subdivision N/A _____, site plan _____, conditional use ______ A _____approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) Fifteen (15) copies of all application documents
- (c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified "location map" and clearly indicate such buildings and their approximate location, together with "prevailing set-back" dimensions.
- (d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

1/12/2024

Date:

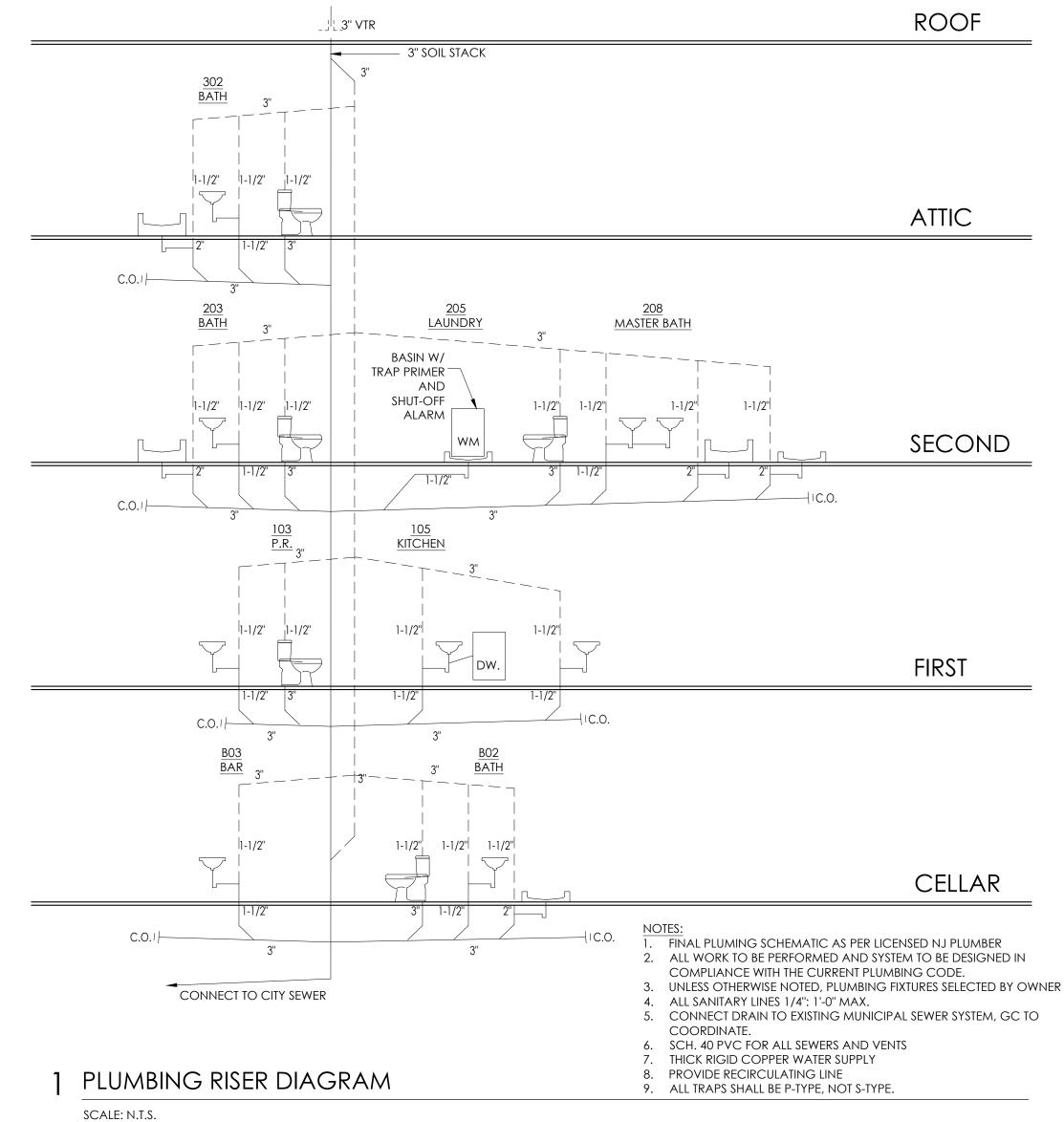
Gelsey Patrick

Signature of Applicant or Agent

PROPOSED NEW CONSTRUCTION FOR: THE PROPSED RESIDENCE

CONCEPTUAL RENDERING (FOR ILLUSTRATIVE PURPOSES ONLY)





PROJECT NOTES

GENERAL CONTRACTOR SHALL:

. PERFORM ALL WORK IN CONFORMANCE TO THE LATEST ADOPTED EDITIONS OF THE NEW JERSEY UNIFORM CONSTRUCTION AND LOCAL CODES AND AGENCIES HAVING JURISDICTION.

2. THE CONTRACTOR SHALL FILE, OBTAIN AND PAY FOR, FOR FULL REIMBURSEMENT BY OWNER, ALL NECESSARY PERMITS, FEES, INSPECTIONS, APPROVALS AND ANY APPLICABLE SALES TAXES.

3. GUARANTEE ALL MATERIAL, WORK OR EQUIPMENT ALTERED OR FURNISHED UNDER THIS CONTRACT, FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE INSTALLATIONS.

4. BE RESPONSIBLE FOR COORDINATING ALL WORK INCLUDED IN THE ENTIRE PROJECT

5. COMPLETE ALL WORK IN A WORKMANLIKE MANNER; WORK WILL NOT CAUSE ANY DIMINUTION OF EXISTING STRUCTURAL STRENGTH, SYSTEM CAPACITY OR MECHANICAL VENTILATION BELOW THAT WHICH CURRENTLY EXISTS. ALL REPLACEMENT FIXTURES, EQUIPMENT OR APPLIANCES WILL NOT INCREASE LOADS ON EXISTING SYSTEMS.

6. COORDINATE WITH OWNER THE REMOVAL/RELOCATION OF EXISTING PLANTINGS, TO GAIN ACCESS TO THE STRUCTURE WHERE NECESSARY, BEFORE WORK. RESTORE ALL EXISTING EXTERIOR CONDITIONS OF STRUCTURE, INCLUDING ALL LANDSCAPED AND GRASSED AREAS, TO PRE-CONSTRUCTION CONDITIONS U.N.O.

7. PATCH, REPAIR AND RESTORE TO PRE-CONSTRUCTION CONDITIONS, WITH MATERIALS AND FINISHES TO MATCH EXISTING U.N.O., ALL AREAS OF THE STRUCTURE THAT HAVE BEEN DISTURBED DUE TO WORK ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT. THIS WORK INCLUDES ALL EXISTING WALLS AND CEILINGS OF PLASTER AND/OR GYPSUM BOARD THAT HAVE CRACKED OR HAVE BEEN DAMAGED DURING CONSTRUCTION AND ANY AREAS WHERE NEW CONSTRUCTION ALIGNS OR MEETS WITH EXISTING CONSTRUCTION.

8. ENSURE ALL CONSTRUCTION EQUIPMENT AND MATERIALS BE STORED AND PLACED SO AS NOT TO ENDANGER INHABITANTS, THE PUBLIC, THE WORKERS, OR ADJOINING PROPERTY FOR THE DURATION OF THE CONSTRUCTION PROJECT.

9. MAINTAIN AT ALL TIMES DURING REMODELING, REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS AT ALL ALTERATIONS, REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE.

10. PROVIDE PRIMING AND FINISH PAINTING AND/OR STAINING ON ALL EXTERIOR AND INTERIOR AREAS OF NEW CONSTRUCTION, INCLUDING WALLS, CEILINGS, CASEWORK, BRICK COLUMNS, CHIMNEY AND TRIM AS PART OF BASE BID. PAINT ALL WALLS EGGSHELL AND ALL TRIM SEMI-GLOSS, OWNER TO SELECT COLOR U.N.O.

11. ENSURE THAT ALL ITEMS OF CONSTRUCTION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

12. AT THE TERMINATION OF THE WORK, SUBMIT TO THE OWNER A MANUAL OF ALL NECESSARY WARRANTEES, INSTRUCTIONS, MAINTENANCE MANUALS, INSTRUCTIONS FOR CARE AND MAINTENANCE OF SURFACES AND EQUIPMENT. CONTENTS SHALL INCLUDE MANUFACTURER'S AND INSTALLERS NAMES, ADDRESSES AND PHONE NUMBERS AND INSTRUCTIONS FOR INSTALLATION, START-UP, OPERATION, MAINTENANCE, PARTS LIST AND DATA SHEETS. THE CONTRACTOR SHALL FURNISH ALL LITERATURE OF THE MANUFACTURER, RELATING TO EQUIPMENT, INCLUDING MOTORS OR OTHER MANUFACTURER'S EQUIPMENT; ALSO CUTS, WIRING DIAGRAMS, INSTRUCTIONS, AND ALL OTHER INFORMATION THAT WOULD BE USEFUL TO THE OWNER FOR THE OPERATION AND MAINTENANCE OF SAME.

13. FILE FOR, OBTAIN, AND FORWARD TO THE OWNER THE "C.O." (CERTIFICATE OF OCCUPANCY), AND ALL OTHER PERMITS AND CERTIFICATES OF INSPECTION AT THE COMPLETION OF THE PROJECT.

DIMENSION NOTES

GENERAL CONTRACTOR SHALL:

. SCALING DRAWINGS: CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS AND DISCREPANCIES OR UNCLEAR INFORMATION SHALL BE PRESENTED TO THE ARCHITECT FOR CLARIFICATION. CONTRACTOR SHALL FIX, AT HIS EXPENSE, ANY ERRORS DONE DUE TO ASSUMPTIONS THAT LEAD UP TO CONFLICTING SITUATIONS WITH THE INTENT OF THE PROJECT. LARGER SCALE DETAILS ALWAYS TAKE PRECEDENCE OVER SMALLER SCALED DETAILS AND PLANS.

INTERIOR DIMENSIONS: INTERIOR DIMENSION STRINGS (INTERIOR PARTITIONS AND DOORS) ARE MEASURED FROM ONE OR MORE OF THE FOLLOWING: A) FINISH FACE OF GWB.

B) CENTERLINE OF NOTED BUILDING ELEMENTS

(CORRIDOR, CEILING RIDGE, DOOR & WINDOW OPENINGS, WALLS, ETC.)

. EXTERIOR WALL DIMENSIONS: ALL EXTERIOR STUD FACES ARE ALIGNED WITH THE FACE OF CEMENT PARGING AT FOUNDATION, UNLESS NOTED OTHERWISE.

4. CONFIRMATION OF DIMENSIONS PROVIDED: ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THESE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE GENERAL CONTRACTOR AND/OR VENDORS PRIOR TO ORDERING ANY MATERIAL OR DOING ANY WORK AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES OR ERRORS IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS ALLOWABLE WITHOUT THE CONSENT OF THE ARCHITECT.

5. VERIFICATION OF EXISTING DIMENSIONS AND CONDITIONS: THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY MAJOR DISCREPANCIES PRIOR TO STARTING WORK. ALL NEW WORK CAN BE MODIFIED BY FIELD CONDITIONS. CONSULT WITH ARCHITECT PRIOR TO MODIFICATIONS.

6. PLUS/MINUS DIMENSIONS ("+/-" OR +): ARE FLEXIBLE DIMENSIONS REQUIRING CLOSE ATTENTION TO ALIGNMENTS OR MATCHING EXISTING ADJACENT CONDITIONS. CONTRACTOR MUST CLOSELY EXAMINE THE DIMENSION STRING AND STRATEGY IN ORDER TO DETERMINE THE INTENT OF THIS DIMENSION RELATIVE TO THOSE AROUND IT. THIS DIMENSION IS ONLY PROVIDED AS A VERIFICATION AND FOR CONTRACTORS ROUGH USE IN DETERMINING SIZES FOR COST ESTIMATING PURPOSES.

. INTER-FLOOR ALIGNMENTS: WHEN ELEMENTS ARE DIMENSIONED IN RELATION TO CONSTRUCTION ELEMENTS ON THE FLOOR OR FLOORS ABOVE AND/OR BELOW, THE CONTRACTOR MUST VERIFY ALIGNMENTS ARE TRANSLATED ON THE EXTERIOR AND INTERIOR OF THE STRUCTURE, UNLESS NOTED OTHERWISE.

PROJECT DESCRIPTION

THE PROPOSED WORK IS FOR THE DEMOLITION OF AN EXISTING (2) TWO STORY, (DWELLING DOWN TO FOUNDATION. THE CONSTRUCTION OF NEW 2-1/2 STORY (DWELLING OVER EXISTING EXTENDED FOUNDATION. APPROVAL BY THE ZONING E

-	OVER EXISTING EXTENDED FOUNDATION. APPROVAL BY THE ZON NT WAS GRANTED ON SEPTEMBER 15, 2020.	IING B
ENFC	DRCING BUILDING CODES	
BUILDING	CODE: INTERNATIONAL RESIDENTIAL CODE - NJ ED. 2018 OBTAINED FROM: INTERNATIONAL CODE COUNCIL, INC	
<u>REHABILIT</u>	ATION CODE: REHABILITATION SUBCODE 5:23-6 OBTAINED FROM STATE OF NJ, DEPARTMENT OF COMMU	JNITY /
MECHAN	I <u>CAL CODE:</u> INTERNATIONAL MECHANICAL CODE, 2018 OBTAINED FROM INTERNATIONAL CODE COUNCIL	
<u>ELECTRIC</u>	AL CODE: NATIONAL ELECTRICAL CODE (NFPA 70) 2017 OBTAINED FROM NATIONAL FIRE PROTECTION ASSOC.	
PLUMBING	S CODE: NATIONAL STANDARD PLUMBING CODE, 2018 OBTAINED FROM NATIONAL ASSOC. OF PLUMBING-HEATING-COOLING CONTRACTORS	
FUEL GAS	INTERNATIONAL FUEL GAS CODE, 2018 OBTAINED FROM INTERNATIONAL CODE COUNCIL	
ENERGY	CONSERVATION CODE: INTERNATIONAL ENERGY CONSERVATION CODE, 2018 OBTAINED FROM INTERNATIONAL CODE COUNCIL	
	WALL PARTITION LEGEND	
NUMBER	MATERIAL	DIA
A-001	NON-RATED - WOOD STUD PARTITION WALL 4-1/2" GWB WALL NEW 2X4 WOOD STUD INTERIOR WALL @ 16" O.C. W/ 1/2" GWB EA. SIDE, TAPED SPACKELED PRIMED AND PAINTED WITH TWO COATS OF FINISH PAINT. AT KITCHEN AREAS, PROVIDE BLOCKING BETWEEN STUDS TO FACILITATE INSTALLATION OF CABINETS. AT WET LOCATIONS, USE MOISTURE RESISTANT GWB. AT BASEMENTS USE P.T. STUDS AND M.R. GWB. AT SHOWER AREAS, USE FIBER CEMENT BOARD. ALL INTERIOR WALLS ARE A-001 UNLESS OTHERWISE NOTED.	
A-002	<u>1 HR RATED - WOOD STUD PARTITION WALL</u> <u>4-3/4" GWB WALL</u> NEW 2X4 WOOD STUD INTERIOR WALL @ 16" O.C. W/ 5/8" TYPE "X" GWB EA. SIDE, TAPED SPACKELED PRIMED AND PAINTED WITH TWO COATS OF FINISH PAINT. AT KITCHEN AREAS, PROVIDE BLOCKING BETWEEN STUDS TO FACILITATE INSTALLATION OF CABINETS. AT WET LOCATIONS, USE M.R. GWB. AT SHOWER AREAS, USE FIBER CEMENT BOARD.	
A-003	NON-RATED- WOOD PLUMBING / CHASE WALL 6-5/8" GWB WALL PROVIDE 2X6 WALL STUDS, SPACED 16" O.C., W/ 5/8" MOLD TOUGH GWB. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT. AT SHOWER AREAS, USE FIBER CEMENT BOARD. AT BASEMENTS USE P.T. STUDS AND M.R. GWB. INSULATE @ PIPES.	
B -001	BASEMENT PERIMETER FURRED WALL PLACE A .6 MIL VAPOR BARRIER OVER INTERIOR FACE OF CONCRETE WALL. SET PRESSURE TREATED DOUBLE PLATE 1/2" FROM FACE OF WALL, REVIEW WALL FOR EVENNESS PRIOR TO SETTING PLATE. PROVIDE 2X4 P.T. WALL STUDS, SPACED 24" O.C., KRAFT FACED R-15 BATT INSULATION W/ 5/8" MOLD TOUGH GWB. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT.	
B -002	BASEMENT PERIMETER FURRED WALL PLACE A .6 MIL VAPOR BARRIER OVER INTERIOR FACE OF CONCRETE WALL. PROVIDE 2X4 P.T. WALL STUDS ON FLAT, SPACED 24" O.C., RIGID R-5T INSULATION W/ 5/8" MOLD TOUGH GWB. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT.	
MEP	NOTES	

INEF INUTES

HVAC SYSTEM:

HVAC SYSTEM SHALL BE MODIFIED / PROVIDED ON A DESIGN-BUILD BASIS. WORK INCLUDE DESIGN, FURNISHING AND INSTALLATION OF HVAC SYSTEM, AS REQUIRE COMPLETE AND PROPER INSTALLATION.

MECHANICAL DESIGN DRAWINGS AND SHOP DRAWINGS SHALL BE PROVIDED FO ARCHITECT'S REVIEW / APPROVAL.

ALL VENTS SHALL BE HIDDEN FROM THE FRONT OF THE STRUCTURE.

ELECTRICAL SYSTEM & EMERGENCY ELECTRICAL SYSTEMS:

ELECTRICAL SYSTEM AND EMERGENCY ELECTRICAL SYSTEMS SHALL BE PROVIDED DESIGN-BUILD BASIS. WORK SHALL INCLUDE DESIGN, FURNISHING AND INSTALLAT ELECTRICAL SYSTEM, AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. ELECTRIC POWER RISER DIAGRAM(S) AND PANEL SCHEDULE(S) FOR ARCHITECT'S AND APPROVAL. PROVIDE FIRE ALARM DIAGRAM(S)/DRAWING(S) IN ACCORDA THE CURRENT IBC AND CODES HAVING JURISDICTION.

		AB	BREVIATIONS			DRAW	ING KEYS	
ABV.	ABOVE	EA.	EACH	OPP.	OPPOSITE			
ACT.	ACOUSTIC CEILING TILE	EQ.	EQUAL	RM.	ROOM	SECTION	#	
AFF.	ABOVE FINISH FLOOR	EXIST	EXISTING	R.O.	ROUGH OPENING	SECTION ELEVATION:	#	ELEVATION/ START POINT:
APPROX.	APPROXIMATE	EXT.	EXTERIOR	SCHED.	SCHEDULE			
ARCH.	ARCHITECT	FIN.	FINISH	SF	SQUARE FOOT	WALL TYPE:		REVISION
BLW.	BELOW	FLR.	FLOOR	SIM.	Similiar	WALLTIT L.	A.002	NUMBER:
BOT.	BOTTOM	G.C.	GENERAL CONTRACTOR	SPECS.	SPECIFICATIONS			CONSTRUCTIO
CL	CENTERLINE	GWB	GYPSUM WALL BOARD	SS	STAINLESS STELL			NOTE:
CLOS.	CLOSET	INSUL.	INSULATION	T.O.	TRIMMED OPENING	ELEVATION:	#	DOOR
CLG.	CEILING	LAV.	LAVATORY	TYP.	TYPICAL			TAG:
DIA.	DIAMETER	MFR.	MANUFACTURER	U.O.N.	UNLESS OTHERWISE NOTED			WINDOW
DIM.	DIMENSION	MTD.	MOUNTED	V.I.F.	VERIFY IN FIELD			TAG:

			ZONING		ON	
FAMILY	ZONE: R-2	2 BLOCK: 10	LOT: 13.01 BU	ILDING USE GROUP:	R-5 CONST STORIES	RUCTION TYPE: VB S: 2.5 AREA: 1,398 SF
ONE FAMILY ARD OF		**SEE	ENGINEER'S DRAWIN		TE PLAN, ZONIN	
			GRADING	INFORMATIO	N**	
	KEY N	1AP				
AIRS						
		SG	QUARE FOOTAG	E AND VO	LUME CALC	•
AM	SQUARE FOOT	AGE	EXISTING	PRC	DPOSED	
	CELLAR CELLAR WALK	-OUT	569 0		407 317	976 317
			0		1,157	1157
I	COVERED POI		0		317 1,292	317 1292
	BALCONY OPEN TO BELC		0		59 106	59
	ATTIC LOFT	JW	0		417	106 417
	ROOF TERRAC	E	0		517 4,589	517
			367		4,307	3,130
	CELLAR CELLAR WALK		3,983 0		2,849 2,430	6832 2430
	FIRST FLOOR	-001	0		0,413	10413
	COVERED POI		0		2,853	2853 11628
	OPEN TO BELC		0		954	954
	ATTIC LOFT	1E	0 3,983		4,379	4379 39,489
				1		
			awing list			SULTANTS
I	DWG NO. A.000	DESCRIPTION) TES, PRD, CONCEPT. RENDER	LATEST REVISION	 <u>CIVIL ENGINEER</u> DJ EGARIAN & ASSO 271 US HIGHWAY 46 	
	A.200		FRAMING PLANS: CELLAR	NOV. 03, 2020	SUITE G-208 FAIRFIELD, NEW JERS	
	A.201	CONST. & FRAMING	g plans: 1st flr, door sch.	NOV. 03, 2020	- 973.898.1401 NJ LIC. NO: 24GE02	622900
	A.202	CONST. & FRAMING	G PLANS: 2ND FLR, WIN. SCH.	NOV. 03, 2020	_	
	A.203 A.204		FRAMING PLANS: ATTIC	NOV. 03, 2020 NOV. 03, 2020	-	PERMIT S
	A.204		G AND POWER PLANS	NOV. 03, 2020		
	A.400	DIAGRAMMATIC S	ections, stair details	NOV. 03, 2020		
HALL	A.401	DIAGRAMMATIC S	ECTIONS, CONCEPT. RENDERS	NOV. 03, 2020		CHITECTUR
OR A	A.500 A.600			NOV. 03, 2020	125 PATERSON AVE, Second Little Falls, NJ 07424	Floor dan@plnarc.cc T: 973-837-83
	A.800 A.800	TYPICAL WALL SEC	TION, DETAILS	NOV. 03, 2020 NOV. 03, 2020	REVISIONS:	
N A DN OF AN					NO. DES	CRIPTION YEAR.MO.E
PROVIDE EVIEW						
CE WITH					THE PRO	OPOSED NCE
		STRUCTION	I SYMBOLS			
J		CONSTRUCTION AE	BOVE EE FIRE	RATED WALL	- FLOOR OR FLOORS (IF APPL)	CABLE): TITLE
-		PROPERTY LINE	STUE	D/ROUGHING	KEY MAP, TITLE, NOT	ES, PLUMBING RISER, RENDE
I		EXISTING PARTITION REMOVED		CKING		
$\underline{\land}$		EXISTING PARTITION	I TO	SH WOOD	SEAL & SIGNATURE:	DATE: NOV. 3, 20 PROJECT NO.: 19-06
N (1)		REMAIN NEW WALL		wood Stic laminate on		SCALE: AS NOT DWG. BY: JLD/WA
	' <u>////////////////////////////////////</u>	CONSTRUCTION	PLYV	WOOD EBRICK		CHK BY: [DWG NO.:
(101)		STEEL		insulation		A.00
101		CONCRETE BLOCK			DANIEL D'AGOSTINO, A.I.A. N.J. LIC. NO: 21AI01880000	

DEMOLITION NOTES

1. BEFORE WORK IS BEGUN, CONTRACTOR SHALL PROVIDE ELECTRICAL AND DUCT WORK ALL BARRICADES, FENCES, BRACES, PROTECTIVE BARRIERS AND SAFETY DEVICES TO ENSURE COMPLETE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEMOLITION WORK. DEVICES MUST BE MAINTANED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR.

2. IF NECESSARY, PROVIDE TEMPORARY STRUCTURAL SHORING AS REQUIRED TO COMPLETE THE WORK WITHOUT WEAKENING THE EXISTING STRUCTURE. ALL WORK SHALL BE DONE IN A MANNER AS TO NOT LESSEN THE WORK TO REMAIN, OR TO ELECTRICAL ITEMS. DAMAGE OR ADVERSELY AFFECT ADJACENT PORTIONS 5. REMOVE ALL INTERIOR OF THE STRUCTURE. CONSULT FINISHES, AS NECESSARY TO WITH ARCHITECT SHOULD QUESTIONS ARISE REGARDING UNDERMINING ANY EXISTING STRUCTURE.

3. DISCONNECT AND/OR

SHUTDOWN PLUMBING, AS REQUIRED. UTILITIES SERVING THE EXISTING BUILDING MUST BE SAFEGUARDED AGAINST DAMAGE THROUGHOUT THE

4. REMOVE, REROUTE, CAP OR TERMINATE AS REQUIRED WITH NO CHANGE IN PERFORMANCE, ALL ELECTRICAL, PLUMBING, MECHANICAL OR OTHER SUCH WORK LOCATED IN WALLS, PARTITIONS, CEILINGS OR FLOORS THAT OCCUR WHERE EXISTING WORK IS TO BE REMOVED OR RELOCATED AND/OR NEW OPENINGS ARE TO BE CUT IN EXISTING WORK. CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL THE STRUCTURAL INTEGRITY OF PROJECTING PLUMBING AND DAILY BASIS. ALL DEBRIS

COMPLETE WORK.

6. TAKE SPECIAL CARE TO ENSURE THAT NO DAMAGE OCCURS IN ANY OTHER AREA OF THE BUILDING DURING DEMOLITION OF INDICATED AREAS.

7. TAKE SPECIAL CARE TO PREVENT DIRT, DUST AND CONSTRUCTION DEBRIS FROM ENTERING OTHER AREAS OF THE BUILDING. DOORS TO AREAS OUTSIDE THE SCOPE OF MODIFICATION WORK WORK SHALL BE COVERED AND TAPED, AND OPENINGS TO AREAS OUTSIDE THE SCOPE VERSA, SHALL BE COMPLETED of work shall be closed OFF WITH PLASTIC AND SEALED WITH WITH TAPE WHEREVER POSSIBLE, WITHOUT 11. CONTRACTOR TO VERIFY DAMAGING THE EXISTING CONDITIONS.

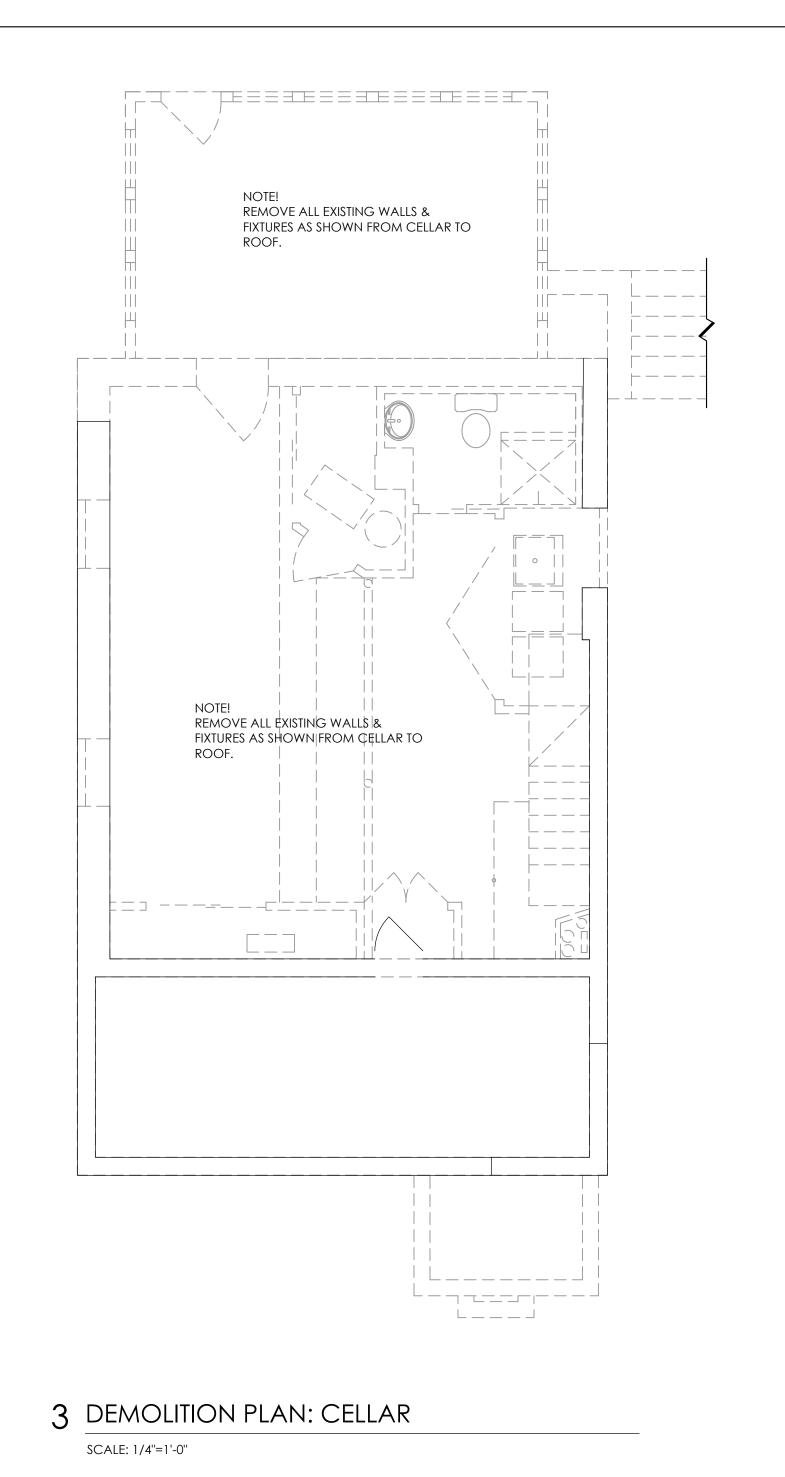
8. KEEP WORK CLEAN ON A SHALL BE PUT IN A CONTAINER THE ARCHITECT. AT DAY'S END.

9. CONSULT WITH OWNER PRIOR TO DISCARDING ANY EXISTING FIXTURES, HARDWARE MATERIAL DAMAGE OR LOSS OR OTHER ITEMS THAT THE OWNER MAY WISH TO RE-USE.

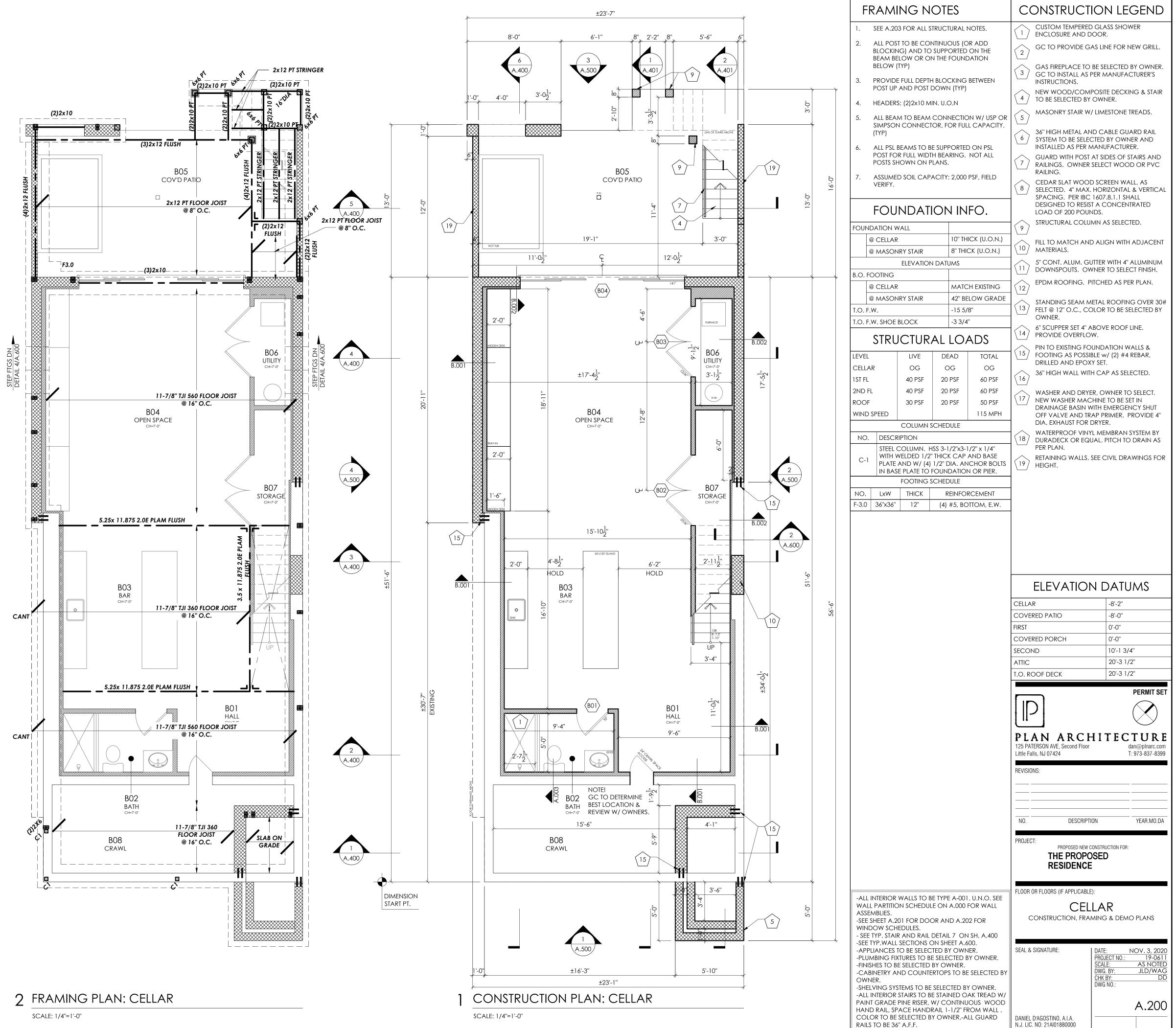
10. DO ANY WORK ON THE EXISTING CONSTRUCTION NECESSARY TO ACCOMPLISH THE INTENT OF THESE

DOCUMENTS INCLUDING BUT NOT LIMITED TO THE REMOVAL AND DISPOSAL OF EXISTING MATERIALS, INSTALLATION OF NEW MATERIALS, PATCHING AND REFINISHING OF EXISTING SURFACES AND RE-CONDITIONINING AND **REPAIR OF EXISTING** MATERIALS THAT ARE SHOWN TO BE REUSED. ANY DEMOLITION WORK OR INDICATED ON THE DRAWINGS AND NOT SPECIFIED, OR VICE BY THE CONTRACTOR AND SHALL BE INCLUDED AS PART OF THE CONTRACT. ALL DEMOLITION DIMENSIONS AS THEY RELATE TO THE CONSTRUCTION PLANS. IF ANY MAJOR DISCREPANCIES ARE ENCOUNTERED, NOTIFY

12. ANY EXPOSED CONDITIONS WHICH REVEAL STRUCTURAL FAILURE, OF FUNCTIONALITY SHALL BE PRESENTED TO THE OWNER WITH SUGGESTIONS FOR REMEDY PRIOR TO EXECUTING.



SCALE: 1/4"=1'-0"



		1		DOOR	SCHE	DULE	1	_	
NUMBER	TYPE	CORE	WIDTH	HEIGHT	FRAME MATERIAL	HARDWARE	REMARKS		
BOI	INT HINGED	SOLID	32"	80''	WOOD	AS SELECTED		-	
B02	INT HINGED	SOLID	(2)36''	80''	WOOD	AS SELECTED	DOUBLE DOORS	-	2x8 JOIST @ 16" O.C.— FLUSH BOTTOM
B03	INT HINGED	SOLID	(2)36"	80''	WOOD	AS SELECTED	DOUBLE LOUVERED DOORS	- 	>
	EXT SLIDER	SOLID / GLASS	141"	80''	WOOD	AS SELECTED	4 PANEL 14180, OXXO	(3)24	
(101)	EXT PIVOT	SOLID / GLASS	48"	96''	WOOD	AS SELECTED	PIVOT DOOR, AS SELECTED		3.5 × 11.875 2.0E PLAM
(102)	INT HINGED	SOLID	30"	96"	WOOD	AS SELECTED	HIDDEN PANEL DOOR WITH CONCEALED HINGES AS SELECTED		
(103)	EXT SLIDER	SOLID / GLASS	141"	80''	WOOD	AS SELECTED	4 PANEL 14180, OXXO	.875 ROPPED	11-7/ FLOG
201	INT HINGED	SOLID	32"	96"	WOOD	AS SELECTED		5.25 × 11.875 2.0E PLAM DROPPED	@1
202	INT HINGED	SOLID	30''	96"	WOOD	AS SELECTED			
203	POCKET	SOLID	30"	96''	WOOD	AS SELECTED	POCKET DOOR	-	32x6
204	POCKET	SOLID	30"	96"	WOOD	AS SELECTED	POCKET DOOR	(3)2xb	
205	INT HINGED	SOLID	30"	96"	WOOD	AS SELECTED		-	
206	INT HINGED	SOLID	32"	96"	WOOD	AS SELECTED		-	
207	INT HINGED	SOLID	24"	96"	WOOD	AS SELECTED			
208	POCKET	SOLID	36"	96"	WOOD	AS SELECTED	LOUVERED POCKET DOOR		
209	INT HINGED	SOLID	(2)30''	96"	WOOD	AS SELECTED	DOUBLE DOORS	64 ¹ Cl 64 (2)2×10 46	
210	EXT HINGED	SOLID / GLASS	117"	96"	WOOD	AS SELECTED	4 PANEL 11796, OXXO	ے _ گھڑ – _ گھڑ] 1
211	POCKET	SOLID	32"	96"	WOOD	AS SELECTED	POCKET DOOR		▶ <u>↓</u>
212	POCKET	SOLID	32"	96"	WOOD	AS SELECTED	POCKET DOOR		
301	INT HINGED	SOLID	32"	88"	WOOD	AS SELECTED			
302	POCKET	SOLID	32"	88"	WOOD	AS SELECTED	POCKET DOOR	- Brth	5.25
303	EXT SLIDER	SOLID / GLASS	141"	88''	WOOD	AS SELECTED	4 PANEL 14180, OXXO	- B.	102
		-0							• 103 • ₽.R.

DOOR NOTES

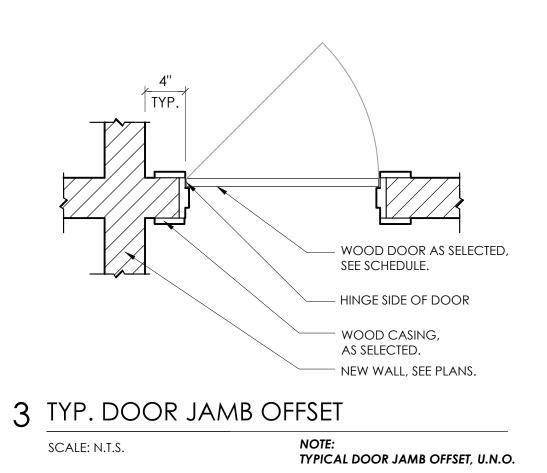
1. ALL EXTERIOR DOORS TO BE PELLA OR EQUAL, CATALOG NUMBER AS INDICATED ON DRAWINGS. 2. PRIOR TO ORDERING AND FRAMING, CONTRACTOR SHALL VERIFY SPECIFICATION AND SIZE.

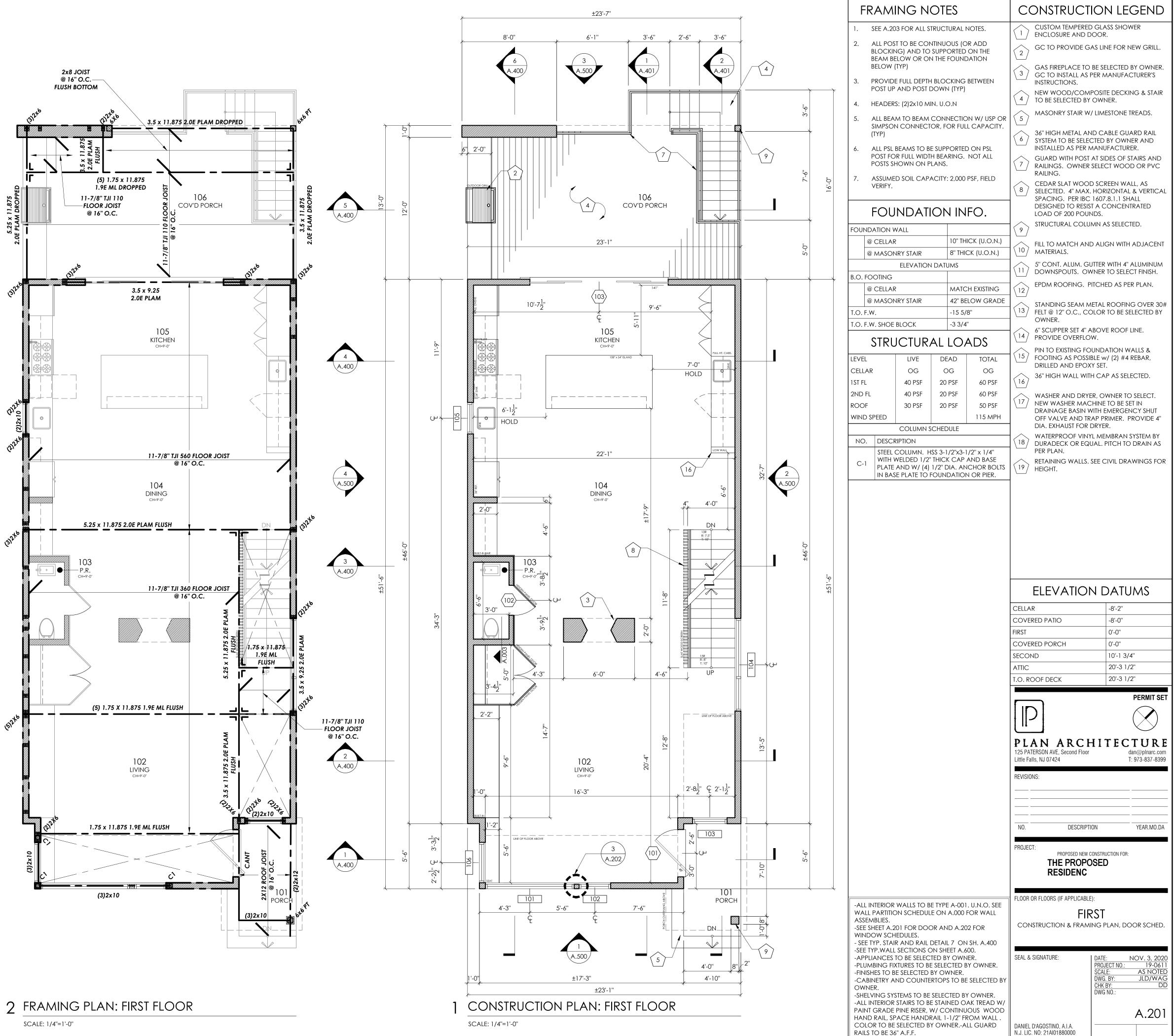
3. DIMENSIONS PROVIDE ARE FINISH DOOR OPENINGS, CONTRACTOR SHALL PROVIDE FOR ROUGH OPENING AS NECESSARY. 4. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL FINISH HARDWARE. HARDWARE TO BE FURNISHED SHALL BE BEST QUALITY EQUAL TO "BALDWIN HARDWARE", "SCHLAGE" OR APPROVED EQUAL. HARDWARE SUPPLIER SHALL WRAP HARDWARE IN SEPARATE PACKAGES, COMPLETE WITH TRIMMING, SCREWS, ETC., DISTINCTLY LABELED WITH ITEM NUMBER AND DOOR NUMBER FOR EACH OPENING. ALL LOCKS TO BE MASTER KEYED AND TWO COPIES OF ALL KEYS SHALL BE SUPPLIED TO OWNER.

5. INTERIOR DOORS SHALL HAVE APPROVED WALL BUMPERS OR FLOOR STOPS. 6.DOOR VENEERS, EDGES, CORES, WORKMANSHIP, ETC. SHALL CONFORM TO "PREMIUM GRADE", TYPE AL, IN ACCORDANCE WITH THE LATEST EDITION OF "QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK INDUSTRY" PUBLISHED BY THE ARCHITECTURAL WOODWORK INSTITUTE.

7. WOOD DOORS SHALL BE MANUFACTURED BY ONE OF THE FOLLOWING: STANLEY, MORGAN DOOR CO. OR APPROVED EQUAL. DOOR THICKNESS TO BE 1-3/8". COLOR AND STYLE TO BE SELECTED BY OWNER. 8. PROVIDE AND INSTALL ALL DOORS AND RELATED TRIM AS SHOWN IN DRAWINGS. PREPARE ROUGH OPENINGS AND INSTALL UNITS PER MANUFACTURERS REQUIREMENTS. 9.ALL EXTERIOR

OPENINGS SHALL BE PROPERLY FLASHED. PROVIDE COMPLETE WEATHERSTRIPPING OF JAMBS, HEAD AND SILL AT ALL EXTERIOR OPENINGS.





		WIN	dow s	CHEDI	JLE			
NUMBER	VENTING TYPE	MODEL	WIDTH	HEIGHT	HEAD HEIGHT	EGRESS	TEMP	REMARKS
101	FIXED	9090	90"	90''	96"	N	Y	
102	TRANS. OVER CASEMENT	3225 OVER 3265	32"	90''	96"	N	Y	GANGED
103	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90''	96"	N	Y	GANGED
104	(3)TRANS. OVER CASEMENT	3525, 5925 OVER 3565	94" OVER 35"	90''	96"	N	Y	GANGED, SE ELEVATION
105	CASEMENT	3253	32"	53"	96"	N	N	
106	FIXED	4190	41"	90''	96"	N	Y	
201	FIXED	9090	90''	90"	218" ABOVE 1ST FLR	N	Y	
202	TRANS. OVER CASEMENT	3225 OVER 3265	32"	90"	218" ABOVE 1ST FLR	N	N	GANGED
203	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90"	218" ABOVE 1ST FLR	N	N	GANGED
204	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90''	96"	N	Y	GANGED
205	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90''	96"	Y	N	GANGED
206	FIXED	4741	47"	41"	96"	N	Y	WET LOC.
207	CASEMENT	3253	32"	53"	96"	N	Y	
208	TRANS. OVER CASEMENT	3525 OVER 3565	35"	90''	96"	Y	N	GANGED
209	FIXED	4717	47''	17"	96"	N	Y	
210	CASEMENT	2553	25''	53"	96"	N	Y	
211	FIXED	4717	47''	17"	96''	N	Y	
212	TRANS. OVER CASEMENT	3525 OVER 3565	35''	90"	96''	Y	N	GANGED
213	FIXED	4190	41"	90"	218" ABOVE 1ST FLR	N	Y	
301	CASEMENT	(3)3547	105"	47"	96''	N	Y	GANGED
							1	1

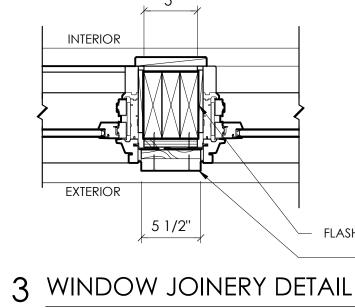
WINDOW NOTES

1. ALL WINDOWS AND GLASS DOORS TO BE PELLA PROLINE SERIES OR EQUAL, CATALOG NUMBER AS INDICATED ON DRAWINGS WITH LOW-E4/LOW-E GLASS. PRIOR TO ORDERING AND FRAMING, CONTRACTOR SHALL VERIFY SPECIFICATION, SIZE, ROUGH OPENING AND LOCATION OF WINDOWS.

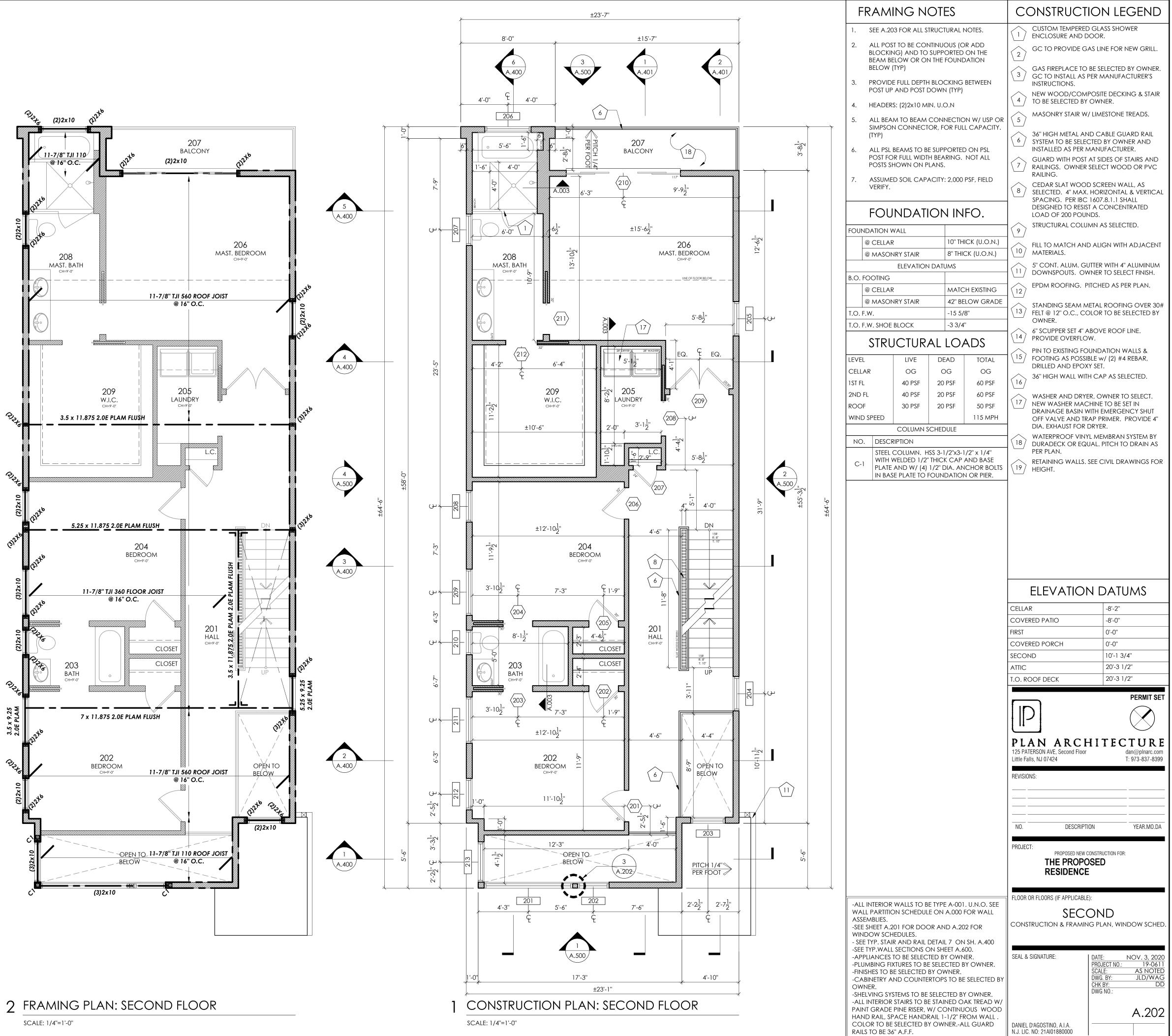
2. IN CONJUNCTION WITH THE OWNER OR OWNER'S INTERIOR DECORATOR, CONTRACTOR SHALL VERIFY FINISHES AND HARDWARE. FOR BIDDING PURPOSES, ASSUME WHITE EXTERIOR, PINE INTERIOR, STANDARD CAM LOCK & KEEPER, CLASSIC SERIES FINGER LIFTS ALL WITH SATIN NICKEL FINISH. WINDOW SCREENS SHALL BE TRUSCENE INSECT SCREENS.

3. WINDOW OPENING LIMITING DEVICES SHALL BE INSTALLED AT WINDOWS WHERE THE WINDOW SILL IS LOCATED GREATER THAN 72" ABOVE THE FINISH GRADE TO THE EXTERIOR AND THE SILL IS LOCATED WITHIN 24" OF THE FINISHED FLOOR THE WINDOW IS LOCATED. WINDOW OPENING LIMITING DEVICES SHALL BE SELF ACTING AND POSITIONED TO PROHIBIT THE FREE PASSAGE OF A 4" DIAMETER RIGID SPHERE. LIMITING DEVICE SHALL BE DESIGNED WITH AN EMERGENCY RELEASE MECHANISM REQUIRING NO MORE THAT 15 POUNDS OF FORCE, OPERATES IN ALL TYPES OF WEATHER, CLEARLY IDENTIFIED AND NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT BELOW CODE MINIMUM.

4. PROVIDE AND INSTALL ALL WINDOWS AND RELATED TRIM AS SHOWN IN DRAWINGS. PREPARE ROUGH OPENINGS AND INSTALL UNITS PER MANUFACTURERS REQUIREMENTS. 5.ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED. PROVIDE COMPLETE WEATHERSTRIPPING OF JAMBS, HEAD AND SILL AT ALL EXTERIOR OPENINGS



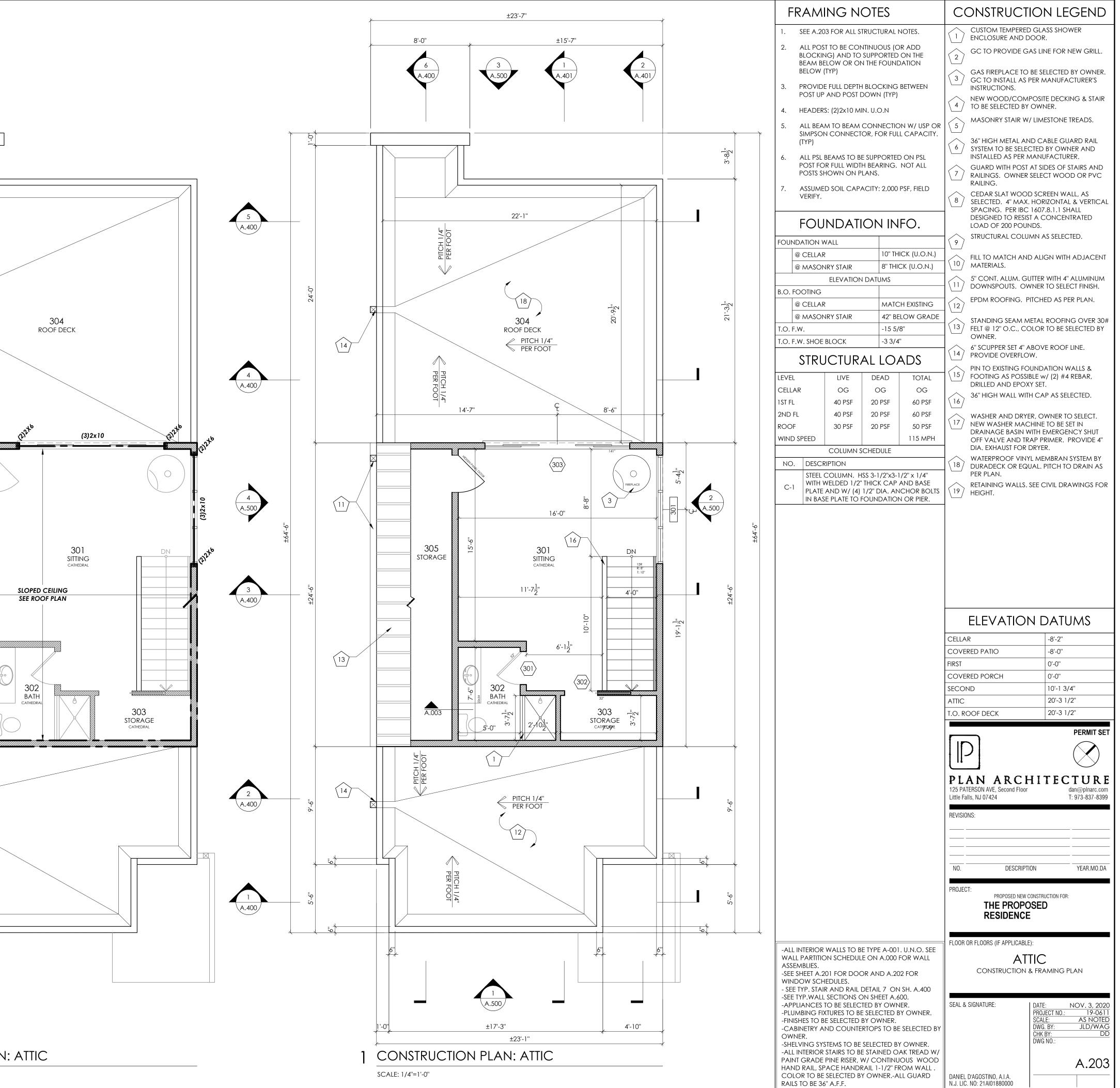
SCALE: 1" = 1'-0"

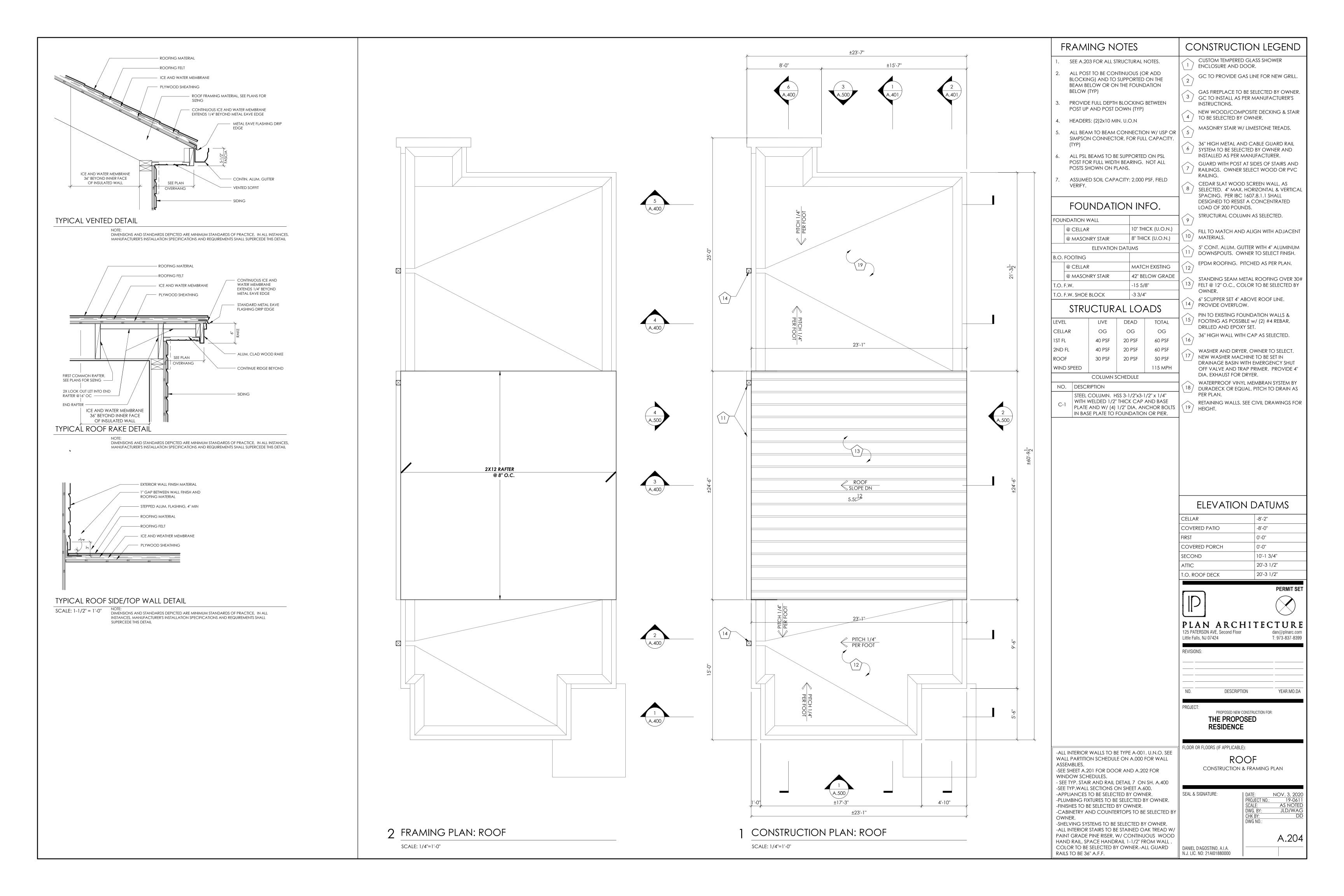


FLASHING TAPE, TYP.

WOOD FRAMING:			
1. ALL FRAMING LUN SPECIFICATION FOR	ABER SHALL BE DOUGLAS FIR NO.2 OR BETTER MEETING THE ALLOWABLE STRESS REQ'S OF THE "NATIONAL DESIGN WOOD CONSTRUCTION", AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION. USE THE CATIONS, UNLESS NOTED OTHERWISE.		
2x6: Fb (SINGLE) = 2x8: Fb (SINGLE) = 2x10: Fb (SINGLE) =	DOUGLAS FIR NO.2 OR BETTER CAPABLE OF DEVELOPING THE FOLLOWING MINIMUM ALLOWABLE STRESSES: 1,350, Fb (REPETITIVE) = 1,552, Ft = 862 psi, Fc LL = 1,552 psi 1,170, Fb (REPETITIVE) = 1,345, Ft = 747 psi, Fc LL = 1,485 psi 1,080, Fb (REPETITIVE) = 1,242, Ft = 690 psi, Fc LL = 1,418 psi = 990, Fb (REPETITIVE) = 1,138, Ft = 632 psi, Fc LL = 1,350 psi = 900, Fb (REPETITIVE) = 1,035, Ft = 575 psi, Fc LL = 1,350 psi		
VL MICROLAM (ML)	OR EQ: E = 2,000 KSI, Fb = 3,000 PSI		
ANTHONY POWER B	EAM (APB) OR EQ: E = 2,100 KSI		/
<u>PSL PARALLAM:</u> E =	2,000 KSI, Fb= 2,900 PSI		
HEADERS:	(2) 2X10 U.N.O.		
JAMBS:	FOR ALL HEADERS LESS THAN (2)2X10, (1)JACK STUD AND (1)FULL HEIGHT STUD SHALL BE PROVIDED, SIZE OF STUD TO BE 2X, TO MATCH WIDTH OF WALL, U.N.O; FOR ALL HEADERS (2)2X10 OR GREATER, (2)JACK STUDS AND (1)FULL HEIGHT STUD SHALL BE PROVIDED, SIZE OF STUD TO BE 2X, TO MATCH WIDTH OF WALL, U.N.O.		/
2. ALL SHEATHING S	HALL BE APA RATED CDX GRADE DOUGLAS FIR PLYWOOD OR BETTER.		
INSTALL ALL ENGINE	LUMBER - TJI'S, ML'S, APB'S & GL'S ETC SHALL BE MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR EQUAL. ERED LUMBER PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE BRIDGING BETWEEN ALL FLOOR JOISTS AT <u><</u> SHOULD BE 2X8 OR LARGER CROSS BRACING. PARALLAM BEAMS SHALL BE KEPT DRY THROUGH DURATION OF		
9-1/2" AND 11-	BE PURCHASED FOR THE FULL WIDTH SPECIFIED ON DRAWINGS OR BE FASTENED TOGETHER AS FOLLOWS: 7/8" MEMBERS - 2 ROWS OF 16D NAILS AT 12" O.C. STAGGERED TOP AND BOTTOM. 5MBERS - 3 ROWS OF 16D NAILS AT 12" O.C., STAGGERED TOP AND BOTTOM.		
	G PLATES AND ANCHOR BOLTS, STUDS, OR WALL ANCHORS FOR ALL WALL BEARING BEAMS.		
NATIONAL DESIGN S NSTITUTE OF TIMBER	D FASTENING OF ALL WOOD MEMBERS SHALL MEET THE LATEST STANDARDS OF THE RESIDENTIAL IBC OF NJ., THE PECIFICATION FOR WOOD CONSTRUCTION, THE AMERICAN PLYWOOD ASSOCIATION AND THE AMERICAN CONSTRUCTION. JOIST HANGERS SHALL BE MANUFACTURED BY "SIMPSON" OR EQUAL AND INSTALLED PER ECOMMENDATIONS. ALL CONNECTIONS ARE TO BE MADE WITH FRAMING ANGLES.		
7. PROVIDE DOUBLE	MEMBERS AROUND OPENINGS MORE THAN 16" WIDE.		
	NUM OF TWO MEMBERS UNDER ALL PARALLEL PARTITIONS.		
P. PROVIDE TEMPOR TIMES.	ARY AND PERMANENT BRACING FOR FRAMING, INCLUDING TRUSSES, TO HOLD IT SECURELY IN POSITION AT ALL		
0. USE SIMPSON TO	P MOUNTED HANGERS FOR ALL WOOD APPLICATIONS.		
	NCHORS AND FASTENERS ARE TO BE MANUFACTURED BY THE HILTI CORPORATION OR APPROVED EQUAL, AND PER THE MANUFACTURER'S SPECIFICATIONS, INCLUDING TORQUE, EMBEDMENT, LENGTH, ETC.	\boxtimes	
2. LAP AND SPIKE E AND JOISTS PARALLI	NDS OF RAFTERS OR JOISTS. ANCHOR ALL FRAMING TO WALLS NOT MORE THAN 4'-0''O.C., INCLUDING RAFTERS EL TO WALLS.		
EXCEEDING .4 TIMES	ARING WALLS NOT FACED WITH PLYWOOD SHALL BE BRACED WITH SOLID BLOCKING AT INTERVALS NOT THE LENGTH OF THE STUD FOR 2X4 STUDS AND .25 TIMES THE LENGTH OF THE STUD FOR 2X6 STUDS. ALL WOOD INTINUOUS FROM FLOOR TO CEILING.		
14. ALL BUILT-UP CO CONSTRUCTION'' SE	LUMNS MUST BE NAILED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CTION 15.3.3.		305
APPLIED TO THE OUT	RS SHALL BE SECURED TO BEARING POINTS W/ 1-SIMPSON H2 SEISMIC AND HURRICANE ANCHORS PER RAFTER, SIDE FACE OF WALL. ALL CONVENTIONALLY FRAMED ROOFS ARE TO HAVE 2X6 COLLAR TIES AT 32" O.C. PLACED INCE DOWN FROM THE RIDGE.		STORAGE
MAX. OF 6 FEET ON (ENDS OF EACH PLAT	ES ARE TO BE ANCHORED TO THE FOUNDATION WALL USING 1/2" DIA. X 18" LONG ANCHOR BOLTS SPACED AT A CENTER, UNLESS NOTED OTHERWISE ON DRAWINGS. ANCHOR BOLTS ARE TO BE LOCATED WITHIN 12" FROM THE E SECTION, INCLUDING ALL OPENINGS. PROVIDE SIMPSON TITAN HD BOLTS WHERE EMBEDDED ANCHORS DO E CRITERIA OR TO REPLACE MISALIGNED EMBEDDED ANCHORS.		
R602.3(1) IRC) OR AI	MING MUST BE FASTENED IN ACCORDANCE TO THE FASTENER SCHEDULE FOR STRUCTURAL MEMBERS }(TABLE PA WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM) NAILING), WHICHEVER IS MORE RESTRICTIVE.		
IMITED TO, HURRICA	IUST PROVIDE CONTINUOUS LOAD PATH FROM THE RAFTERS DOWN TO THE FOUNDATION INCLUDING, BUT NOT INE TIES FROM RAFTER TO STUDS, SIMPSON MST STRAPS FOR FLOOR-TO-FLOOR TIES AND A MINIMUM OF 1/2" PANEL SHEATHING NAILED ON THE EXTERIOR OF THE WOOD STUDS AND SILL PLATE.		
SURFACES.	LOCATE FOUNDATION WALL AS NECESSARY FOR ALIGNMENT OF NEW AND EXISTING FINISHED EXTERIOR		
	ATION WALLS TO BE 12" THICK ON 24"W X 12"D SPREAD FOOTINGS, UNLESS OTHERWISE NOTED.		
D. TIE AND KE	Y ALL NEW FOUNDATIONS AND FOOTINGS TO EXISTING FOUNDATION WALLS. WHERE NECESSARY, STEP DOWN TO ING @ 1:2, RISE:RUN. TIE AND KEY AS NC. USING #4 REBAR X 2'-0'' @ 16'' O.C. VERT. DRILLED INTO EXISTING		
	TION WALL SILL, PROVIDE 1/2"x18" HEADED ANCHOR BOLTS @ 6'-0" O.C. TO 1'-0" FROM EACH CORNER AND MIN. ET SILL LEVEL AND SECURE TO TOP OF FOUNDATION WALL ON BED OF SEALANT OR INSULATION.		
OUNDATION SILL. F DEEP MIN. U.N.O.	4X4 POSTS OR LARGER, PROVIDE SOLID ENGINEERED ML LUMBER BLOCKING BETWEEN BOTTOM OF POST AND ILL CELLS OF CMU WALLS WITH SOLID 3000 PSI CONCRETE GROUT, 12" EACH SIDE OF POST CENTERLINE AND 3'-0"		
and notify archit 20. <u>basement slab</u>			7
2,000 PSF) SEPARATI	0 PSI) W/ 2.1x2.1x6x6WWF ON 6 MIL. VAPOR BARRIER ON 6" COMPACTED GRAVEL BASE ON UNDISTURBED SOIL E SLAB FROM END WALL W/ 1/2" FIBER FORM BOARD AND SEALANT.		
21. <u>CRAWL SPACE N</u> A. PROVIDE 2'' SLUSI	<u>OTES:</u> 1 COAT OVER 6 MIL VAPOR BARRIER OVER 6'' GRAVEL BASE.		
B. PROVIDE 2'-0'' HIC	SH BY 3'-0" WIDE OPENINGS TO CRAWL SPACE, WITH WOOD PANEL ACCESS COVER WHERE INDICATED.		
	GID FOIL FACE INSULATION IN CEILING IN CRAWL SPACES, STAPLED BETWEEN JOISTS, FOIL-FACE UP.		

2 FRAMING PLAN: ATTIC SCALE: 1/4"=1'-0"





ELECTRICAL NOTES

1. G.C. TO INCLUDE ALL LABOR AND MATERIAL FOR LIGHT FIXTURES SPECIFIED, U.N.O.

2. GC. TO REVIEW & VERIFY ALL LOCATIONS OF PHONE JACKS AND CATV. PORTS WITH OWNER PRIOR TO ROUGHING. VERIFY THAT ALL PHONE AND CABLE JACKS ARE IN WORKING CONDITION.

3. ALL FIXTURES TO BE LIGHTOLIER, U.N.O. ALL SWITCHES, JACKS AND OUTLET PLATES, ETC. TO BE LUTRON U.N.O. SEE SPECIFICATIONS.

4. FOR FIXTURES WITH MANUFACTURER LISTED AS "BY OWNER," GC IS TO PROVIDE LABOR AND MATERIALS REQUIRED FOR INSTALLATION ONLY. OWNER OR OTHERS SHALL PROVIDE THESE FIXTURES.

5. EXISTING ELECTRICAL PANEL TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ADEQUACY AND REPLACE OR UPGRADE AS REQUIRED.

6. GFI OUTLETS TO BE INSTALLED AS REQUIRED BY CODE, EVEN IF NOT INDICATED ON PLANS. AREAS REQUIRING GFI OUTLETS ARE AS FOLLOWS: 1. BATHROOM RECEPTACLES

- 2. RESIDENTIAL GARAGE DISPOSAL RECEPTACLES
- OUTDOOR RECEPTACLES
 RECEPTACLES IN UNFINISHED BASEMENTS & CRAWL SPACES
- 6. RECEPTACLES WITHIN SIX FEET OF A SHOWER, TUB, KITCHEN OR BAR SINK.
- 7. RECEPTACLES IN LAUNDRY AREAS

7. ELECTRICAL CONTRACTOR TO COORDINATE NEW CIRCUIT LAYOUT WITH LAYOUT OF EXISTING ELEC. PANEL.

8. ALL WORK MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE AND THE N.J. UNIFORM STATE CODE AND THE PROVISION OF THE NFPA 70, CHAPTER 35.

9. CONTRACTOR TO FURNISH AND INSTALL BOXES, FITTING, DEVICES AND MANUFACTURER ACCESSORIES, ADAPTERS AND ALL OTHER MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION.

10. ALL MATERIALS REQUIRED FOR THE JOB MUST BE UL LISTED.

11. CONTRACTOR TO VERIFY ADEQUACY OF EXISTING SERVICE AND REPLACE AS REQUIRED.

12. WHERE MORE THAN ONE SWITCH OCCURS AT IN THE SAME LOCATION, G.C. TO INSTALL SWITCHES IN GANG TYP BOX UNDER A SINGLE COVER PLATE.

13. CONSULT WITH CONTRACTORS FURNISHING HVAC EQUIPMENT TO VERIFY LOADS AND SECURE.

14. VERIFY FINAL LOCATION OF TELEPHONE AND CABLE HOOKUPS WITH OWNER PRIOR TO COMMENCING WORK.

15. MAKE ALL FINAL CONNECTIONS TO ALL CONTROLS, OWNER SUPPLIED EQUIPMENT, MECHANICAL AND PLUMBING EQUIPMENT AS REQUIRED.

16. SHOWER LIGHT FIXTURES MUST BE LABELED APPROVED FOR WET LOCATION USE.

17. 50% OF ALL LIGHT FIXTURES MUST BE ENERGY EFFICIENT.

18. FIXTURES IN CLOSETS TO BE SHATTER-PROOF, TYP.

19. ELECTRICAL CONTRACTOR TO PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER (AFCI) OUTLETS IN ALL ROOMS

EXCEPT BATHROOMS, UNFINISHED BASEMENTS, GARAGES, AND OUTDOORS. PROTECTION CAN COME

FROM WITHER AN AFCI BREAKER OR AN AFCI RECEPTACLE INSTALLED IN THE FIRST OUTLET BOX ON A BRANCH CIRCUIT.

20. EACH VEHICLE SPACE IN GARAGE TO HAVE (1) GFCI-PROTECTED RECEPTACLE. ALL CIRCUITS SERVING RECEPTACLES IN THE GARAGE CAN SERVE NO OTHER INDOOR OR OUTDOOR LOCATIONS.

21. ALL SWITCH LOCATIONS ARE REQUIRED TO HAVE A NEUTRAL (GROUNDED CONDUCTOR) IN THE BOX.

SMOKE DETECTOR AND CARBON MONOXIDE ALARM COMPLIANCE

1. IN BUILDINGS OF USE GROUP R-3, R-4, AND R-5 AND IN DWELLING UNITS OF USE GROUP R-2, SMOKE DETECTORS TO BE PRESENT ON EACH LEVEL OF THE RESIDENCE AND LOCATED IN ACCORDANCE WITH NFPA 72. SMOKE DETECTORS SHOULD BE OUTSIDE EACH SEPARATE SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS AND LOCATED ON OR NEAR THE CEILING. CARBON MONOXIDE ALARMS TO BE PRESENT OUTSIDE EACH SEPARATE SLEEPING AREA AND INSTALLED PER NFPA 720. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

2. ALL DEVICES ARE TO BE SIEMENS.

3. PROVIDE INTERCONNECTED SMOKE DETECTORS & CARBON MONOXIDE WITH EMERGENCY BATTERY BACK-UP AS INDICATED ON PLANS AND/OR REQUIRED BY CODE.

4. SMOKE DETECTOR ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS EVEN IF NOT SHOWN ON DRAWINGS:

- a. ONE IN THE BASEMENTb. ONE IN THE COMMON AREA OF THE FIRST FLOOR
- c. ONE IN THE COMMON AREA OF THE SECOND FLOOR

5. CARBON MONOXIDE ALARMS ARE TO BE PROVIDED IN THE IMMEDIATE VICINITY OF ALL SLEEPING ROOMS IN BUILDINGS, CLASSIFIED UNDER USE GROUPS AS i-1, R-1, R-2, R-3, R-4 AND R-5 WHICH CONTAIN FUEL BURNING APPLIANCES OR HAVE ATTACHED GARAGES.

6. HEAT DETECTORS ARE TO BE PROVIDED IN THE VICINITY OF MECHANICAL EQUIPMENT ROOMS.

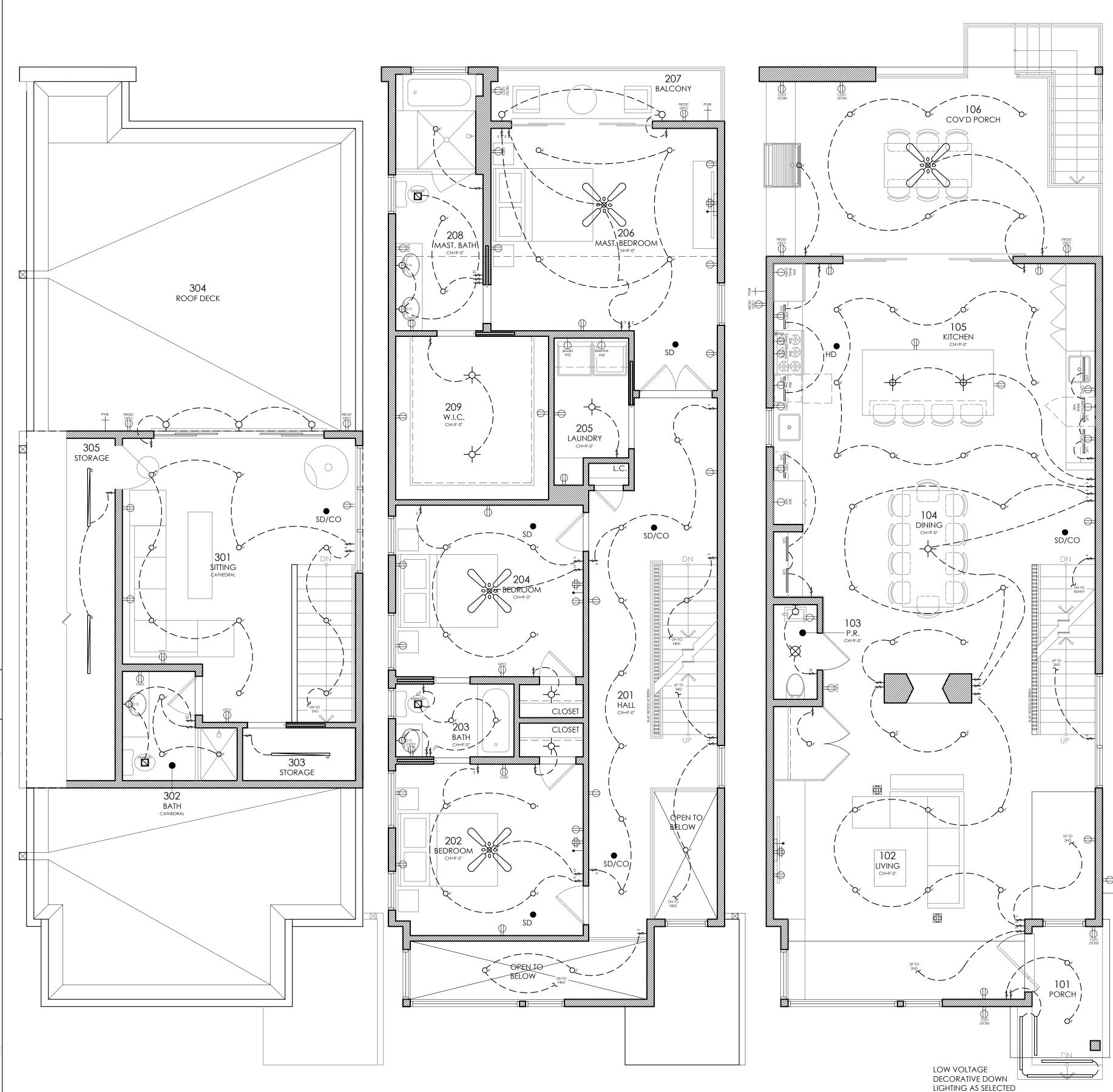
7. 5:23-6.23 ADDITIONS

(f) WHENEVER AN ADDITION IS MADE TO A DETACHED SINGLE FAMILY DWELLING OF GROUP R-3 OR R-5, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

1. IF THE CUMULATIVE AREA OF ALL FLOORS OR THE ADDITION(S) IS 25 PERCENT OR MORE OF THE FLOOR AREA OF THE LARGEST FLOOR OF THE EXISTING BUILDING, SMOKE ALARMS SHALL BE INSTALLED THROUGHOUT THE ADDITION AND THE EXISTING BUILDING.

2. IF THE CUMULATIVE AREA OF ALL FLOORS OF THE ADDITION(S) IS FIVE PERCENT OR MORE, BUT LESS THAN 25 PERCENT, OF THE FLOOR AREA OF THE LARGEST FLOOR OF THE EXISTING BUILDING, HARDWIRED,

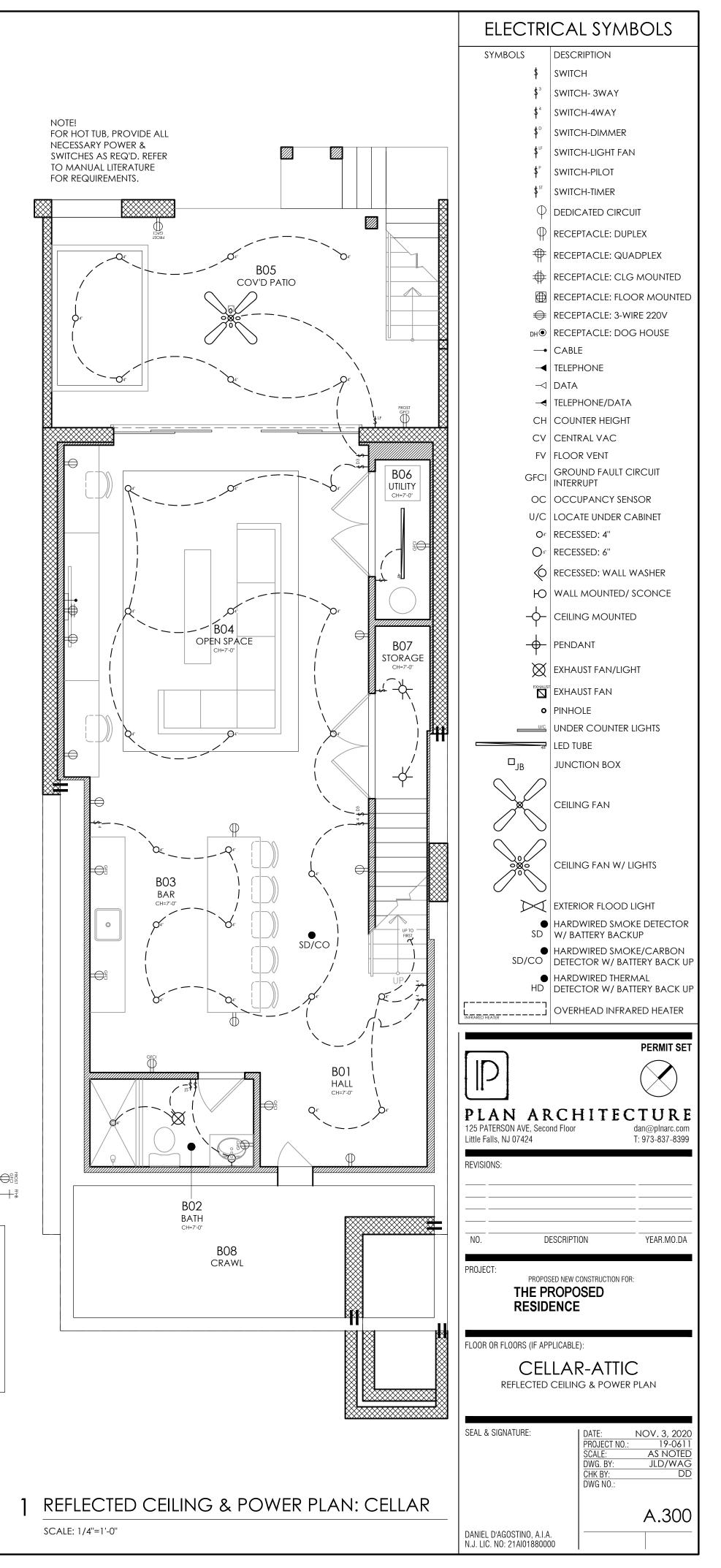
INTERCONNECTED SMOKE ALARMS WITH BATTERY BACK-UP MEETING THE REQUIREMENTS OF NFPA 72 SHALL BE INSTALLED AND MAINTAINED IN EACH STORY IN THE DWELLING UNIT, INCLUDING BASEMENTS.

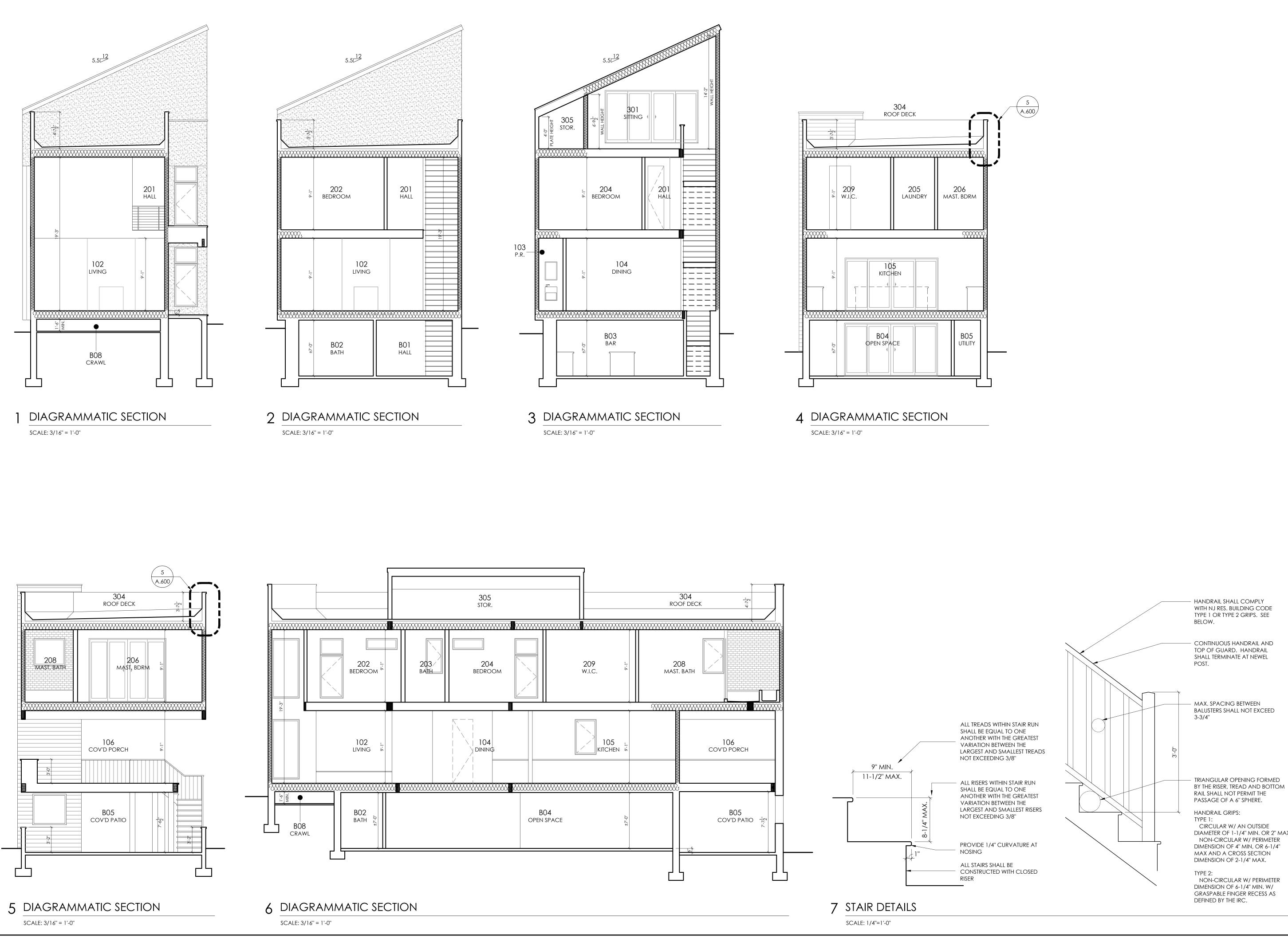


4 REFLECTED CEILING & POWER PLAN: ATTIC

3 REFLECTED CEILING & POWER PLAN: SECOND SCALE: 1/4"=1'-0"

2 REFLECTED CEILING & POWER PLAN:FIRST SCALE: 1/4"=1'-0"





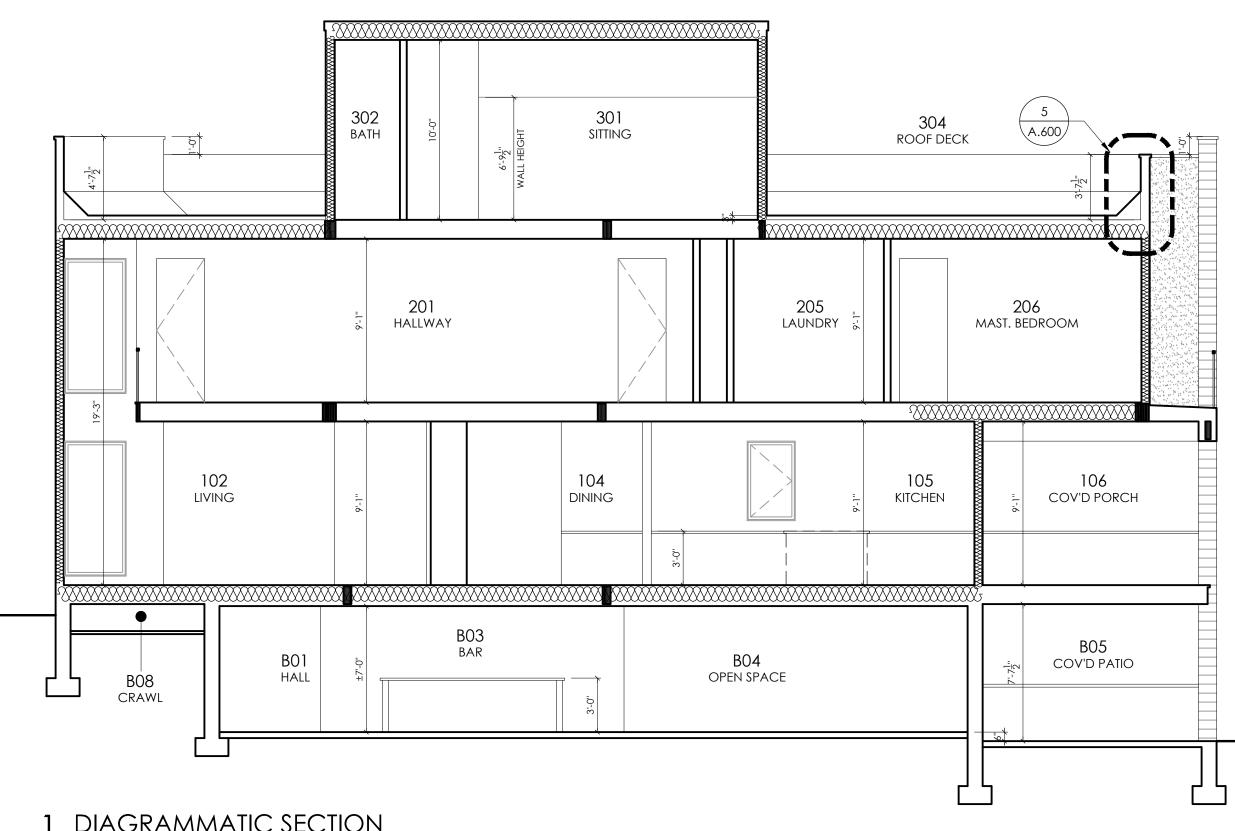


CIRCULAR W/ AN OUTSIDE DIAMETER OF 1-1/4" MIN. OR 2" MAX. NON-CIRCULAR W/ PERIMETER DIMENSION OF 4" MIN, OR 6-1/4" MAX AND A CROSS SECTION DIMENSION OF 2-1/4" MAX.

NON-CIRCULAR W/ PERIMETER DIMENSION OF 6-1/4" MIN. W/ GRASPABLE FINGER RECESS AS

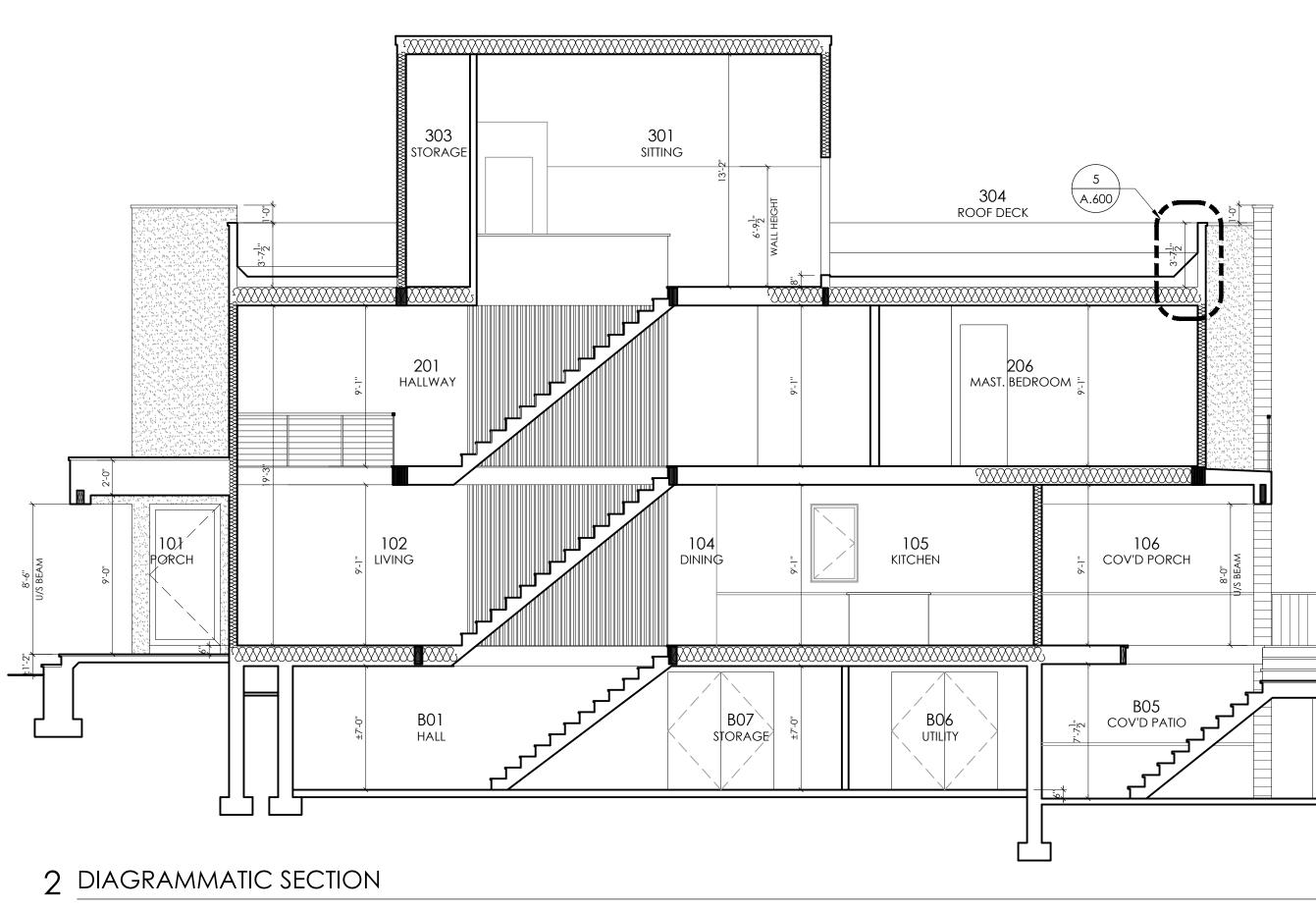
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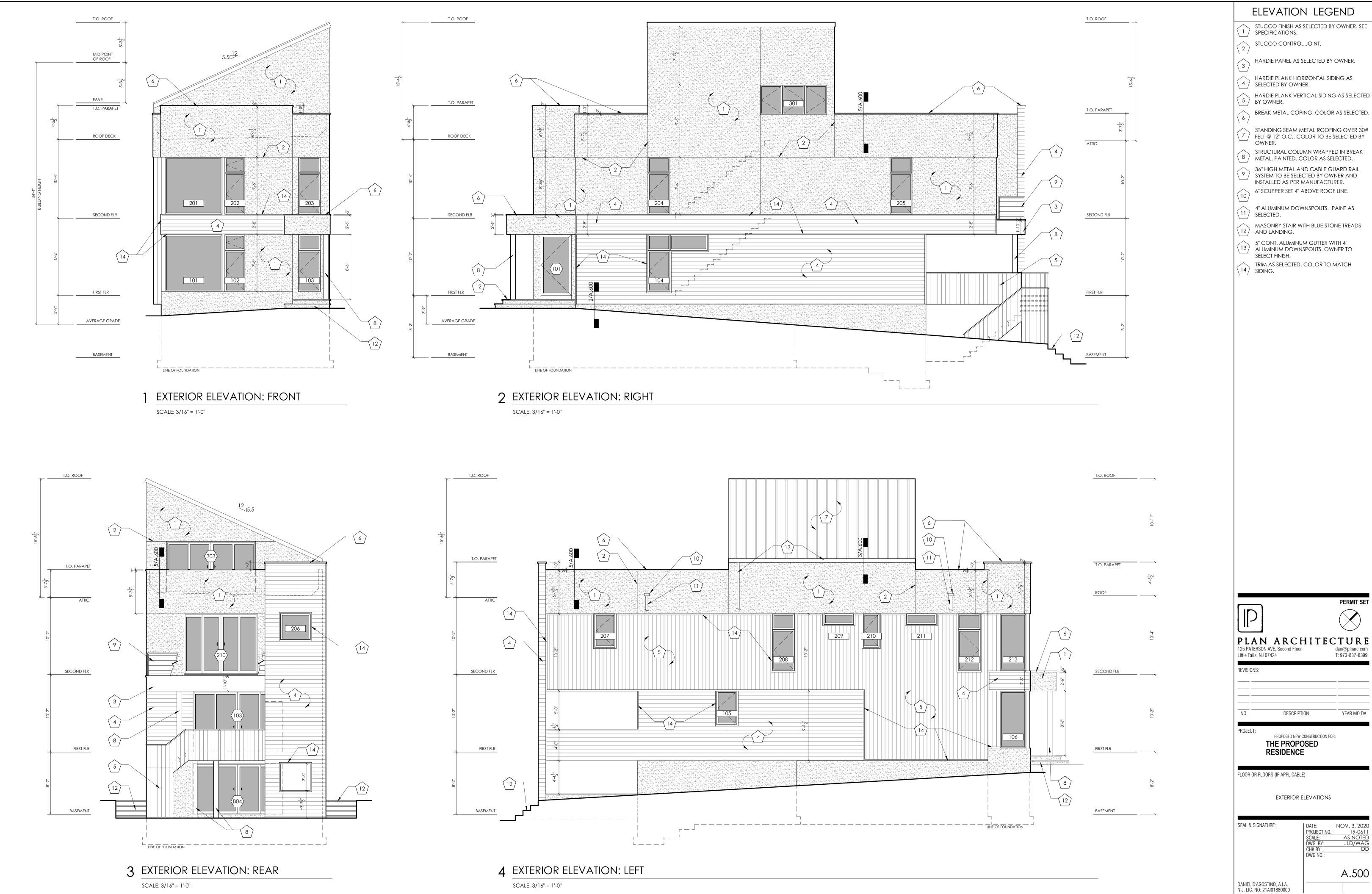
DIAGRAMMATIC SECTION

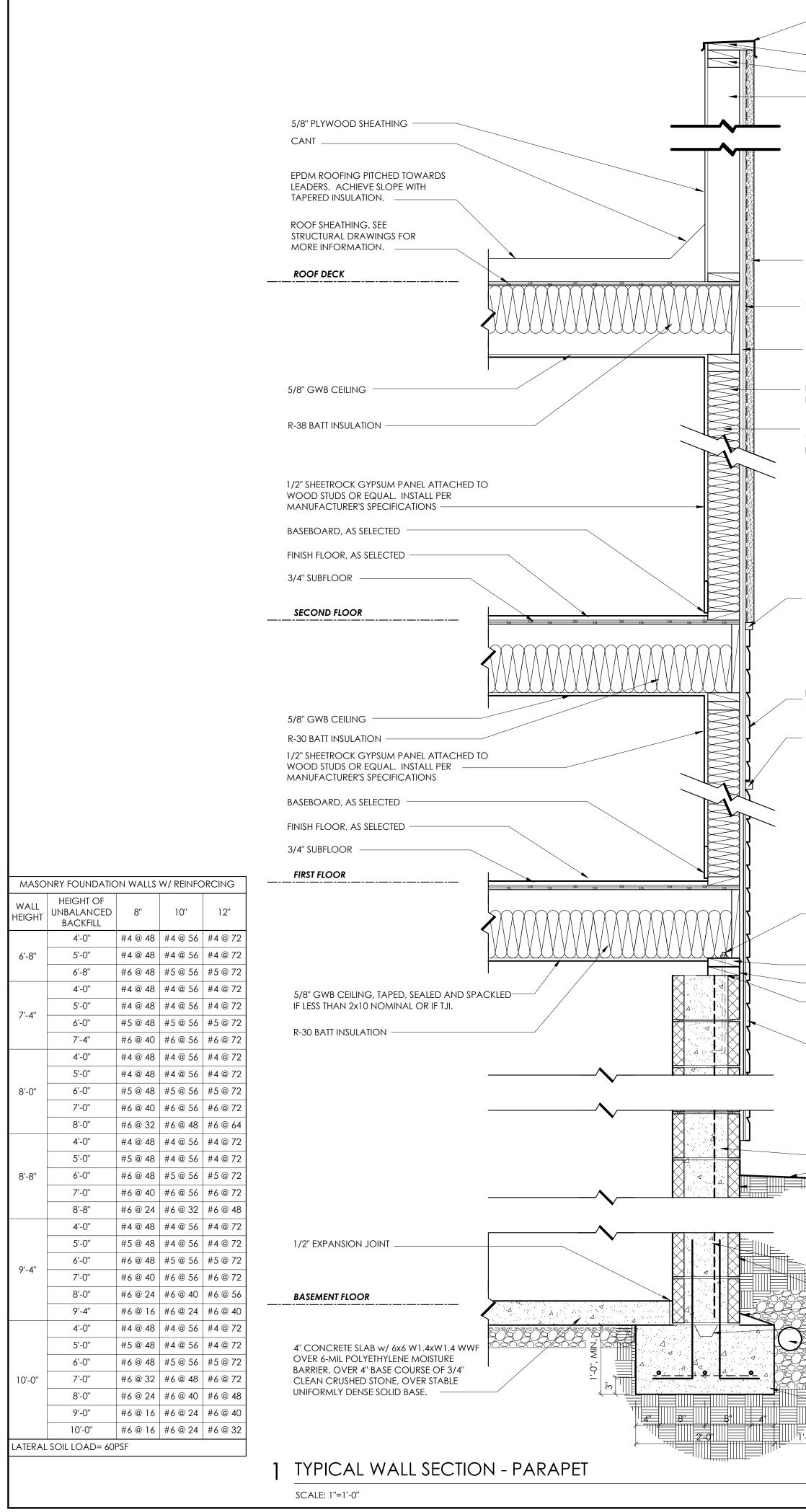
SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"

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BREAK METAL CAP TO BE PAINTED TO MATCH STUCCO.

BLOCKING AS REQUIRED. (2)2x6 TOP PLATE

2X6 DOUG. FIR NO. 2 WOOD WALL STUD, 16" OC. TOE NAIL STUD TO SOLE PLATE USING 2 16D FASTENERS

STUCCO, COLOR AS SELECTED.

TYVECK WEATHER BARRIER

- 1/2" PLYWOOD SHEATHING.

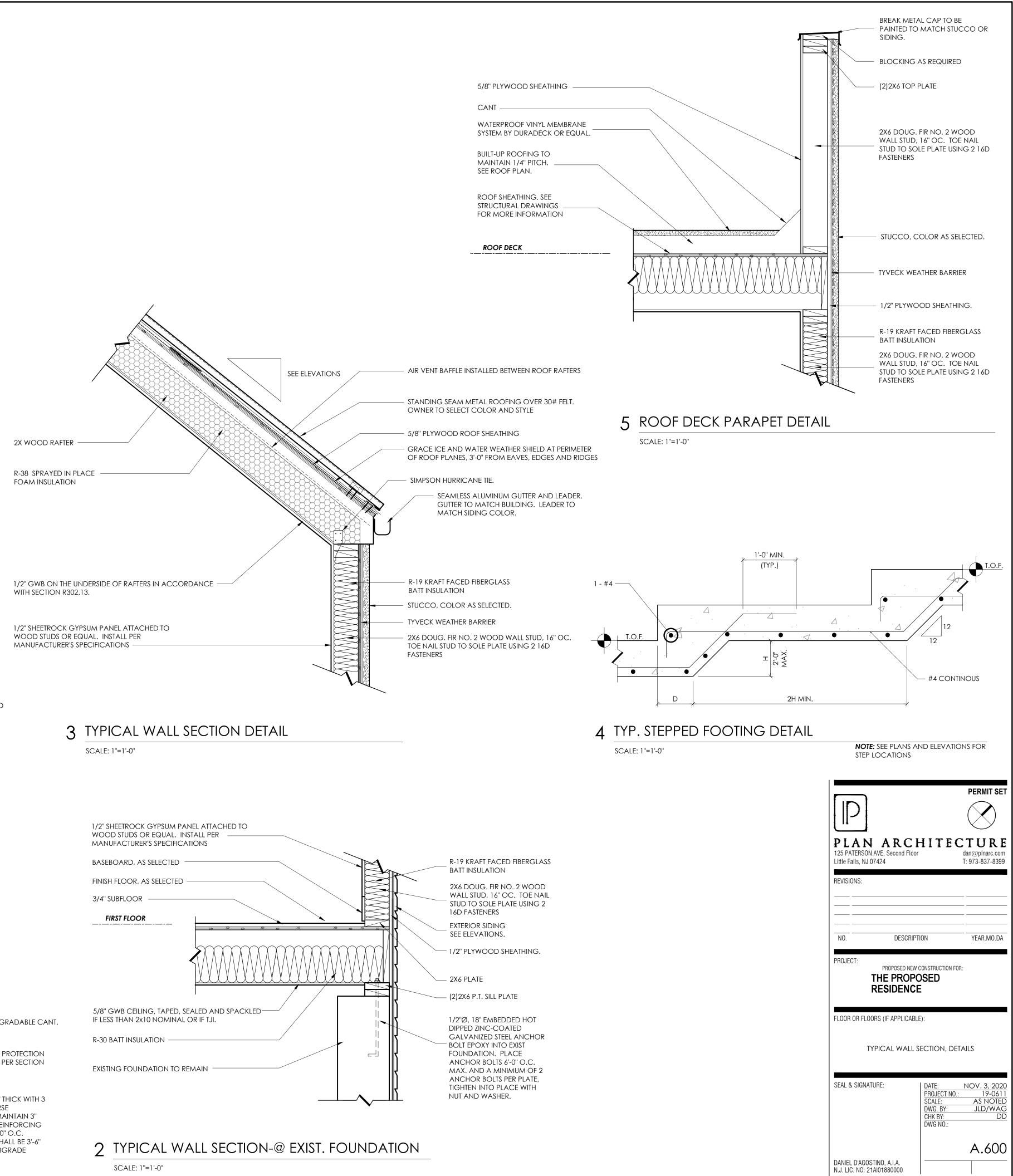
R-19 KRAFT FACED FIBERGLASS **BATT INSULATION**

2X6 DOUG. FIR NO. 2 WOOD WALL STUD, 16" OC. TOE NAIL STUD TO SOLE PLATE USING 2 16D FASTENERS

1-1/4" TRIM BY VERSATEX - COLOR TO MATCH HARDIE SIDING

HARDIE PLANK HORIZONTAL SIDING AS SELECTED.

1-1/4" TRIM BY VERSATEX - COLOR TO MATCH HARDIE Siding



1/2"Ø, 18" EMBEDDED HOT DIPPED ZINC-COATED GALVANIZED STEEL ANCHOR BOLT INTO GROUTED CMU CELL. PLACE ANCHOR BOLTS 6'-0'' O.C. MAX. AND A MINIMUM OF 2 ANCHOR BOLTS PER PLATE, TIGHTEN INTO PLACE WITH NUT AND

PRESSURE TREATED (2)2x6 SILL PLATE TYPICAL. TERMITE SHIELD

SILL SEALER

WASHER.

HARDIE PLANK HORIZONTAL SIDING AS SELECTED.

#4 BARS @12 HORIZONTAL @ CENTER. FINISH GRADE 1/2" CEMENT PARGING WITH 2 COATS BITUMINOUS WATERPROOFING BELOW GRADE

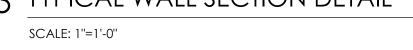
#4 BARS @12 VERTICAL @ CENTER.

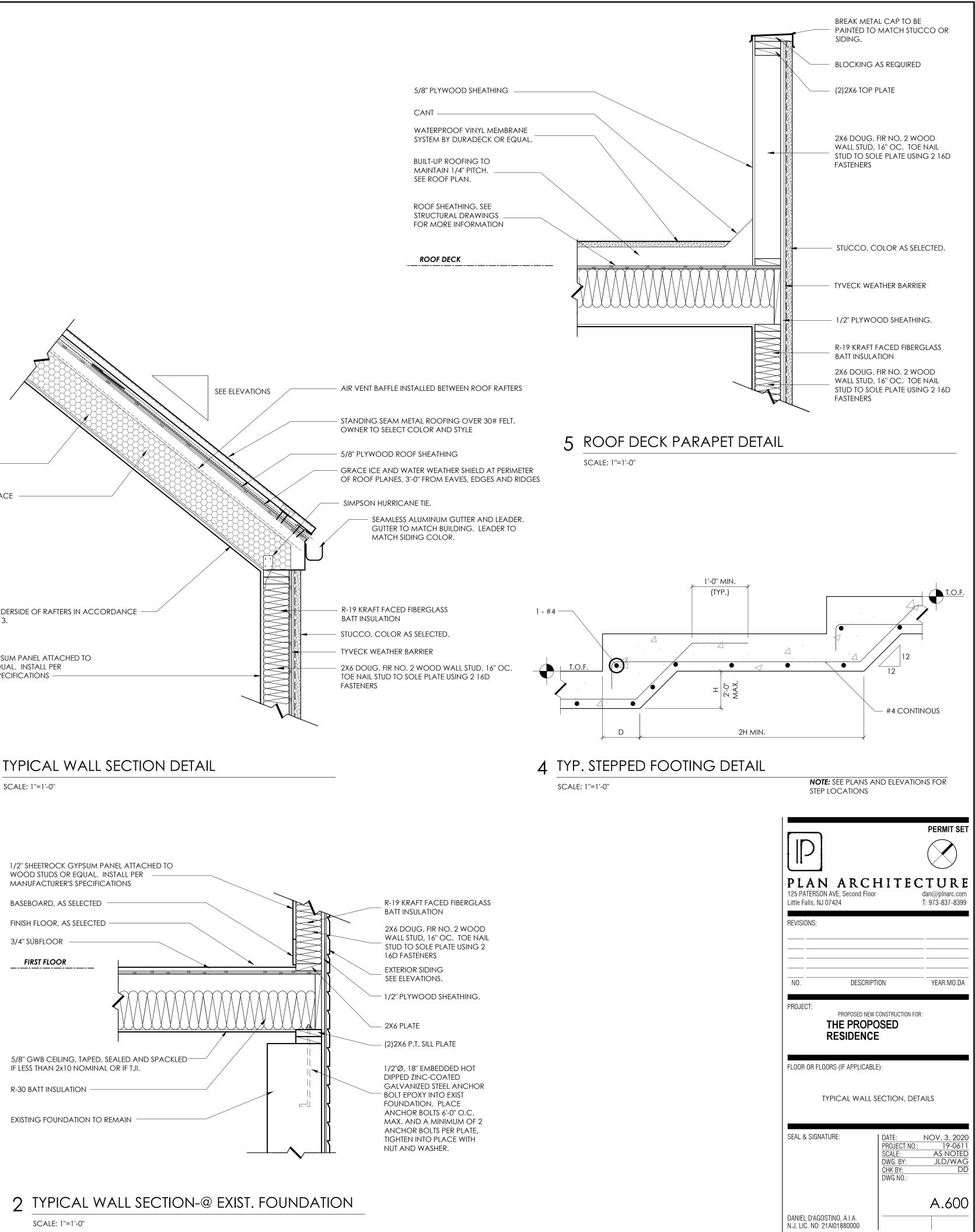
10" POURED CONCRETE FOUNDATION WALL. SLOPE WITH MORTAR OR USE A NON BIO-DEGRADABLE CANT.

CONCRETE FOOTING KEY

4" DIA. PERFORATED PIPE WITH FILTER FABRIC PROTECTION AND 6" COVER OF 3/4" GRAVEL. INSTALL AS PER SECTION R406.4.2.

3,500 PSI CONCRETE FOOTING, 12" HIGH, 24" THICK WITH 3 #5 CONTINUOUS REBAR, PROVIDE TRANSVERSE REINFORCEMENT WITH #5 REBARS, 8" O.C. MAINTAIN 3" COVER FROM BASE OF CONCRETE TO ALL REINFORCING STEEL. PROVIDE #4 VERTICAL DOWELS AT 2'-0" O.C. (ALTERNATE HOOK). BOTTOM OF FOOTING SHALL BE 3'-6" MIN. BELOW GRADE OVER COMPACTED SUBGRADE





SPECIFICATIONS

SITE IMPROVEMENTS

PROVIDE ALL CONCRETE SIDEWALKS, PAVERS, CURBS, STEPS, RETAINING WALLS, ASPHALT PAVING, SITE DRAINING SYSTEM, ETC. AS MAY BE REQUIRED BY THE SCOPE OF THIS PROJECT.

GRAVEL BASE SHALL BE INSTALLED AFTER FINAL GRADING OF THE SITE OVER STABILIZED SOIL AFTER INSTALLATION OF SITE DRAINAGE SYSTEM AND CURBS.

FINAL GRADING OF GRAVEL BASE SHOULD ALLOW FOR PROPER SITE DRAINAGE. GRAVEL BASE SHOULD BE COMPACTED AND ALLOWED TO SETTLE BEFORE APPLYING BINDER COURSE. BINDER COURSE SHALL BE INSTALLED AS SOON AS GRAVEL BASE HAS STABILIZED AND ALL CONSTRUCTION OR USE OF HEAVY MACHINERY THAT COULD DAMAGE PAVING SURFACE IS COMPLETE. FINAL WEARING COURSE SHALL BE APPLIED AT THE END OF THE CONSTRUCTION TO INSURE THAT THERE IS NOT DAMAGE TO THE FINAL SURFACE.

EXCAVATING, FILLING AND GRADING

PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE ALL EXCAVATING, BACKFILL AND GRADING WORK AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN.

EXCAVATE TO LEVELS SHOWN OR AS REQUIRED TO REACH REQUIRED BEARING SOIL FOR ALL FOOTINGS, FOUNDATIONS, COLUMNS, WALLS, PIERS, PITS, ETC.. CARE SHALL BE TAKEN NOT TO DISTURB EARTH OR EXCAVATE BELOW DEPTHS INDICATED ON THE DRAWINGS. EXCAVATION SHALL EXTEND A SUFFICIENT DISTANCE FROM WALLS AND FOOTINGS TO ALLOW FOR FORMS, INSTALLATION OF SERVICES AND FOR INSPECTION. PROTECT ALL EXCAVATIONS FROM FREEZING. IF EXCAVATION WORK IS PERFORMED DURING COLD WEATHER, THE BOTTOM OF EXCAVATION SHALL BE COVERED OR OTHERWISE KEPT FREE OF FROST UNTIL CONCRETE IS POURED.

THE CONTRACTOR SHALL PROVIDE AND OPERATE ALL PUMPS AND OTHER EQUIPMENT NECESSARY TO DRAIN AND KEEP ALL EXCAVATIONS REASONABLY FREE FROM WATER.

AFTER APPROVAL OF FOUNDATIONS AND OTHER WORK, BACKFILL AGAINST SAME USING APPROVED EXCAVATED MATERIALS, FREE FROM RUBBISH, VEGETABLE MATTER AND OTHER OBJECTIONABLE MATTER. INSTALL BACKFILL IN LAYERS NOT MORE THAN 6" THICK, TAMPING EACH LAYER BEFORE INSTALLING SUCCEEDING LAYER. BRING BACKFILL TO PROPER ELEVATIONS TO RECEIVE WORK WHICH IS TO BE INSTALLED THEREON.

REMOVE TOP SOIL TO ITS FULL DEPTH WITHIN THE AREA OF THE "EXTENT OF WORK" AND UNDER ALL PROPOSED WALKS, DRIVES, SIFTING AREAS, ETC., AND STACK CAREFULLY IN LOCATION WHERE DIRECTED ON SITE.

ALL OUTSIDE AREAS OF THE BUILDING, UNLESS OTHERWISE INDICATED, WITHIN THE GRADING LINES SHALL BE GRADED TO ELEVATIONS BELOW THE FINISH GRADES SHOWN, TO ALLOW FOR FILL AND FINISHED MATERIALS. ALL GRADING MUST AVOID LEAVING PONDS OR LARGE COLLECTIONS OF WATER.

SOIL AND COMPACTION

ALL FILL SHALL BE COMPACTED LAYER BY LAYER TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY WHEN TESTED IN ACCORDANCE WITH ASTM D1557

CONCRETE AND MASONRY WORK

PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE ALL CONCRETE AND MASONRY WORK AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN FOR ALL COLUMNS, PIER AND WALL FOOTINGS, REINFORCED CONCRETE FOUNDATION WALLS AND/OR CONCRETE BLOCK WALLS, CONCRETE FLOOR SLABS ON GRADE INCLUDING 2" SCREED COAT IN CRAWL SPACE AREAS, CONCRETE PLATFORMS AND STEPS, CONCRETE SIDEWALKS AND CURBS, ALL FORMS AND REINFORCING REQUIRED, ALL EXTERIOR AND INTERIOR MASONRY WALLS AND PARTITIONS, ALL ANCHOR BOLTS, ALL TIES, REINFORCING, AND ANCHORS REQUIRED FOR SECURING ALL MASONRY WORK TOGETHER, SETTING LOOSE STEEL LINTELS, GRAVEL BASE AND VAPOR BARRIER UNDER CONCRETE SLABS, PRE-CAST CONCRETE SILLS WHERE REQUIRED, POINTING AND CLEANING DOWN ALL MASONRY WORK EXPOSED TO VIEW, DAMP PROOFING CONCRETE WALLS BELOW GRADE, AND ALL OTHER LABOR AND MATERIALS AS MAY BE REASONABLY INFERRED AS NEEDED TO MAKE THE WORK UNDER THIS SECTION COMPLETE.

INCORPORATE EXISTING FOUNDATION WALLS, FOOTINGS, SLABS, ETC. INTO NEW CONSTRUCTION AS SHOWN IN DRAWINGS AND AS SPECIFIED HERE, AND MAKE ALL NECESSARY REPAIRS TO THE EXISTING FOUNDATION SYSTEM.

ALL CONCRETE WORK SHALL CONFORM TO THE LATEST ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318). ALL CONCRETE BLOCK, LOAD-BEARING UNITS AND OTHERWISE, SHALL CONFORM TO THE CURRENT EDITION OF THE ASTM SPECIFICATIONS FOR CONCRETE UNITS, DESIGNATION C-90.

PREMOLDED JOINT FILLERS USED WHEREVER EDGES OF CONCRETE SLABS ABUT A VERTICAL SURFACE SHALL BE RIGID NON-EXPANDING APPROVED PRE-MOLDED ASPHALT IMPREGNATED FIBERBOARD, 1/2" THICK.

PRECAST CONCRETE SILLS AND WATER TABLE SHALL BE MADE WITH WHITE CEMENT AND WHITE SAND. ALL WORK SHALL BE REINFORCED WITH STEEL RODS IN ACCORDANCE WITH STANDARD PRACTICE. SIZES AND SHAPES ARE TO BE AS SHOWN ON DRAWINGS, IF REQUIRED ON DRAWINGS.

VAPOR BARRIER UNDER SLABS ON GRADE SHALL BE POLYETHYLENE 6 MILS OR APPROVED EQUAL. GRAVEL FOR POROUS FILL SHALL BE CLEAN AND WELL GRADED.

CONCRETE MIX SHALL BE DESIGNED TO SECURE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI ALL IN ACCORDANCE WITH THE PROCEDURE SET FORTH BY THE ASTM. THE CONSISTENCY OF THE MIX SHALL BE THAT REQUIRED FOR THE SPECIFIC PLACING CONDITIONS AND METHODS OF PLACEMENT AND ORDINARILY THE SLUMP SHALL BE BETWEEN 2" AND 3" BUT IN NO CASE MORE THAN 5". ALL CONCRETE CONTAIN THE WATER REDUCING ADMIXTURE "EUCON WR-75" OR APPROVED EQUAL.

SOIL UNDER SLABS ON GROUND SHALL BE COMPACTED TO A FIRM, UNYIELDING SURFACE. NO CONCRETE SHALL BE LAID ON FROZEN SOIL AND ADEQUATE PROTECTION AGAINST FROST ACTION SHALL BE PLACED ON EARTH WHICH HAS BEEN BACKFILLED OR OTHERWISE DISTURBED.

CONCRETE FOOTINGS ARE REQUIRED UNDER ALL MASONRY WALLS AND STEEL COLUMNS AND SHALL BE OF SIZES SHOWN ON THE DRAWINGS AND SHALL COMPLY WITH NJUCC AND ACSI. ALL FOOTINGS SHALL BE FORMED ON UNDISTURBED SOIL, FREE OF FROST AND HAVING A MINIMUM ALLOWABLE BEARING CAPACITY OF 1-1/2 TONS PER SQUARE FOOT AND SHALL HAVE MODULAR STEPS IF REQUIRED TO MEET THE DESIRED GRADES. IF NEW FOOTINGS MEET EXISTING FOOTINGS AT DIFFERENT HEIGHTS, NEW FOOTINGS ARE TO BE STEPPED TO MEET EXISTING IN 1'-0" BY 2'-0" INCREMENTS, RISE TO RUN. NO FOOTING SHALL BE INSTALLED UNTIL THE BEARING SURFACE HAS BEEN INSPECTED AN APPROVED BY A REPRESENTATIVE OF LOCAL BUILDING AUTHORITIES AND OR SOIL ENGINEER ENGAGED BY THE OWNER. ALL FOUNDATION WALLS TO BE POURED SHALL BE DONE IN ONE OPERATION FROM THE BOTTOM TO THE TOP, NO HORIZONTAL JOINTS WILL BE PERMITTED.

SLAB ON GRADE SHALL BE 4" THICK AS SHOWN ON DRAWINGS, REINFORCED WITH WELDED WIRE FABRIC 6"X6" - L0/10 LOCATED IN THE CENTER OF THE SLABS. SLABS TO BE 6" THICK IN GARAGE AREAS. FLOOR SLAB SHALL BE MONOLITHIC CONCRETE PLACED ON GROUND WITH HEAVY DUTY STEEL TROWELED FINISH. WELDED WIRE FABRIC SHALL BE LAPPED NOT LESS THAN 6" AT END AND 4" AT SIDES, WIRED TOGETHER. MAXIMUM SIZE OF FLOOR PANELS SHALL BE 1,200 SQ. FT., KEYED AT ALL EDGES UNLESS OTHERWISE APPROVED. AFTER FLOOR IS PROPERLY CURED AND DRY, IT SHALL BE TREATED WITH TWO COATS OF FLOOR HARDENER IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. FLOOR SURFACES THAT ARE TO BE COVERED WITH OTHER MATERIALS ARE NOT TO BE SO TREATED.

CONSTRUCTION JOINTS ARE TO BE AVOIDED IF POSSIBLE. WHERE REQUIRED AS TO THE END OF THE DAY'S POUR, HOWEVER, CONSTRUCTION JOINTS WILL BE ALLOWED. AT CONSTRUCTION JOINTS, KEYWAYS SHALL BE CAST IN THE CONCRETE AND WHERE CONCRETE IS REINFORCED, THE STEEL SHALL EXTEND THROUGH THE JOINT.

ALL REINFORCING BARS SHALL BE NEW BILLET STEEL, DEFORMED TYP, ASTM A615 GRADE 60 AND SHALL COMPLY WITH ALL ACI CODE REQUIREMENTS.

- CONCRETE COVERING REINFORCING STEEL SHALL BE AS FOLLOWS: A. 3/4" FOR SLABS, 3" WHERE SLABS ARE FORMED ON GROUND
- B. 1" FOR INSIDE FACE OF WALLS, 2" FOR BACK FILL SIDE
- C. 2" FOR PIERS D. 1/2" FOR BEAMS

CONCRETE MASONRY UNITS TO BE HOLLOW LOAD BEARING BLOCK AS PER ASTM C90-1966 AND SIZE INDICATED ON PLANS.

MORTAR SHALL COMPLY WITH ASTM C270-1964, TYPE N PROPORTIONED. 1 PART OF PORTLAND CEMENT, 1 PART OF HYDRATED LIME OR LIME PUTTY, AND 6 PARTS OF AGGREGATE.

METAL ANCHORS AND TIES SHALL BE CORROSION-RESISTANT.

PROVIDE DUR-O-WALL MTL. TRUSS WALL TIES AT EVERY OTHER BLOCK COURSE. PROVIDE CORNER PIECES AND OVERLAP JOINTS AND TIE AS PER MANUFACTURER'S SPECIFICATIONS.

STRUCTURAL STEEL

FURNISH AND ERECT ALL STRUCTURAL STEEL ITEMS INCLUDING LOOSE STEEL LINTELS, ANCHORS, AND BEARING PLATES AS NOTED ON THE DRAWINGS AND IN THIS SECTION OF THE SPECIFICATION. ALL STEEL SHALL CONFORM IN PHYSICAL AND CHEMICAL PROPERTIES AND MANUFACTURING WITH THE "STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL FOR BUILDINGS" OF ASTM AS AMENDED TO DATE. DESIGN AND FABRICATION OF BEAMS,

GIRDERS, COLUMNS, AND LINTELS SHALL COMPLY WITH THE RECOMMENDATIONS OF THE AISC. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE FIELD DIMENSIONS OF THE STRUCTURE BEFORE THE SUBMISSION OF SHOP DRAWINGS.

ALL STEEL SHALL BE FURNISHED WITH ONE SHOP-APPLIED COAT OF PRIMER. THE SHOP PAINT SHALL BE RUST INHIBITIVE STEEL PRIMER. ALL STEEL SHALL BE FURNISHED WITH SHOP COAT FINISH. PRIME ALL WELDS AND ABRASIONS BEFORE FIELD PAINTING. FIELD WELDS AND CONNECTIONS SHALL BE PAINTED AFTER ERECTION.

COLUMNS SUPPORTING WOOD BEAMS OR GIRDERS SHALL HAVE WELDED STEEL COLUMN CAPS AND BASES OF NOT LESS THAN 1/4" THICK. COLUMNS ARE TO BE FILLED SOLID WITH CONCRETE AS INDICATED. COLUMNS SUPPORTING STEEL BEAMS OR GIRDERS MAY BE WELDED TO THEM OR HAVE A COLUMN CAP. COLUMN CAP SHALL BE ANCHORED TO BEAM. LALLY COLUMNS SHALL HAVE WELDED CAPS AND BASES.

MATERIAL, FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AISC SPECIFICATION.

ALL CONNECTIONS SHALL BE HIGH-STRENGTH BOLTED (A325) OR WELDED UNLESS OTHERWISE NOTED ON DRAWINGS.

ELECTRICAL

FURNISH ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY FOR THE COMPLETE INSTALLATION OF THE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS, INCLUDING FINAL CONNECTIONS TO EQUIPMENT, APPLIANCES, ETC. IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, STATE ELECTRICAL CODE, THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY, AND ALL APPLICABLE CODES AND LAWS. FURNISH AND INSTALL ALL FIXTURES AS INDICATED ON DRAWINGS. VERIFY CAPACITY OF EXISTING ELECTRICAL PANEL AND PROVIDE SUPPLY FOR ALL WORK CONTAINED IN THESE DRAWINGS ON UNUSED/SEPARATE CIRCUITS.

PROVIDE SMOKE DETECTOR SYSTEM AS SPECIFIED HEREIN AND, IF APPROPRIATE, AS ADDITIONALLY REQUIRED BY STATE AND LOCAL CODES. PROVIDE AND INSTALL SMOKE DETECTOR ALARMS WITH AC PRIMARY SOURCE, HARDWIRED AND INTERCONNECTED. ALARMS SHALL RECEIVE POWER FROM A BATTERY WHEN THE AC SOURCE IS INTERRUPTED. SMOKE DETECTOR ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS IF THEY DO NOT PRESENTLY EXIST: ONE IN THE BASEMENT, ONE IN THE COMMON AREA OF THE FIRST FLOOR (EG, FOYER), ONE IN THE COMMON AREA OF THE SECOND FLOOR (EG, HALL), ONE ON THE THIRD FLOOR, IF ANY, AND ONE IN EVERY SLEEPING ROOM.

IT IS THE INTENT OF THIS SECTION OF THE SPECIFICATIONS AND ALL ACCOMPANYING ELECTRICAL DRAWINGS TO REQUIRE THESE SYSTEMS TO BE FURNISHED COMPLETE IN EVERY RESPECT, INCLUDING ALL WIRING AND EQUIPMENT NEEDED AND USUALLY FURNISHED IN CONNECTION WITH SUCH WORK, WHETHER SPECIFICALLY MENTIONED OR NOT. ALL ELECTRICAL WORK AND MATERIALS MUST CONFORM TO THE REQUIREMENTS OF NECA, NBFU AND THE LOCAL UTILITY COMPANY. INSPECT EXISTING ELECTRICAL SERVICE AND INSTALL NEW OR UPGRADE ELECTRICAL SERVICE AS NECESSARY TO MEET REQUIREMENTS INDICATED ON THE DRAWINGS. MAIN SERVICE SWITCH TO BE SIZED AND FUSED COMPATIBLE WITH HEATING, VENTILATING AND AIR CONDITIONING UNIT, EITHER NEW OR EXISTING, AS MAY BE REQUIRED.

AFTER COMPLETING CONNECTIONS AND INSTALLATION OF ALL THE EQUIPMENT AND APPLIANCES, TEST ALL WORK AND EQUIPMENT AS REQUIRED BY AUTHORITIES HAVING JURISDICTION, FURNISHING ALL NECESSARY EQUIPMENT, PERSONNEL AND ELECTRICAL POWER. TEST THE ENTIRE INSTALLATION FOR SHORTS, GROUNDS AND OPEN CIRCUITS, AND CORRECT ALL DEFECTS BEFORE ACCEPTANCE OF THE WORK. ALL WORK SHALL BE DEMONSTRATED TO BE IN PROPER OPERATING CONDITION TO THE COMPLETE SATISFACTION OF THE ARCHITECT. INSTRUCT THE OWNER IN THE CARE AND OPERATION OF ALL APPARATUS AND EQUIPMENT FORMING THE INSTALLATION.

HEATING, VENTILATING, AND AIR CONDITIONING

EQUIPMENT SHALL BE AS MANUFACTURED BY 'TRANE'' OR EQUAL. SUBMIT DRAWINGS AND CUT SHEETS ON ALL EQUIPMENT TO THE ARCHITECT FOR APPROVAL AND COORDINATION WITH DESIGN DRAWINGS SHOWING THE COMPLETE HVAC SYSTEM AND INDICATING ALL REGISTERS, DUCTS, RADIATORS, ETC. AND ALL RELATED ITEMS. FORCED AIR SYSTEM SHALL BE DESIGNED TO MAINTAIN A MAXIMUM TEMPERATURE OF 72 F IN THE SUMMER AND 72 F MINIMUM IN WINTER. ALL EQUIPMENT SHALL CONFORM TO APPLICABLE ENERGY CODES.

PROVIDE TWO ZONES, REVIEW WITH OWNER.

PLUMBING

ALL INTERIOR PLUMBING WASTE LINES TO BE CAST IRON OR PVC PIPING WITH INSULATION FOR NOISE CONTROL. FURNISH ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY FOR THE COMPLETE INSTALLATION OF THE SANITARY SEWER SYSTEM (INCLUDING SOIL AND VENT PIPING), WATER SERVICE, WATER METER, TAP VALVES, BOXES, AND COLD AND HOT WATER SUPPLY SYSTEM, ALL REQUIRED GAS PIPING, HOT WATER HEATER, PLUMBING FITTINGS AND FIXTURES, AND ALL RELATED FITTINGS AND CONTROLS REQUIRED FOR A COMPLETE SYSTEM AS DETAILED ON THE DRAWINGS OR SPECIFIED IN THIS SECTION.

CONTRACTOR TO COORDINATE AND PAY FEES FOR ALL REQUIRED INSPECTIONS FOR WATER, GAS AND SANITARY DRAINAGE SYSTEMS, REQUIRED WATER METER AND ALL TAPS TO WATER MAINS AND CONNECTIONS TO SEWERS AS MAY BE APPLICABLE. MAKE FINAL CONNECTIONS TO APPLIANCES AND FIXTURES AND FURNISH AND INSTALL ANY FITTINGS OR INCIDENTAL ACCESSORIES THAT MAY BE NECESSARY BY JOB CONDITIONS OR THAT MAY BE REQUIRED BY LOCAL BUILDING OR HEALTH CODES FOR COMPLETING FINAL CONNECTIONS.

ALL PIPING AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE DRAWINGS AND SHALL COMPLY WITH ALL APPLICABLE CODES, PARTICULARLY HEALTH AND PLUMBING, AND STANDARDS OF GOOD PRACTICE. WATER PIPING ABOVE GRADE SHALL BE TYPE "M" HARD DRAWN COPPER TUBING, WITH WROUGHT COPPER FITTINGS; PIPING BELOW GRADE SHALL BE TYPE "K" SOFT COPPER TUBING, WITH FLARED FITTINGS. PIPING SHALL BE MADE UP WITH SWEAT FITTINGS. THE ENTIRE LENGTH OF ALL TYPE "K' PIPING UNDER THE SLAB AND PENETRATING THROUGH THE SLAB WILL BE INSTALLED IN THE 1/2" THICK 'ARMAFLEX' INSULATION OR APPROVED EQUAL. BUILDING SEWER AND ALL UNDERGROUND DRAINAGE AND VENT LINES SHALL BE SIZED AS SHOWN ON DRAWINGS, OR AS REQUIRED BY LOCAL CODES.

VERIFY INVERTS OF SEWER AND DRAINAGE CONNECTIONS BEFORE INSTALLING WASTE LINES AND SEWER LINES. SERVICE FOR WATER SUPPLY LINES TO BE TYPE "K" COPPER, OR AS INDICATED ON DRAWINGS. WHERE WATER PIPES AND VALVES ARE EXPOSED IN FINISHED AREAS, PIPING SHALL BE THREADED CHROME AND SHALL HAVE CHROME PLATED ESCUTCHEONS AND VALVE AS REQUIRED. WORK AREAS MAY BE COPPER. COMPLETE SYSTEM SHALL BE TESTED AS REQUIRED BY APPLICABLE CODES.

ADJUST, IF NECESSARY, SIZES OF GAS PIPING WITH LOCAL GAS COMPANY CHARACTERISTICS TO DELIVER THE SPECIFIED BTU'S AT FIXTURES. PIPING SHALL BE BLACK STEEL, SCHEDULE 40, WITH MALLEABLE FITTINGS. FURNISH AND INSTALL A MECHANICAL GAS VALVE (SIZED TO PIPE) FOR INSTALLATION IN THE GAS LINE TO EQUIPMENT AND APPLIANCES AS MAY BE REQUIRED BY THIS PROJECT.

CONNECT TO GAS PIPING ALL EQUIPMENT REQUIRING GAS SERVICE WITH A SHUT-OFF COCK AND DRIP AND EACH FIXTURE LOCATION AS MAY BE REQUIRED BY THE DRAWINGS. CONNECTIONS INCLUDE, BUT ARE NOT LIMITED TO, HEATING AND AIR CONDITIONING UNIT, HOT WATER HEATER, AND KITCHEN APPLIANCES. FLEXIBLE CONNECTOR AND COUPLING SHALL BE MANUFACTURED BY 'HANSEN MANUFACTURING COMPANY' OR APPROVED EQUAL. CONNECTOR AND COUPLING SHALL BE SIZED TO DELIVER THE REQUIRED BTU RATING TO THE RESPECTIVE EQUIPMENT. FURNISH AND INSTALL A MECHANICAL GAS SHUT-OFF VALVE (SIZED TO PIPE). THE VALVE WILL BE INSTALLED IN THE GAS LINE BEFORE EQUIPMENT AND APPLIANCES. TOILET ACCESSORIES

FURNISH AND INSTALL ACCESSORIES FOR EACH TOILET ROOM AS SPECIFIED IN DRAWINGS OR AS SELECTED BY OWNER. LAVATORIES AND TOILET TO BE BY 'KOHLER' OR APPROVED EQUAL. QUARRY AND CERAMIC TILE

FURNISH ALL LABOR, MATERIAL, EQUIPMENT, ETC. NECESSARY TO COMPLETE ALL QUARRY AND CERAMIC TILE WORK INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN. INSTALL ALL TILE IN STRICT ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS AND AS INDICATED ON THE DRAWINGS. CERAMIC TILE SHALL BE SELECTED BY OWNER OR APPROVED EQUAL. FINISH ALL TUMBLED MARBLE WITH CLEAR, MATTE SEAL. CERAMIC TILE AND TUMBLED MARBLE COLORS, AS WELL AS GROUT COLORS, TO BE SELECTED BY OWNER AND/OR ARCHITECT.

FINISH CARPENTRY, MILLWORK AND CASEWORK

PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO COMPLETE ALL CARPENTRY, WOODWORK AND RELATED WORK REQUIRED BY THE DRAWINGS AND/OR AS DESCRIBED IN THIS SPECIFICATION. FURNISH AND INSTALL ALL NECESSARY WOOD BLOCKING AS REQUIRED BY OTHERS FOR THEIR WORK AS THE WORK PROGRESSES.

WIDTHS).

ARCHITECTURAL CASEWORK IN THE KITCHEN AND BATH ARE TO BE SELECTED BY THE OWNER.

ALLOW NO MORE THAN 3-15/16" BETWEEN RAILING BALUSTERS OR OTHER CONSTRUCTION. ALL GUARDRAILS TO BE MINIMUM 36" AFF. ALL HANDRAILS TO BE MAXIMUM 34" AFF.

PROVIDE SHOP DRAWINGS, FOR ARCHITECT'S REVIEW, FOR ARCHITECTURAL BUILT-IN WOODWORK ITEMIZED IN BID DOCUMENTS. ALL BUILT-IN CASEWORK TO BE FABRICATED OUT OF BIRCH VENEER PLYWOOD WITH 1/2" SOLID BIRCH EDGES, UNLESS NOTED OTHERWISE IN THE DRAWINGS; ALL SURFACES TO BE STAINED; STAIN AS SELECTED BY ARCHITECT. SEAL AND FINISH CASEWORK WITH TWO COATS OF CLEAR SATIN POLYURETHANE - SANDED BETWEEN ALL COATS - UNLESS NOTED OTHERWISE. SUBMIT SAMPLES AND SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.

ALL WOOD TRIM FOR EXTERIOR AND INTERIOR WORK SHALL MATCH EXISTING PROFILES, UNLESS NOTED OTHERWISE IN THE DRAWINGS. ALL EXTERIOR WOOD TRIM SHALL BE WELL SEASONED CLEAR WHITE CEDAR OR CLEAR WHITE PINE, UNLESS NOTED OTHERWISE IN DRAWINGS, AND SHALL BE BACK-PRIMED WITH AN APPROVED PAINT BEFORE INSTALLATION. ALL PAINTED INTERIOR WOOD TRIM SHALL BE FLAT PAINT GRADE CLEAR WHITE PINE, OR AS INDICATED ON DRAWINGS OR FINISH SCHEDULE, AND SHALL BE BACK-PRIMED WITH AN APPROVED PAINT BEFORE INSTALLATION. TRIM SHALL BE NAILED WITH FINISHING NAILS, CONCEALED AND SET. DEPRESSIONS CAUSED BY SETTING OF NAILS SHALL BE FILLED WITH AN APPROVED MATERIAL AND SANDED SMOOTH. ALL CORNERS SHALL BE CAREFULLY MITERED AND JOINED TO INSURE A TIGHT JOINT.

THOROUGHLY CAULK THE EXTERIOR JOINTS BETWEEN ALL WINDOWS AND DOOR FRAMES WITH ELASTIC NON-STAINING COMPOUND DRIVEN TIGHT. WHEN SET, CAULKING SHOULD BE FIRM, NOT HARD AND BRITTLE. ALL CAULKING SHALL BE DONE ON THE EXTERIOR SIDE USING AN APPROVED TYPE CAULKING GUN AND APPLYING THE MATERIAL UNDER PRESSURE. JOINTS AND SPACES TO BE CAULKED SHALL BE THOROUGHLY CLEAN AND DRY AND SHALL BE COMPLETELY FILLED.

NOTED OTHERWISE IN DRAWINGS.

SHELVING IN CLOSETS SHALL BE OF 1" SOLID PINE IN WIDTHS AS NOTED ON PLANS. (WIDTHS OVER 12" ARE TO BE COMPRISED OF 2 STANDARD

ALL PLASTIC LAMINATE TO BE 'FORMICA' OR APPROVED EQUAL. ALL COLORS TO BE SELECTED BY ARCHITECT OR OWNER, UNLESS NOTED OTHERWISE IN DRAWINGS.

THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT ITEMS, SINKS, APPLIANCES, ETC. FURNISHED BY THE OWNER, UNLESS NOTED OTHERWISE IN DRAWINGS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL FILLER PIECES, ANGLES, MOLDINGS, AND OTHER FINISH ITEMS NECESSARY FOR THE COMPLETE INSTALLATION OF THE CABINETS AND EQUIPMENT, UNLESS

WOOD FLOORING

FURNISH, INSTALL AND FINISH ALL WOOD FLOORS AS CALLED FOR ON THE DRAWINGS, INCLUDING ALL MATERIALS NECESSARY FOR INSTALLING AND FINISHING.

UNLESS NOTED OTHERWISE IN THE DRAWINGS, ALL WOOD FLOORING SHALL BE HARDWOOD STRIPS TO MATCH EXISTING, MINIMUM 1/2" X 2-1/4" SOLID WOOD, UNFINISHED, TONGUE AND GROOVE AS MANUFACTURED BY 'GEORGIA PACIFIC COMPANY' OR APPROVED EQUAL.

WOOD FLOORING SHALL BE INSTALLED OVER 3/4" PLYWOOD SUBFLOOR, GLUED AND NAILED THROUGH GROOVE AT SIDE OF STRIP INTO PLYWOOD WITH MINIMUM 2" BARBED NAIL FASTENERS. REVIEW WITH ARCHITECT PRIOR TO INSTALLATION FOR NOISE REDUCTION ALTERNATIVES. SUBFLOOR SHALL BE FREE FROM ALL DEBRIS AND BROOM CLEAN. INSURE THAT THE NAILS FASTENING PLYWOOD SUBFLOOR TO JOIST DO NOT PROTRUDE FROM FLOOR. ALL FLOOR JOISTS SHALL BE TIGHT WITH NO EXCESSIVE GAPS. NO NAILS SHOULD BE EXPOSED AFTER INSTALLATION. FINAL FLOOR SURFACE SHALL BE LEVEL WITH NO RIDGES OR BUMPS.

TO PREPARE FOR FLOOR FINISH, FLOORING SHALL BE SANDED, IF REQUIRED TO OBTAIN A SMOOTH SURFACE. ALL SCRATCHES, DENTS, GOUGES, ETC. SHALL BE REPLACED OR REPAIRED WITH FILLER AS PER THE MANUFACTURER'S RECOMMENDATION. FINISH FLOORING WITH STAIN, 1 SEALER COAT AND 2 TOP COATS OF WATER-BASED, SEMI-GLOSS POLYURETHANE, SANDING BETWEEN ALL COATS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. STAIN TO BE SELECTED BY ARCHITECT.

GYPSUM BOARD MATERIALS

STANDARD GYPSUM BOARD SHALL BE ANSI/ASTM C36; 5/8" THICK AS INDICATED ON DRAWINGS, MAXIMUM PERMISSIBLE LENGTH; ENDS SQUARE CUT, TAPERED SQUARE EDGES. FIRE-RATED GYPSUM BOARD SHALL BE ANSI/ASTM C36; FIRE RESISTIVE TYPE, U.L. RATED; 5/8" THICK AS INDICATED ON DRAWINGS, MAXIMUM PERMISSIBLE LENGTH; ENDS SQUARE CUT, TAPERED SQUARE EDGES. MOISTURE RESISTANT CEMENT BOARD SHALL BE ANSI/ASTM C630; 1/2" OR 5/8" THICK AS INDICATED ON DRAWINGS, MAXIMUM PERMISSIBLE LENGTH; ENDS SQUARE CUT, TAPERED SQUARE EDGES. ALL GYPSUM BOARD SHALL BE SCREWED, NOT NAILED.

ALL CORNERS SHALL BE FINISHED WITH CONTINUOUS METAL COMER BEADING, AND TAPED, SPACKLED AND PREPARED AS NECESSARY FOR PRIMER. SEAMS TO BE TAPED, SPACKLED, SANDED SMOOTH AND PREPARED AS NECESSARY FOR PRIMER. ALL EXPOSED GYPSUM BOARD EDGES SHALL BE FINISHED WITH SPACKLE J-BEAD OR PITTCON INDUSTRIES REVEAL TRIM, TAPED, SPACKLED, SANDED SMOOTH, AND PREPARED AS NECESSARY FOR PRIMER.

WHERE NEW GYPSUM BOARD ABUTS AND/OR IS PATCHED INTO EXISTING GYPSUM BOARD, MAKE NEW GYPSUM BOARD FLUSH WITH EXISTING, UNLESS NOTED OTHERWISE IN DRAWINGS. TAPE, SPACKLE, SAND AND PREPARE SAID GYPSUM BOARD FOR PRIMER.

SILL PLATES AND SEALER

SILL PLATE SHALL BE PRESSURE TREATED (ACQ) DOUBLE 2X6'S (DOUG. FIR #2). PROVIDE MIN. 3' OVERLAP BETWEEN PLATES. ALL FASTENERS TO BE COMPATIBLE WITH ACQ. FASTENERS AND CONNECTORS TO BE STAINLESS STEEL, HOT-DIP ZINC GALVANIZED, TRIPLE ZINC COATED (ELECTROPLATED) OR APP. EQUAL.

SILL SEALER SHALL BE "TRIPLE GUARD ENERGY SILL SEALER 3/8" THICK, PEEL-AND-STICK, CLOSED CELL FLEXIBLE FOAM MEMBRANE FLASHING BY PROTECTO WRAP. INSTALL SO AS TO ADHERE TO THE FACE OF THE FOUNDATION, THE TOP OF THE FOUNDATION WALL AND THE FACE OF THE SILL PLATE/SKIRT BOARD. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

PRIOR TO INSTALLATION, STORE IN A COOL, WELL-VENTILATED AREA AWAY FROM EXCESSIVE HEAT AND SOURCES OF IGNITION. DELIVER MATERIALS IN THE MANUFACTURER'S ORIGINAL UNOPENED, UNDAMAGED CONTAINERS WITH IDENTIFICATIONS LABELS INTACT STORE MATERIALS PROTECTED FROM EXPOSURE TO HARMFUL ENVIRONMENTAL CONDITIONS AND AT TEMPERATURE AND HUMIDITY CONDITIONS RECOMMENDED BY THE MANUFACTURER.

SURFACES SHOULD BE PREPARED SO THEY ARE CLEAN, DRY, FREE OF DIRT AND OTHER FOREIGN MATTER. KNOCK OFF AND REMOVE ANY ROUGH OR JAGGED EDGES AND KEEP SOLVENT BASED CAULKS OUT OF CONTACT WITH TRIPLE GUARD.

PRIOR TO INSTALLATION, APPLY PROTECTO-TAK SPRAY PRIMER OR NO. 100 PRIMER TO CLEAN SURFACE AND ALLOW TO DRY PRIOR TO INSTALLING TRIPLE GUARD ENERGY SILL SEALER. ALLOW SEALER TO DRY PRIOR TO INSTALLING TRIPLE GUARD.

PAINTING / STAINING

FURNISH ALL LABOR AND MATERIAL NECESSARY FOR THE COMPLETE PAINTING AND/OR STAINING OF ALL NEW UNFINISHED WORK ON EXTERIOR AND INTERIOR OF BUILDING AS SHOWN ON THE DRAWINGS AND AS SPECIFIED IN THIS SECTION. ALL SURFACES SHALL BE PROPERLY PREPARED FOR FINISH PAINTING BY WASHING, SCRAPING, WIRE BRUSHING, OR SANDING. PAINTED SURFACES, BOTH EXTERIOR AND INTERIOR, SHALL RECEIVE AT LEAST TWO COATS OVER PRIMER UNLESS OTHERWISE NOTED. ALL EXTERIOR AND INTERIOR PAINT TO BE BY BENJAMIN MOORE, COLORS AS SELECTED BY ARCHITECT OR OWNER, APPLIED PER MANUFACTURER'S SPECIFICATIONS. EXTERIOR PAINT IS NOT TO BE APPLIED IN COLD WEATHER PER MANUFACTURER'S INSTRUCTIONS. PAINT AND STAIN SHALL BE APPLIED ONLY TO SURFACES WHICH ARE ABSOLUTELY DRY AND FREE FROM GREASE, OIL, DIRT, RUST, SCALE, OR LOOSE MATERIAL. ALL STAINS TO BE BY "CABOT" OR APPROVED EQUAL WITH 2 COATS RUBBED ON AND SANDED BETWEEN COATS, COLOR AS SELECTED BY ARCHITECT OR OWNER.

WHERE EXISTING WALLS AND OTHER SURFACES HAVE BEEN PATCHED AND PRIMED, APPLY PAINT/STAIN TO MATCH EXISTING, SURROUNDING SURFACE. IF EXACT, VERIFIABLE MATCH IS NOT POSSIBLE, THEN PRIME AND/OR STRIP ENTIRE WALL OR SURFACE, PROVIDE COLOR SAMPLES OF PAINT/STAIN TO OWNER FOR APPROVAL, AND APPLY PAINT/STAIN OVER ENTIRE SURFACE. SOFFIT/EAVE PANELS

FURNISH AND INSTALL ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY FOR THE COMPLETE INSTALLATION OF THE VINYL SOFFIT SYSTEM AS MAY BE SHOWN ON THE DRAWINGS AND AS SPECIFIED. VENTILATED AS SHOWN ON DRAWINGS. SOFFIT VENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

ROOFING / SHINGLES

ASPHALT SHINGLES SHALL MATCH EXISTING IN APPEARANCE AND PROVIDE FOR 25-YEAR WARRANTY, CLASS A FIRE-RATING.

SECTION R-905.2.7 UNDER-LAYMENT APPLICATION FOR SHINGLES.

FOR ROOF SLOPES FROM 2 UNITS VERTICAL AND 12" HORIZONTAL, UP TO 4 UNITS VERTICAL AND 12 UNITS HORIZONTAL

UNDER-LAYMENT SHALL BE 2 LAYERS APPLIED IN THE FOLLOWING MANNER. APPLY A 19" STRIP OF UNDER-LAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36: WIDE SHEETS OF UNDER-LAYMENT, OVERLAPPING SUCCESSIVE SHEETS IN 19", AND FASTENED SUFFICIENTLY TO HOLD IN PLACE. DISTORTIONS IN THE UNDER-LAYMENT SHALL NOT INTERFERE WITH THE ABILITY WITH THE SHINGLES TO SEAL.

FOR ROOF SLOPES 4 UNITS VERTICAL AND 12 UNITS HORIZONTAL AND GREATER:

UNDER-LAYMENT SHALL BE (1) ONE LAYER APPLIED IN THE FOLLOWING MANNFR UNDER-LAYMENT SHALL BE APPLIED SINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2", FASTENED SUFFICIENTLY TO

HOLD IN PLACE. DISTORTIONS IN THE UNDER-LAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL AND LAPS SHALL BE OFFSET BY (6) SIX FEET.

USE 30 LB. FELT FOR UNDER-LAYMENT; USE TWO LAYERS WHERE NOTED IN DRAWINGS. SHINGLES ARE TO BE HAND-NAILED USING 6 NAILS PER SHINGLE. DO NOT APPLY SHINGLES IN TEMPERATURES OF LESS THAN 45 F OR PER MANUFACTURER'S SPECIFICATIONS, WHICHEVER IS HIGHEST.

EXPOSED FLASHING AND COUNTER-FLASHING SHALL BE COPPER, ALUMINUM, OR GALVANIZED AS SPECIFIED ON DRAWINGS. CONCEALED FLASHING MAY BE OF OTHER SUITABLE MATERIAL.

INSTALL ALL ROOFING MATERIAL AND FLASHING IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. INSTALL ROOF-TO-WALL FLASHING AT ALL INTERSECTIONS. ON SHINGLE ROOFS, INSTALL FLASHING IN "STEP" FASHION. AT MASONRY WALLS INSTALL COUNTER-FLASHING EMBEDDED IN MASONRY. FLASH ALL PIPES PROJECTING THROUGH ROOF WITH ONE PIECE OF SHEET METAL FORMING A FLANGE WHICH EXTENDS AT LEAST 6" ON ALL SIDES. LOCATE ROOF VENTS AS SHOWN IN DRAWINGS. ALL OTHER SHEET METAL ITEMS AND ACCESSORIES - GUTTERS, DOWNSPOUTS, FASCIAS, GRAVEL STOPS, LOUVERS, AND VENTILATORS - SHALL BE AS SHOWN ON THE DRAWINGS.

ON FLAT ROOFS: MAINTAIN A MINIMUM SLOPE OF 1/4" PER 1'-0". APPLY SINGLE-PLY ROOF MEMBRANE OVER ENTIRE ROOF AREA AS SHOWN IN DRAWINGS AND RUN CONTINUOUSLY OVER TOP OF CANT STRIPS AT EDGES. CLOSE ALL SEAMS WITH GLUE ADHESIVE OR BY HEAT-SEALING. WEIGHT WITH GRAVEL BALLAST OR MECHANICALLY FASTEN TO ROOF.

STUCCO

PORTLAND CEMENT STUCCO SHALL BE THREE COATS OF PORTLAND CEMENT PLASTER, APPLIED OVER WEATHER BARRIER TO CREATE A DRAINAGE PLANE WALL SYSTEM.

STUCCO CONTRACTOR SHALL BE HIGHLY SKILLED AND EXPERIENCED AT THE INSTALLATION OF STUCCO IN THIS CLIMATE AND REGION.

STUCCO SHALL BE APPLIED IN THREE COATES. THE SCRATCH AND BROWN COATS (BASE COATS) ARE TO BE PORTLAND CEMENT PLASTER, 3/8" THICK MOIST-CURED FOR TWO DAYS AND FURTHER CURED FOR FIVE DAYS BEFORE APPLICATION OF THE FINISH COAT. IN VERY HOT OR WINDY CONDITIONS, BASE COAT MUST BE PROTECTED.

THE SCRATCH COAT, AFTER APPLICATION, MUST BE ROUGHENED WITH A RAKE OR OTHER DEVICE TO PROMOTE A MECHANICAL BONDING OF THE BROWN COAT.

THE BROWN COAT SHALL BE FIBER REINFORCED AND APPLIED AFTER THE SCRATCH COAT HAS SET, REFER TO THE BUILDING CODE FOR MINIMUM TIME BETWEEN COATS. UNDER ANY CIRCUMSTANCE, THE SCRATCH COAT MUST BE PROPERLY CURED BEFORE THE APPLICATION OF THE BROWN COAT TO MINIMIZE CRACKING. BROWN COAT SHALL TROWEL FLOATED WHILE STILL MOIST.

OF GALVANIZED STEEL.

THE FINISH COAT SHALL BE PORTLAND CEMENT PLASTER OR 1/8". LATHE SHALL BE SELF-FURRING EXPANDED METAL OR WELDED WIRE MESH

ALL ACCESSORIES MUST BE FORMED FROM RUST-RESISTANT MATERIALS IN COORDINATION WITH THE GALVANIC ACTION OF ADJACENT METALS. ALL ACCESSORIES USED AT THE BASE OF THE SYSTEM MUST BE PERFORATED TO ALLOW DRAINAGE OF WATER FROM WITHIN THE STUCCO.

LATHE MUST BE PLACED OVER A WEATHER BARRIER WHICH MUST BE CONTINUOUS AND PROPERLY SHINGLED OVER EACH SHEET AND ACCESSORIES, TO DIRECT THE FLOW OF WATER.

STUCCO MATERIAL SHOULD NOT BE APPLIED IF AMBIENT TEMPERATURES CAN NOT BE KEPT ABOVE 40 DEGREE F. DURING APPLICATION AND CURING PERIOD - A MINIMUM OF THREE DAYS. CAREFULLY WITH ALL TRADES AS FOLLOWS: A) NO INTERIOR NAILING ON EXTERIOR WALLS SHOULD TAKE PLACE FOR THREE WEEKS AFTER CEMENT BASES ARE APPLIED; B.) IMMEDIATELY COVER TOPS OF ALL WALLS WITH FINAL TRIM OR TEMPORARY PROTECTION TO PREVENT WATER INFILTRATION BEHIND STUCCO SYSTEM; C.) SUFFICIENT MANPOWER AND EQUIPMENT SHALL BE EMPLOYED TO ENSURE A CONTINUOUS OPERATION FREE OF COLD JOINTS, SCAFFOLD LINES, TEXTURE VARIATIONS, ETC. STUCCO SYSTEM SHALL BE APPLIED TO APPROVED LATHE AND SUBSTRATE AND SHALL CONSIST OF THE FOLLOWING 3/8" THICK PORTLAND CEMENT SCRATCH COAT; 3/8" THICK PORTLAND CEMENT BROWN COAT (RODDED OFF AND KEPT SMOOTH); TEXFLEX CEMENT BONDER; FINISH COAT TEXTUREFLEX ACRYLIC WALL COATING (MIN. THICKNESS OF 1/16") - CUSTOM COLOR TO MATCH EXISTING STUCCO.

GENERAL NOTES

PROTECT ALL WORK, ADJACENT PROPERTIES, DRIVEWAYS, WALKS, STEPS, ETC. DURING AND AFTER CONSTRUCTION UNTIL FINAL ACCEPTANCE. BUILD ALL NECESSARY BARRICADES AND BRACING AND FURNISH LIGHTING AND DANGER WARNINGS AS NECESSARY. ALL REQUIRED PERMITS SHALL BE APPLIED FOR AND ALL FEES PAID BY CONTRACTOR.

CONDUCT OF WORK:

A. ALL WORK OF CONSTRUCTION IS TO BE CONDUCTED IN SUCH A MANNER AS TO INTERFERE TO A MINIMUM DEGREE WITH RESIDENTS. B. SAFE AND DIRECT ENTRANCE TO THE EXISTING SITE SHALL BE MAINTAINED AT ALL TIMES WHILE CONSTRUCTION IS IN PROGRESS. C.THE CONTRACTOR SHALL LIMIT HIS USE OF THE JOBSITE TO THE WORK AREAS INDICATED ON THE DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 2 WEEKS IN ADVANCE OF ANY WORK WHICH WILL RENDER ANY ACCESS UNUSABLE. THE LENGTH OF THE TIME DURING WHICH ACCESS WILL BE UNAVAILABLE FOR USE BY THE OWNER SHALL BE MINIMIZED.

D.THE CONTRACTOR SHALL AT ALL TIMES EXERCISE PROPER PRECAUTIONS FOR THE PROTECTION OF PERSONS AND PROPERTY. SPECIAL PRECAUTIONS ARE TO BE TAKEN DURING CONSTRUCTION TO PREVENT DUST, NOISE, OR VIBRATIONS FROM ENTERING EXISTING ADJACENT OCCUPIED AREAS. E.CONTRACTOR IS NOT TO DISTURB THE PLUMBING, ELECTRICAL, AND/OR MECHANICAL SYSTEMS SERVING OTHER AREAS OF THE BUILDING WITHOUT THE PERMISSION OF THE OWNER.

F.DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN SEPARATION BETWEEN THE CONSTRUCTION SITE AND THE OCCUPIED PORTIONS OF BUILDING FOR AS LONG AS POSSIBLE. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THIS SEPARATION AS WELL AS PROVIDING ANY ADDITIONAL PROTECTION REQUIRED TO MAINTAIN DUST AND NOISE CONTROL.

ALL WORK, MATERIAL HANDLING, METHODS OF CONSTRUCTION, AND EQUIPMENT USE MUST BE PERFORMED IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS. CONTRACTOR SHALL USE LIGHT, HAND-PUSHED EQUIPMENT TO BRING MATERIALS INTO THE EXISTING STRUCTURE.

THE CONTRACTOR IS RESPONSIBLE FOR AND SHALL COORDINATE ALL EXISTING AND NEW DIMENSIONS, ELEVATIONS AND DETAILS BEFORE PROCEEDING WITH WORK. DO NOT SCALE FROM DRAWINGS. IF THERE IS ANY VARIATION FROM THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED REASONABLY CORRECT, BUT IT IS UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATIONS AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITIONS.

DETAILS SHOWN IN ANY SECTION OF THE DRAWINGS APPLY TO ALL SIMILAR CONDITIONS IN THE WORK, UNLESS NOTED OTHERWISE.

ALL STRUCTURAL ITEMS FOR THIS PROJECT HAVE BEEN DESIGNED IN ACCORDANCE WITH APPROPRIATE PROVISIONS OF EACH OF THE FOLLOWING:

THE INTERNATIONAL RESIDENTIAL CODE NJ EDITION, 2015, INCLUDING THE LATEST SUPPLEMENTS OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDING," LATEST EDITION, AND ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI-318-83).

ALL WORK AND MATERIAL HANDLING, METHODS OF CONSTRUCTION, MUST CONFORM TO ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES. ALL PLUMBING AND HEATING WORK SHALL CONFORM WITH THE LOCAL HEALTH DEPARTMENT REQUIREMENTS AND WITH ALL OTHER APPLICABLE CODES AND ORDINANCES.

THESE SPECIFICATIONS ARE GENERAL IN FORM THE CONTRACTOR IN APPLYING THEM ASSUMES COMPLETE RESPONSIBILITY FOR THEIR USE, SUBSTITUTIONS, CHANGES AND OMISSIONS.

IT SHALL BE UNDERSTOOD THAT THE SCOPE OF THESE DRAWINGS INCLUDE ONLY ARCHITECTURAL INFORMATION AND THAT NO FURTHER LIABILITY WILL BE ASSUMED BY THE ARCHITECT BEYOND THESE SIGNED AND SEALED DOCUMENTS.

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, FIXTURES, APPLIANCES AND LABOR NECESSARY TO COMPLETE ALL WORK NOTED ON PLANS AND IN ACCORDANCE WITH THE OWNERS REQUIREMENTS OR AS OTHERWISE NOTED. ALL MATERIAL SHALL BE NEW AND FREE FROM ANY DEFECTS.

UPON COMPLETION OF THE WORK, REMOVE ALL PAINT AND VARNISH SPOTS FROM THE FLOOR, GLASS, FILE, ETC., AND LEAVE ALL DOORS FREE TO MOVE PROPERLY. ALL HARDWARE SHALL BE IN PERFECT OPERATION. REMOVE FROM PREMISES ALL RUBBISH AND ACCUMULATED MATERIAL HANDLING, METHODS OF CONSTRUCTION, OF WHATEVER NATURE, EXCEPT AS INDICATED BY OWNER. FLOORS SHALL BE LEFT IN A CLEAN, ORDERLY CONDITION ACCEPTABLE TO THE OWNER AND READY FOR OCCUPANCY.

ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF OWNER'S ACCEPTANCE UNLESS OTHERWISE NOTED.

RETAIN AND BUNDLE IN AN ORDERLY BINDER ALL MANUFACTURERS' WARRANTIES AND TURN OVER TO THE OWNER AT THE COMPLETION OF THE JOB.

GENERAL FINISH NOTES

. GYPSUM WALLBOARD (GWB) TO BE LAID HORIZONTAL WITH VERTICAL JOINTS BROKEN. ALL INTERNAL CORNERS AND SEAMS TO HAVE REINFORCED TAPE AND ALL EXTERNAL CORNERS TO RECEIVE GALVANIZED STEEL CORNER BEADS.

2. FURNISH AND INSTALL GYPSUM BOARD METAL TRIM AND CORNER BEADS AS NOTED AND DETAILED ON THE DRAWINGS IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE MANUFACTURER.

3. APPLY JOINT COMPOUND AT GYPSUM WALLBOARD WITH A MINIMUM 3 COAT APPLICATION AND FINISH ALL JOINTS AND FASTENER HEADS SMOOTH AND READ FOR PRIME COAT OF PAINT.

4. PROVIDE MARBLE THRESHOLD AT PATH OR TOILET DOOR OPENING AND SET IN ACCORDANCE WITH APPROPRIATE THIN-SET METHOD.

5. SELECTION OF ALL INTERIOR FINISH MATERIALS REMAINS THE RESPONSIBILITY OF THE OWNER.

6. GENERAL CONTRACTOR IS REQUIRED TO NOTIFY THE ARCHITECT OR OWNER IN WRITING AT THE START OF THE PROJECT REQUIRED DELIVERY DATES FOR ALL MATERIALS IN ORDER TO AVOID MATERIAL LEAD TIME DELAYS.

CASEWORK

. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THESE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE GENERAL CONTRACTOR AND/OR VENDORS PRIOR TO ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERROR IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS ALLOWABLE WITHOUT THE CONSENT OF THE ARCHITECT.

2. CABINETS ALL CABINETS AND COUNTERTOPS SHALL BE FURNISHED AND INSTALLED BY OTHERS, U.N.O.

3. APPLIANCES: ALL APPLIANCES SHALL BE FURNISHED BY OTHERS AND INSTALLED BY THE GENERAL CONTRACTOR. PRIOR TO WIRING, GC SHALL CONFIRM ALL APPLIANCE SIZES, MODEL NUMBERS AND SPECIFICATIONS WITH INTERIOR DESIGNER/SUPPLIER.

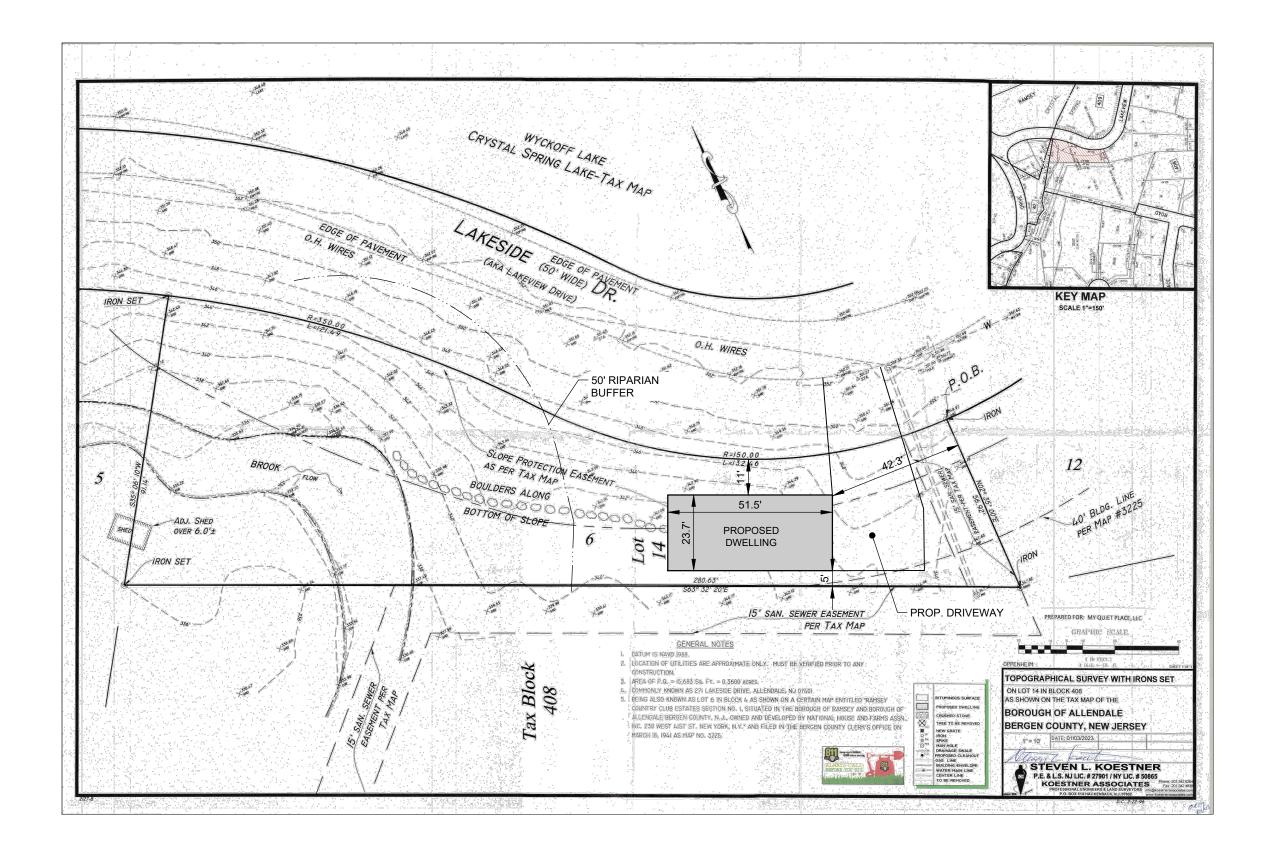
4. <u>ROUGHING VENTS & FINISHES:</u> THE GENERAL CONTRACTOR SHALL PREPARE THE CONSTRUCTION SPACE AS FOLLOWS: A) INSTALL ROUGH PLUMBING AND ELECTRICAL WORK AS CALLED FOR ON THE CONSTRUCTION DRAWINGS AND ON THE INSTALLATION DRAWINGS. COORDINATE ALL OUTLETS AND SWITCHES IN BACK SPLASH W/ INTERIOR DESIGNER AND OWNER

B) INSTALL ALL NECESSARY VENTS, DUCTS, ROOF AND/OR WALL CAPS FOR OVENS, HOODS, FANS, FTC.

C) TILE BACKSLASH SHALL BE FURNISHED BY OWNER AND INSTALLED BY GC.

5. FINAL CONNECTIONS: AFTER THE CABINETS ARE INSTALLED, THE GENERAL CONTRACTOR SHALL INSTALL THE APPLIANCES, FINISH ELECTRICAL WORK, AND MAKE ALL FINAL PLUMBING AND VENTING CONNECTIONS.

		PERMIT SET
		\bigotimes
PLAN A 125 PATERSON AVE, Se Little Falls, NJ 07424		ECTURE dan@plnarc.com T: 973-837-8399
REVISIONS:		
	DESCRIPTION	YEAR.MO.DA
	POSED NEW CONSTRUCTI	on for:
	DENCE	
	APPLICABLE):	
FLOOR OR FLOORS (IF A		
	SPECIFICATIONS	5
	SPECIFICATIONS DATE: PROJECT SCALE: DWG. BY CHK BY: DWG NO	NOV. 3, 2020 NO.: 19-061 AS NOTED : JLD/WAC DD



ALLENDALE LAND USE BOARD APPLICATION CHECK LIST

•		
NAM		14
ADDI	RESS 203 WEST ALLENDALE AVENDE	
ZONE	TYPE OF VARIANCE HARDS HAP	
	F DESCRIPTION OF APPLICATION CONSTRUCTION OF A ONE	
REA ANN SPEC	HR ADDITION, CONVERSION OF EXISTING GARAGETOF CONSTRUCTION OF A NEW DETACHED GARAGE. IFIC VARIANCE(S) REQUIRED SIDE YARDS = 270-64-C(Z DRWEWAY WIDTH: 270-18 B(J	NVING-SMACE) 2)
<u>ADM</u>	INISTRATIVE REQUIREMENTS	STATUS
1.	Application form complete	
2.	Fee paid	
3.	Denial by Building Inspector	
4.	Affidavit of Service	
5.	Proof of Publication	
6.	Taxes Current	
7.	Plot Plan	
8.	Maps	
9.	Photographs	
10.	Email address LAV RA. AQVINO 1438@GMAIL.COM 917-842-1651	
11.	Miscellaneous	
-	1261 6023 Date Applicant's Sign	iature

,

BOROUGH OF ALLENDALE CODE ENFORCEMENT OFFICE 500 West Crescent Avenue Allendale, NJ 07401

Phone: (201) 818-

Fax: (201)

MEMORANDUM

TO: Emma Aquino 203 W Allendale Ave. Allendale, NJ 07401

FROM: Anthony Hackett, Zoning Official/Construction Official

CC: Linda Garofalo Land use Administrator

RE: Rear addition, convert garage to living space, and new detached garage.

DATE: December 7, 2023

The Allendale Building/Zoning Department received the following documents:

A. Borough of Allendale Zoning Review Application

B. Plot plan prepared by Conklin Associates

C. Plans prepared by Chris Greimel PE PP RA

I have reviewed these documents and the Borough of Allendale Zoning Ordinances and I must deny your application for the following reason(s):

1) Your property is in the A zone, to calculate the side-yard setbacks, a formula is used (using your Gross Floor Area). In your case you have an existing nonconformity on the right side of your home. According to **Borough Code 270-37(A)2**, you cannot create any new or additional encroachment or nonconformity. Currently there is a <u>14.4'</u> right side-yard setback where <u>15'</u> was required, however, the proposed additional square footage would now require side yard setbacks of <u>19.2'</u>. As a result, your right side-yard would be out of compliance by **4.2** feet and the left side out of compliance by **1.8** feet. See Borough Code 270-64C (2)

2) A driveway cannot exceed 35' in width including turn arounds, the plans show 48' wide. See Borough Code 270-18 B (2)



You are hereby notified that you have the right under N.J.S.A. 40:55D-72 to appeal this decision to the Zoning board of adjustments of the Borough of Allendale within 20 days from the date of the decision. For further information please visit. http://allendalenj.gov/zoning-board-of-adjustments/

Anthony Hackett Construction Official

5

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REQUIRED MATERIALS AND CHECKLIST FOR ALLENDALE LAND USE BOARD HEARINGS

This checklist and attached sample drawings are provided to ensure that you or your professionals are prepared for your hearing and that your application is complete. All items should be supplied to the extent that they are applicable to the specific application. If information is insufficient or missing, the board may deem your application incomplete and adjourn your hearing until it receives all necessary documentation. Please create b packets of the below information. PLOS PDF FILES.

- I. PROVIDE AN ACCURATE SURVEY FOR THE PROPERTY IN QUESTION WHICH CONTAINS THE FOLLOWING INFORMATION:
 - 1. Footprint of existing buildings or structures.
 - 2. Precise distances from all property lines to closest point of principal building including steps, deck or other extensions of the building.
 - 3. The location and precise distances of accessory buildings, such as garages and sheds, to property lines and the principal building or structure.
 - 4. The location and dimensions of steps, patios, driveways, decks, pools and all other improved impervious areas and their precise distances to nearest property line and structures.
 - 5. An accurate depiction of the proposed construction or alteration including the information requested in 1, 2, 3 and 4 above.

II.

- 6. The precise distances from all property lines to the closest point of the proposed construction.
- AN ENLARGED TAX MAP DEPICTING PROPERTY IN QUESTION AND ITS RELATIONSHIP TO NEIGHBORING PROPERTIES.
 - 1. The precise distances from the existing buildings or structure in question to the closest point of all neighboring buildings and structures.
 - 2. The precise distances from the proposed construction to the closest point of all neighboring buildings and structures.
- III. STRUCTURAL DIMENSIONS:
 - 1. All dimensions of existing building or structure.
 - 2. All dimensions of proposed building or structure.

3. Height of existing building or structure.*

4. Height of proposed building or structure.*

*(height to be measured from lowest point of the ground that abuts the foundation of the structure to the highest point on the roof.)

5. Front, rear and side elevations of the proposed structure.

IV. FLOOR PLANS.

- 1. Floor plans of the existing interior of the building containing all relevant dimensions.
- 2. Floor plans of the interior of the proposed construction containing all relevant dimensions.

- 3. Precise square footage of the existing building.
- - 4. Precise square footage of the proposed construction.
 - 5. Floor area ratio calculation pursuant to Section 270-63 of the zoning ordinance (required for all applications)
- PHOTOGRAPHS. V.
 - 1. Photographs of the property in question and existing improvements may be helpful to the Board in presenting your information.
 - 2. Photographs of views from the existing building or structure to neighboring properties and buildings which show existing plantings or other buffers are also helpful and may be requested by the Board.

(All photographs should be taken by you or someone who can testify to the Board as to when they were taken and that the photographs represent an accurate depiction of what they saw at the time.)

- VI. LANDSCAPING AND LAND FEATURES.
 - 1. The survey, plat or plan should locate and describe any proposed landscaping to be done in connection with the application.
 - 2. The location of any unusual property features should be indicated, such as flood plain, streams, wooded areas, rock outcroppings or steep slopes.

VII. PREVIOUS APPLICATIONS.

1. Applicants should be prepared to discuss prior applications to the Land Use Board, Board of Adjustment and Planning Board and the results thereof.

VIII. Any additional information which may be deemed necessary by the Land Use Board, its Consultants or Borough departments and agencies.

NOTE: ALL DIMENSIONS AND DISTANCES MUST BE DEPICTED TO SCALE ON DRAWINGS AND PLANS.

Any questions regarding your hearing or the checklist should be directed to the Land Use Administrator at the Borough of Allendale Municipal Building 201-818-4400 x202. Please submit fiften (15) packets with copies of all drawings and plans to the Land Use Administrator at least ten (10) days prior to the hearing. It is suggested that the property owner refer to the appropriate building code to assure proper engineering and construction techniques, or to secure the services of a local, reputable architect and/or engineer.

Signature

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of LAURA AQVINO	
shows that on or about the 1st day of DECEMBER	,2023
an application to the Zoning Official for the purpose of (describe	intended
action) CONSTRUCTING A ONG STORY ADDITION, CONVERTING AN	NEXISTING
GARAGES TO LIVING SPACE AND CONSTRUCTING A NEW DETA	
GARAGE,	
on the premises located at (street address) 203 WEST ALLENBALE AVEN	IVE,
ALLENDALE NEW JEESEL Block 1708 Lot 1.	4

as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that after due consideration the Zoning Enforcement Officer did on the 744 day of 2022 decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of appeal with said Officer, together with the required fee of 4500, and requests that action of the Zoning Enforcement Officer be reversed or modified as the facts may be determined, and applicant further requests that a day be fixed for hearing on this appeal and states that the proper notice will be given to all owners of property situated within two hundred (200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 14 Block(s) 1708
Street Address 203 WEST ALLENDALE AVENUE
Applicant LAURA A QUINO Address 703 WEST ALENALE AVENUE
Owner LAURA AQUINO Address 203 WEST ALLENDALE AVENUE
Lessee Address
Last Previous Occupancy Residence
Size of Lot 25.043SF
Floor area ratio calculation 12,99% PROPOSED
Percentage of lot occupied by building(s) 10.87% PROPOSED
Height of building(s) > stories Z/fl-feet
Set back from front property line 32^{l} ft. From side (if corner lot) N/A ft.
Zoning requirements - Frontage/15', side yards 1951', set-back 35', rear yard 50'
"Prevailing set-back" of adjoining buildings within one block 30'ft'-
Has there been any previous appeal involving these premises? \mathcal{NO}
If so, state character of appeal and date of disposition

Proposed use: <u>RESIDENCE</u>

This application for a use variance includes an application for subdivision______, site plan ______, conditional use______approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) Fifteen (15) copies of all application documents
- (c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified "location map" and clearly indicate such buildings and their approximate location, together with "prevailing set-back" dimensions.
- (d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

Date:

Signature of Applicant or Agent

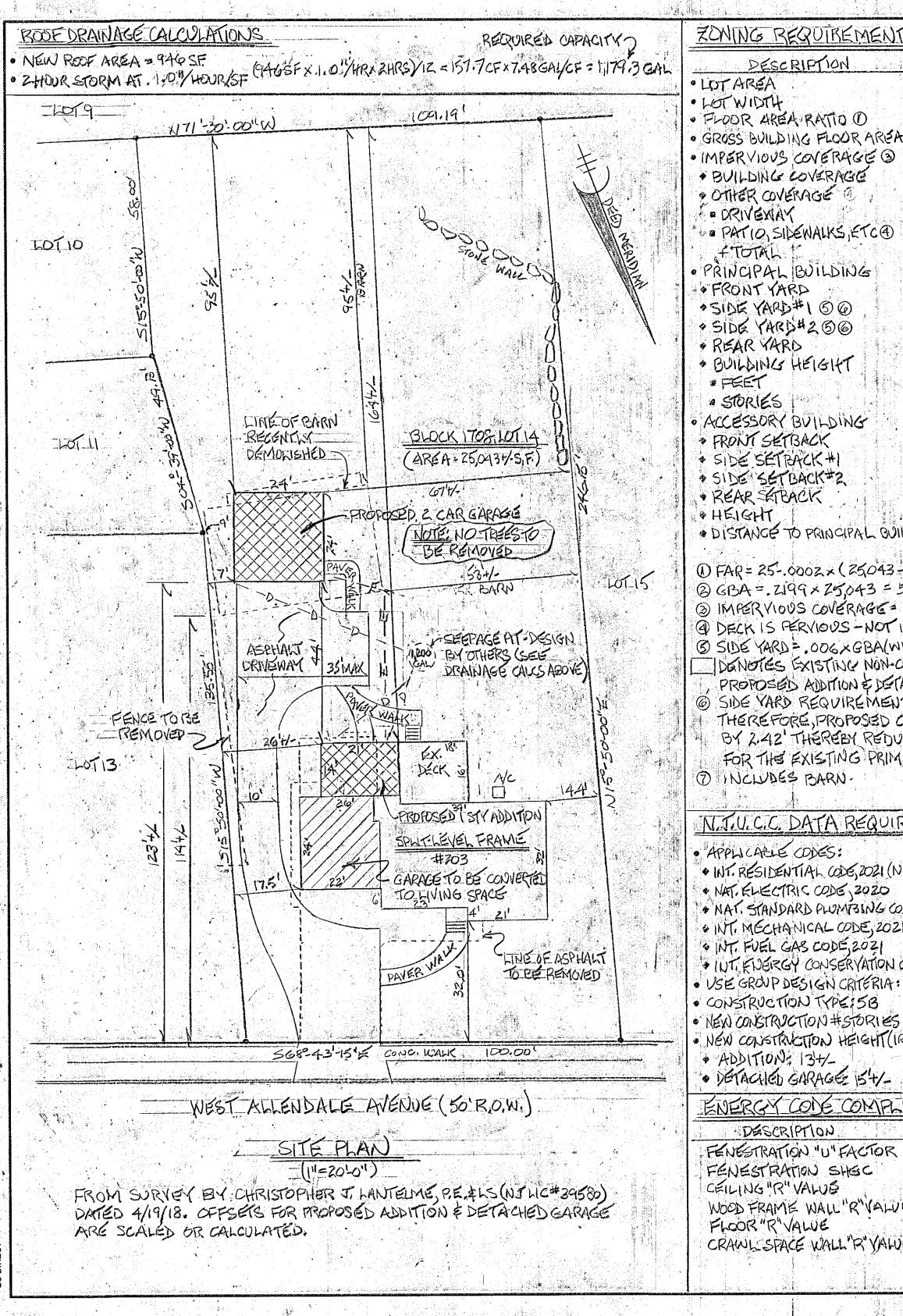
PREVAILING SET BACK FROM ALLEVIDALE FAX MAP (1"= 100'+1-) AQUINO VARIANCE APPLICATION 203-WEST ALLONDALE AVE ALLENDALENED RESEV Christopher J. Greimel, P.E., R.A., P.P. Professional Engineer, Registered Architect & Professional. 12017 A 32'45 29'52 304/2 DELTA CT HONSE # cgreimel@optonline.net 191 193 203(PQ) 209 Allendale, New Jersey 07401 AVERAGE 201-825-7535 157 Park Avenue TONJAY ALLENDAL 1274 ISEM 20.2 209 1203 GAR 33 NOTION CASOROAN 149 0° 5 5 2 1603 1 PROPOSED -N 3 RY II 22 0/ 13/08/ BALL FIELD 14,081 STREAT 14 8011 0 00 5 MALLINSON ENIOR HOLSING ~ 9 2 5 1 4 18



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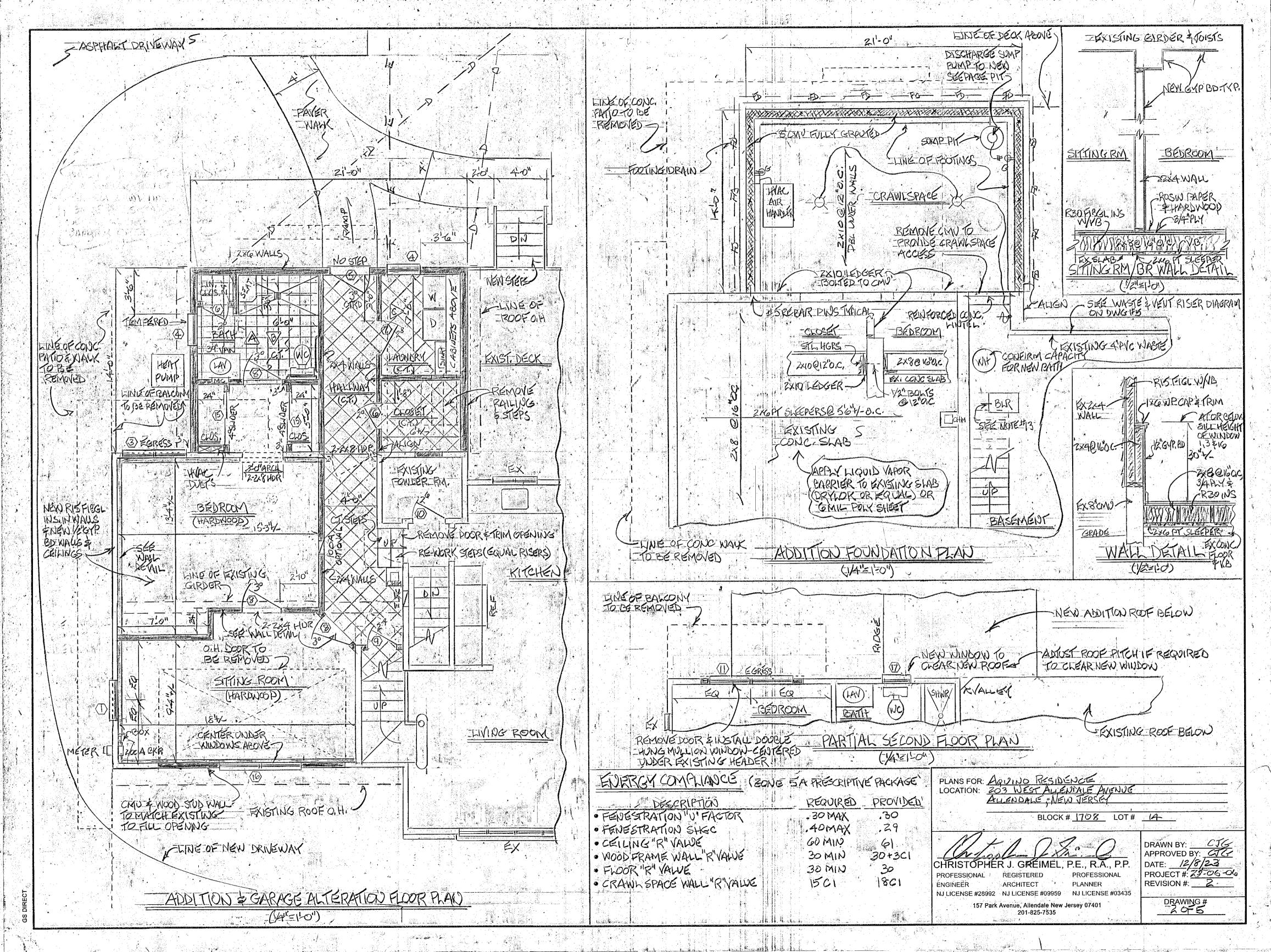


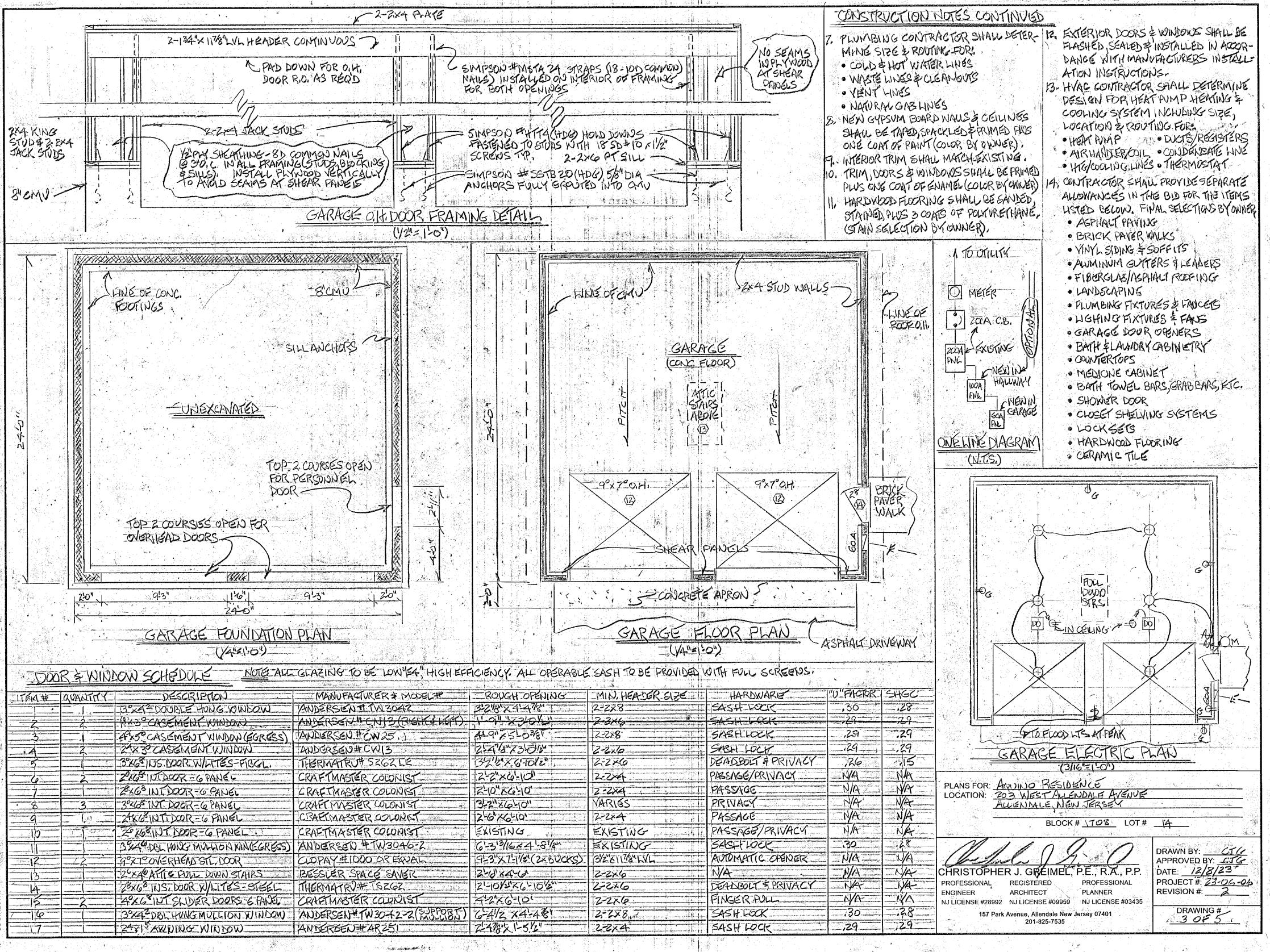
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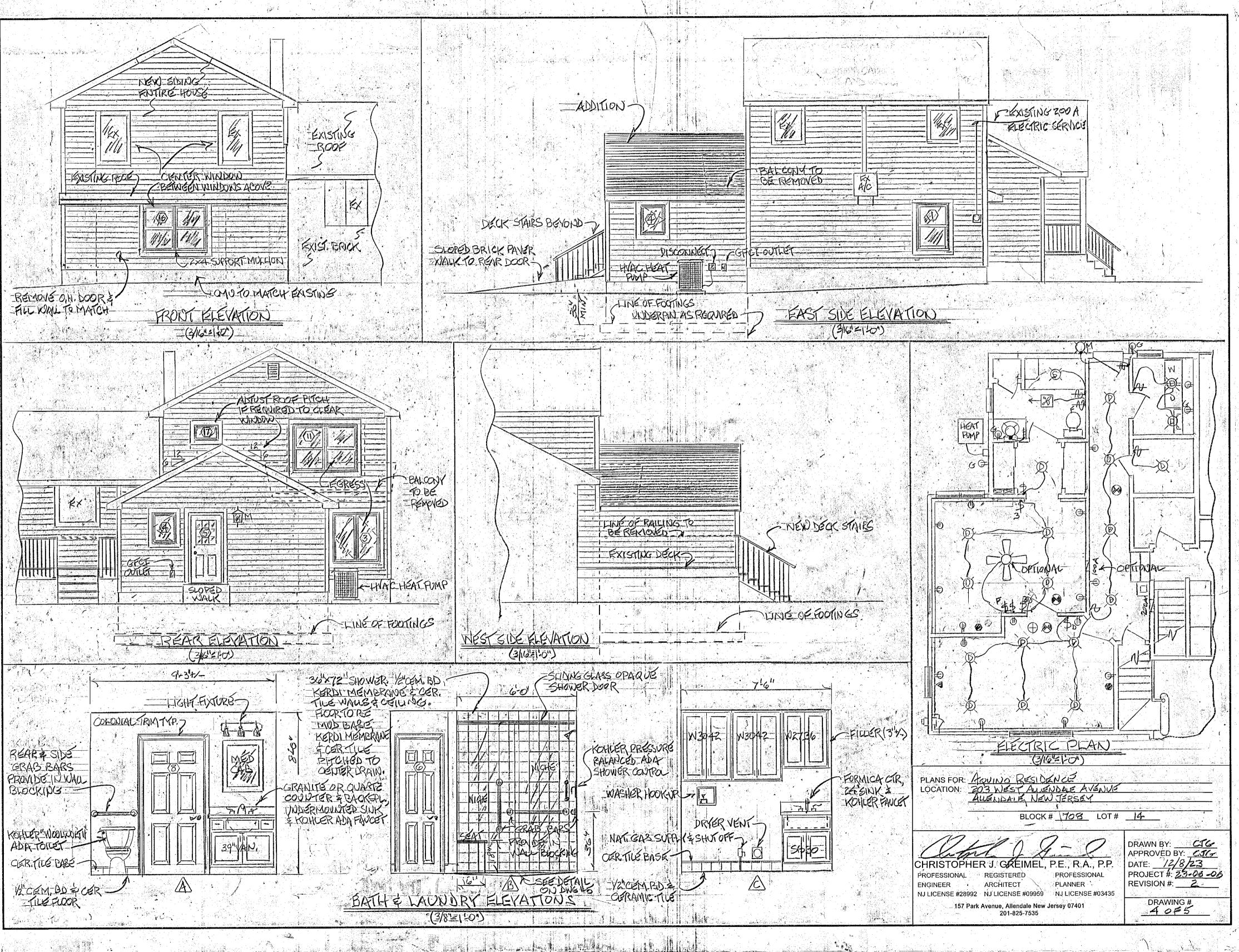


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JTS - "	A" ONE FAM	NIN RESIDE	NTIAL	LEGEND
	REQUIREMEN	and a ministration of the second s	PROPOSIED	EXISTING WALL TO REMAIN
	20,000 SF	25,04337,	25,0435.F.	ETTT WALL TO BE REMOVED
	115	100	17.90 %	NEW WOOD STUD WALL
·A2	21.99% MAX 5507 STR MA	14,43% X 3,6145F	12,99.% 3,252.S.F.	X SILL ANCHOR
				DOOR & WINDOW SCHEDULE ITEM #
	NA	12.32%	10.81%	5 SWITCH
		* * * * * * * * * * * * * * * * * * *	A 942	p ³ 3-way switch
	N/A N/A	4:23% 2:49%	1.43%	\$ ^D DIMMER SWITCH ⇒ 120 VAC RECEPTACLE
	34.7670 WAX	19,04%	27,147%	
				Q CEILING MOUNT FIXTURE(LED)
	35MIN	32,0	32.0	O CEILING MOUNT FIXTURE(LED) DOWNWITE(LED) O NALL MOUNT FIXTURE (LED): MEMOTION DETECTOR
	19.51 MIN 19.51 MIN	17.5' 14.4'	1751 14.41	OF "WALL MOUNT FIXTURE (LED): MEMOTION DETECTOR SMOKE ALARM (120 VAC/EATTERY BACKUP)
	50'MIN	1644	164 1/2	D COALARM (120 VAC/BATTERY BACKUP)
				CABLE TV OUTLET/DATA PORT
	35'MAX	2141-	21'+/-	TELEPHONE OUTLET
	2/281Y.MAX	2 STY BARKI	ZSTY PROP. GARAGE	-I-I CEILING FAN WITH LIGHT KIT
	TO'MIN	114'+/-	123'+/-	COS CEILING FITIN WITTI LIGHT LIT
	G'MIN	[94]	7	5F FAN CONTROL SWITCH
	6'NIN	53'+/-	6747-	
	G'MIN ZI'MAX	95t/ 28t/	951+/- 201+/-	
JILJING	그럼 이 것 같아요. 이야지 않는 것 같아요. 이 것 같아요.	41'+/-	44'+/	DO OVERHEAD DOOR OFENER
		CDATAF	OR CARN	-E- UNDERGRAUND ELECTRIC
	0) = 21.99% M	AX RECEN	TLY DEMOLISHED	-D- UNDERGROUND DRAIN
	S.F. MAX 25,043 = 34.	1.5L MAX		5 SEALED SHOWER FIXTURE (LED)
INOU.		<i>wib</i> i-v y \		FLOODLIGHT (LED) = M = MOTION DETECTOR
WITH AD	DITION & NEW G	ARAGE)=,006×3,2	.52=19 .5 1.	CONSTRUCTION NOTES
-CONFO	RMINGCONDI	TION TO REMAIN	JUNCHANGED.	1. SEE APPENDIX #1 FOR GENERIC NOTES AS APPLICABLE. 2. UNLESS OTHER VOISE NOTED, FRAMING HUMBER SHALL BE:
TACHE	D GARAGE TO	BE. FULLY CONFOR 16 GBA = .006×36	4 = 21.68	· DOUGLAS FIRE SRADE OR BETTER FOR PROTECTED AREAB, \$
CONST	RUCTION REDU	ices sidevard i	REQUIREMENT	· ACQ PRESSURE TREATED SYP, #2 GRADE OR BETTER FOR
NCING	MAGNITUDE C	of side yard non	J-CONFORMANCE	FRAMING EXPOSED TO MOLSTURE , ETC.
MARY	BUILDING.			3. FASTENERS, HANGERS & CONNECTORS USED WITH ACQ SHALL BE! • HOT DIPPED GALVANIBED, OB
				·GIBS TRIPLE ZING COATED (ELECTROPLATED), OT
<u> </u>				• STAINLESS STEEL
IKEM	ENTS .			4. FLASHING IN CONTACT WITH ACQ SHALL BE COPPER.
/ . .		BUILDING AREA: 2		5. STRUCTURES SHALL BE FRAMED USING A COMBINATION OF STRUCTURAL SHEATHING, STEEL CLIPS, THES, STRAPS, AN CHORS
NJ)	• NEX	STRUCTURE VOLUM ROOF AREA: 946 S	E: 12,768C.F.	3 FASTENERS TO PROVIDE A COMPLETE & CONTINUOUS LOAD
(DE, 20)		AREA DISTURBED	>:4000 S.F.	PETH FROM THE BOOF TO THE FOUNDATION.
21		VATION: 60 C.Y.		6 ELECTRICAL CONTRACTOR SHALL DETERMINE?
	이 나는 것 같은 것 같아. 나쁜 그것 같은 것	FLUMBING FIXTU		• BRANCH CIRCULT LOADING \$ SIZING • PANEL SERVICE LOADING \$ SIZING
I CODE, i	그는 지난 것 같아요. 이 집에 있는 것이 같아요. 이 집에 있는 것이 집에 있는 것이 없다. 이 집에 있는 것이 없는 것이 없이 않이	ELECTRIC DEVICE GN LOADSS	SS: 89 HVE DEAD	· CONDUCTOR, CONDUIT & BOX SIZING
rirs	그는 그는 그는 물질 않는 바람이 가 물질 수 있는 것이 없다. 나는 것이 가 있는 것이 없는 것이 없다. 이 없는 것이 없 않이	gn foads, Rage floor	50PSF 60PSF	· CIR WIT BREAKER STAING & TYPE
5:1	가장 같다. 것은 말을 알고 있는 봐.	FLOOR(HOUSE)	TOBF ISPSF	· ROUTING FOR ALL WIRING (CONTINUED ON DWG #3)
IRC DEI	同 • 477	1 C (FIGHT STORAGE)		TPROPOSED ADDITION & DETACHED GARAGE
• • • • • • • • • • • • • • • • • • •		F/SNOW	30PSF 15PSF	
a analysis and a set of the		M. J. Maria	MAATE ZOWIN VAL	PLANSFOR: <u>ADDINO RESIDENCE</u>
LIANC	TO T	(MPILIANA	CLIMATE ZONE SA)	LOCATION: ZO'S WEST ALLENDALE AVENUE ALLENDALE, NEW JERSE (
	REQUIREMENT	PROVIDED	SEN LOW EA)	BLOCK # <u>1708</u> LOT # <u>14</u>
	130 1.40	. 29 LANDER	SEN LOW EA)	M_{1}
	. 60	61 (FIBER	GLAS BATT)	DRAWN BY: CTG
VE	30 GR 20+501	30 (FOAM	IN STUD BAYYS)	CHRISTOPHER J. GREIMEL, P.E., R.A., P.P. DATE: 12/8/23
	30		(GLAS BATT) (BD-INTERIOR)	PROFESSIONAL REGISTERED PROFESSIONAL PROJECT #: 23-00-00 ENGINEER ARCHITECT PLANNER REVISION #: 2
NE.	1501	ISUI (FUAN	TION MATCHICK	NJ LICENSE #28992 NJ LICENSE #09959 NJ LICENSE #03435 157 Park Avenue, Allendale New Jersey 07401
				201-825-7535
		$\sum_{i=1}^{n} \sum_{j \in \mathcal{I}} \sum_{i \in \mathcal{I}} \sum_{i \in \mathcal{I}} \sum_{j \in \mathcal{I}} \sum_{i \in \mathcal{I}} \sum_{i$		

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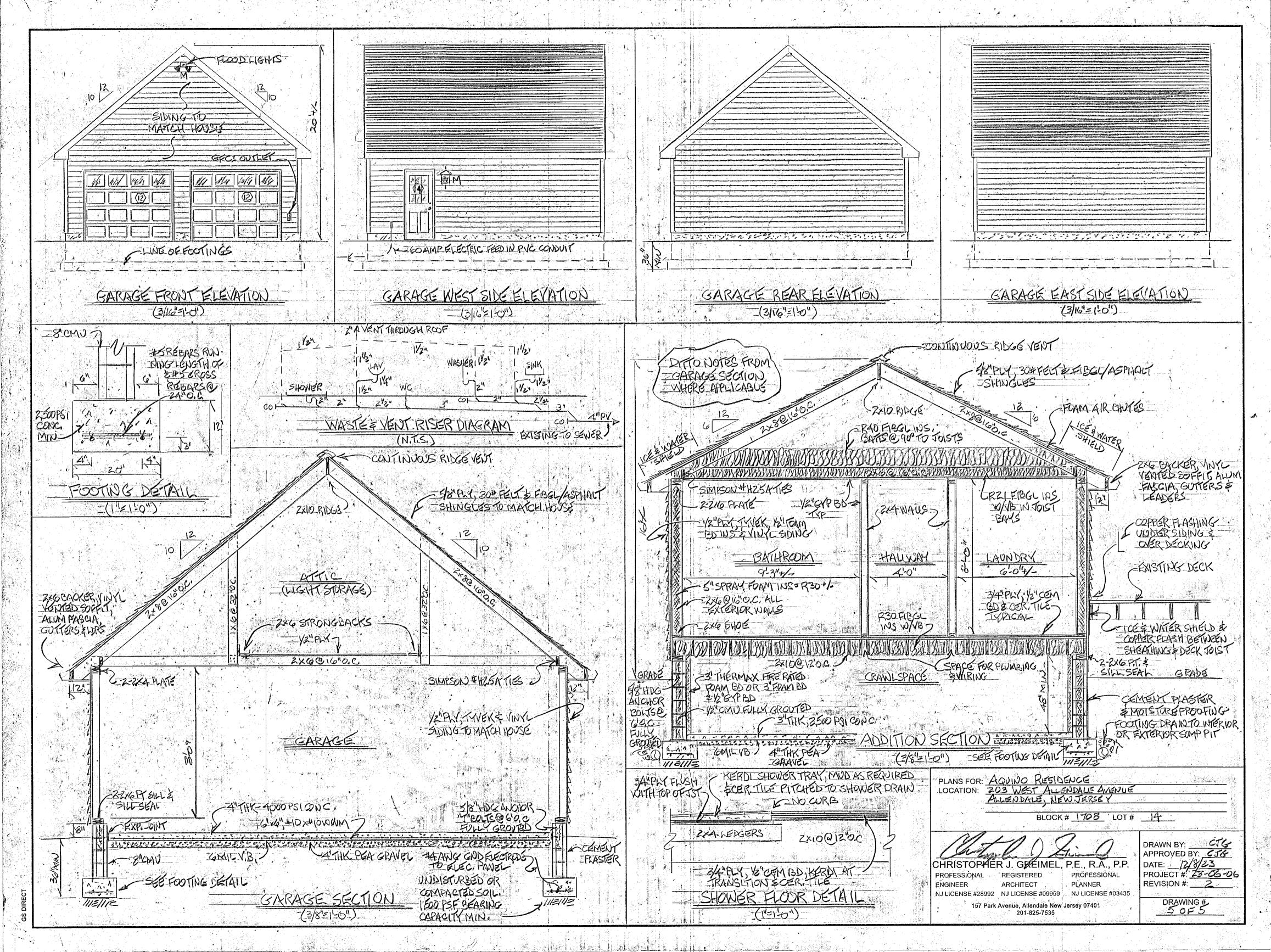






PIR .

1. C. S.



	GENERAL NOTES	-5 PROVIDE 1/2"DIAMETER "I" ANCHOR BOLTS AT 6'-6" O.C.
	AND ALL SAFETY RELATED ASPECTS OF CONSTRUCT	G. FILL ALL HOLLOW CEMENT BLOCK SOLIN TO FOUTING
	TION INCLUDING, BUT NOT LIMITED TO THE MEANS, METHOD'S, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED TO PERFORM THE CONSTRUCTION WORK	-7. BRICK VENEER SHALL BEAR ON 12" GLOCK FUNDATION - WALCS WITH SEMI-SOLID BLOCK UNDER FIRST COURSE
	2. CONTRACTOR SHALL VERIFY ALL CRITICAL DIMEN-	8. ANCHOR BRICK VENEER TO MASONRY BACK-UP OR TO
	SIONS AND CONDITIONS PRIOR TO COMMENCING WORK AND ADVISE ARCHITECT AS TO ANY MATERIAL	WOOD SHEATHING WITH GALVANIZED STEEL TIES SPACED AT 24"O.C. HURIZONTALLY AND 16" D.C.
	DISCREPANCIES FOUND. TO THIS PLAN AND ARCHITECT - SHALL, IN A TIMELY MANNER, ISSUE REVISED CON -	YERTICALLY. PROVIDE 1/2" AIR SPACE BETWEEN WOOD SHEATHING AND BRICK.
N.	STRUCTION BRAWINGS REFLECTING ANY REQUIRED	9. UNLESS OTHERWISE SPECIFIED, PROVIDE ONE STEEL ANGLE LINTEL FOR FACH 4 INCHES OF MASSINGY
	3. CONSTRUCTION SHALL CONFORM TO ALL LOCAL CODES AND PROIMANCES HAVING JURISAICTION. WHERE	WIDTH UBOVE ALL OPENINGS AND RECESSES AS
	DRAYINGS CONFLICT WITH CODE, THE CODE REQUIRE. MENT SHALL TAKE PRECEDENCE. STRUCTURAL	SPAN LINTEL SIZE 0'-0" 41-0" 3"12 × 3"3 × 5/16 (3.6×ALLOW)
	DESIGN HAS BEEN PERFORMED AS PER THE NEW TERSEY UNIFORM CONSTRUCTION CODE AND ANY	4:0"=6:0" 4"× 3"2"× 5/16 (3.2 KALLOW) 6:0"=8:0" 5'× 3"2"×5/16 (3.5 KALLOW)
	A. PROMICTEST SHALL NOT BE RESPONSIBLE WHERE WORK DEVLATES FROM DRAWINGS OR WRITTEN SPECIFICATIONS.	D. MASONRY CHIMNEYS TO BE PROVIDED WITH FIRE CLAY
	5 IN ANY EVENT, ARCHITECT'S RESPONSIBILITY AND HABILITY FOR DESIGN SHALL BE LIMITED TO THE AMUNT	(TERRA COTTA) FLUE LINING AND THIMBLE AS FOLLOWS: FOR HEATING UNIT-SIZE AS RECOMMENDED BY
) OF THE FEE CHARGED FOR THE PROTECT IN QUESTION.) G. JUSE OF THESE DRAWINGS SHALL CONSTITUTE LEGAL AND	• FOR FIREPLACES - SIZE AS REQUIRED BY DAMPER
	CONTRINED HEREIN.	MANUFACTURER FOR FIREPLACE DIMENSIONS SHOWN: PREFABRICATED FIREPLACE AND CHIMNEY FLUE UNITS
	FOOTINGS ARE DESTONED TO AND SHALL GEAR ON	SHALL BETINSTALLED AS PER MANUFACTURERS
	FIRM UNOISTURBED OR COMPACTED EARTH HAVING A	1. THE FOLLOWING TYPICAL FIREPLACE / CHIMNEY DETAIL IS PROVIDED FOR REFERENCE.
	2. ALL DAED FILLS UNDER SLAGS SHALL BE IN G'LAYERS	FILL VOID WITH NON-COMBUSTIBLE TO TO TELLE
2(3. EXTERING FOOTING DEPTH SHALL BE 3'O' MILLIMUM. SELOW VERNEYED GRADES OR DEEPER IF REQUIRED	WOOD LINES / BI 4"MIN
S	4. WHERE FOOTINGS ARE STEPPED, BOTTOMS SUBLE NOT	AS REOD + T
	V SLOPE MORE THAN ONE FOUT VERTICALLY FOR EACH TWO FEET HORIZONTALLY. 5. CONCRETE SLAGS SHALL BE PLACED OVER GMIL	
	GF PORDUS FILL (ERUSHED STONE, BANKRUN OR SAND).	2"MIN. FIREPLACE MIN.
	G. MININIM SPEERD FOOTING SIZE FOR FOUNDATION WALLS SHALL BE AS FOLLOWS:	GALL REAL FLOOR
	$\frac{\partial EPTH}{\partial W} = S''$	B'MIN, TALLOGIG' ALL ST MAY BE REDUCED TO
	6" WIDER FACH SIDE THAN WALL ABOVE IF FORMED 6" WIDER FACH SIDE THAN WALL ABOVE TF NOT FORMED.	MASONRY' HEARTH
	T. MINIMUM FOOTING SIZE FOR MASONRY CHIMNEYS SHALL BE 12" DEEP AND G" WIDER EACH SIDE THAN	PLAN
	CHIMNEY ABOVE	NTIS.
Ś	FOOTINGS, FOUNDATION WALLS & SLABS 2,500 PSI	
	GARAGE FLOOR SLABS).	
	FOUNDATION WALLS, EXTERIOR WALLS 3,000 PST	
	TO WEATHER GARAGE FLOORS & EXTERIOR SLABS 3,500 PSI	FLUE
	9. ALL GARAGE FLOOR SLABS AND EXTERIOR SLABS TO BE PROVIDED WITH 6"X6", 410 STEEL MESH OR	MANTEL AS SPECIFIED
	SUITABLE EQUIVALENT.	4"MIN EIRE CLAY MORTAR PARSING
		CHAMBER FIRE DAMPER
		STEEL ANGLE L'INTEL
		1-8"
	MASONRY	HESS THAN G'SQ. FT.
	L FOUNDATION WALLS TO BE POURED CONCRETE DR HOLLOW CEMENT BLOCK, LAID UP IN RUNNING BUND WITH	AT MIN FIRE BRICK MASONRY HEARTH AS SPECIFIED SUMP -7 FINISHED FLOOR
	BOTTOM COURSE FILLED SOLID, DURAWALL® EVERY OTHER COURSE, AND A 4" MINIMUM SOLID CAP UNDER FRAMING MEMBERS.	
	2. MINIMUM CEMENT BLOCK SIZING SHALL BG:	
F	CEMENT MAXIMUM DEPTH-UNGALANCED FILL BLOCK FOR TYPE OF STRUCTURE ABOVE	ASH PIT
	THICK NESS WOOD FRAME MASONRY VEN. MASONRY 	CAST IRON CLEANOUT DOOR
	10 ⁴ 5 ¹ 0 ⁴ (7 ¹ 0 ⁴) [*] 5 ¹ 6 ⁴ (7 ¹ 0 ⁴) [*] 6 ¹ -0 ⁴ (7 ¹ 0 ⁴) [*] 7 ¹ -0 ⁴ 7 ¹ -0 ⁴ 7 ¹ -0 ⁴	
	* WHERE WARRANTED BY SUIL CONDITIONS. 3. APPLY 1/2" PORTLAND CEMENT PARGING TO EXTERIOR OF	<u>SECTION</u>
	CEMENT BLOCK FOUNDATION WALLS FROM FOOTING TO	NTS
	4. APPLY BITUMINOUS MOISTURE PROOFING OR SUITABLE	TYPICAL MASONRY FIREPLACE DETAILS
	FOUNDATIONS BELOW GRADE:	
	Land Market Land 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
Manual States		

CARPENTRY

1. LUMBER AND IT'S FASTENINGS SHALL CONFORM TO ALL APPLICABLE CODES AND STAINDARDS. 2. STRUCTURAL LUMBER, UNLESS OTHERWISE NOTED, SHALL BE DOUGLAS FIR WITH MINIMUM STRENGTH OF: • F3= 1200 PSI • F4= 90 PSI

3. SILLS SHALL 36 PRESSURE TREATED SOUTHERN

ALTERNATIVE), WITH "SILL SEAL" SANDWICHED BETWEEN

4 SET ALL TOISTS AND BEAMS WITH NATURAL CAMBER UP ENDS LARPED OVER BEARING SHALL BE SECURELY SPIKED TOGETHER. FIRECUT ENDS BEARING IN

ST MASONRY WALLS WITH "T" ANCHORS EVERY 414 TOIST. 5. DOUBLE OP TOISTS UNDER PARALLEL PARTITION WALLS ABOVE.

G. FRAME OPENINGS LARGER THAN 10" WITH DOUBLE HEADERS AND TRUMMERS. 7. UNLESS OTHERWISE NOTED, PROVIDE 5/4"x3" CROSS BRIDGING

AT & O.C. MAXIMUM, FOR FLOOR TOISTS AND SOLID BLOCKING AT TOIST ENDS. S. SUBFLOORING, WALL SHEATHING, AND ROOF SHEATHING SHALL BE "C-D" PLYWOOD; # 32/16 OR BETTER WITH EXTERIOR GLUE IN SIZES SHOWN ON DRAWINGS, 9. UNLESS OTHERWISE SPECIFIED, MINIMUM HEADER

SIZES SHALL BE AS FOLLOWS:

ranaja je s	1-J-PAN	HECLOCK SIEC	
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HEADERS & GIRDERS SPANNING & OR GREATER SHALL BEAR ON DOUBLE STUDS. LAMINATED HEADERS & GIRDERS SHALL BE THROUGH -

BOLTED WITH "12" DIAMETER BOLTS PER MANUFACTURERS

12. BUILT-UP LAMINATED TRUSSES FOR FLOORS, CEILINGS, AND ROOFS SHALL BE INSTALLED AND BRACED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. CUTTING AND BORING FOR DIPING, WIRING, & DUCTING SHALL BE PER MANUFACTURERS LIMITATIONS. 13. WOOD INTERIOR STAIRS, UNLESS OTHERWISE SPECIFIED, SHALL BE CONSTRUCTED OF THE FOLLOWING: STRINGERS: CLEAR PINE = 5/4"KI2"

RISERS: CLEAR PINE, 744"MAXIMUM RISE

(NOT REQUIRED ON BASEMENT STAIRS)

PLUMBING

10.

I. ALL PLUMBING PIPING, DEVICES & AIPLIANCES SHALL BE SIZED, LOCATED AND INSTALLED IN ACCORDANCE WITH THE N.T.U. C.C. AND ANY AND ALL REFORMANCE PLUMBING CODES IN ADDITION TO THE REQUIRMENTS OF THE INTERNATIONAL BUILDING & INTERNATIONAL RES. CODE. IN THE EVENT OF A CONFICT AMONG CODES, THE MOST STRINGENT REQUIREMENT SHALL APPLY.

2 THE PLUMBING CONTRACTOR SHALL SUPPLY ISOMETRIC DRAWINGS SHOWING SCHEMATICALLY THE SIZE, ROUTING AND CONNECTIONS FOR THE FOLLOWING: WATER SUPPLY LINES (HOT I COLD)

- DRAIN LIDES
- NATURAL CAST

- PIPING SYSTEMS WITHOUT PRIOR APPROVAL FROM THS

ARCHITECT AND/OR THE BUILDING INSPECTOR. BORING THROUGH PRE-ENGINEERED JOISTS SHALL BE PER THE MANUFACTURERS SPECIFICATIONS.

GLAZING

1 ALL EXTERIOR GLAZING SHALL BE DOUGLE PANE, GAS FILLED LOW 24" HIGH PERFURMANCE. 2. ENTRANCE DOURS, SIDELITES, SASH

EXTENDING WITHIN IF OF THE FLOOR EXCEEDING 950.FT. & GLAZED SHOWER DOORS SHALL BE PROVIDED WITH TEMPERED SAFETY GLASS.



INSULATION & WATER VAPOR CONTROL

INSULATION SHALL BE EIBERGLASS WITH FOIL FACED VAROR BARRIER UNLESS OTHERWISE NOTED, WITH MINIMUM RATINGS OF:

· RIS FOR WALLS

• R30 FOR FLOORS OVER UNHEATED SPACES • R44 FOR GEILINGS BEIOW UNHEATED SPACES.

ALL INTERIOR SLABS TO BE PROVIDED WITH A G MIL

3. SLABS ON GRADE FOR LIVING SPACES TO BE AROVIDED AT PERIMETR (24" HORIZONTALLY & VERTICALLY) WITH A MINIMUM OF I' FORM BOARD INSULATION.

PROVIDE MINIMUM VENTING OF 1 SQ.FT. PER 150 SQ.ET. DF ATTIC OR CRAWL SPACE. ATTIC SPACES TO BE PROVIDED WITH COMBINATION SOFEIT & RIDGE VENT

SYSTEMS UNLESS OTHERWISE NOTED. BATHS AND LAVATORIES WITHOUT VENTABLE WINDOWS SHALL BE EQUIPPED WITH AN EXHAUST FAN DUCTED DIRECTLY TO THE OUTSIDE.

FIRE SAFETY SMOKE ALARMS (120 V.A.C. WITH BATTERY BACKUP), SHALL BE INSTALLED & LOCATED IN ACCORDANCE WITH THE PLAN HEREIN, THE IR COONE & TWO FAMILY DWELLING

CODE, OR AS OTHERWISE INSTRUCTED BY LOCAL FIRE CODE OFFICIAL.

DEDICATED CIRCUIT GREAKER (IN MAIN PRIVEL) EQUIPPED' WITH A LOCK-ON DEVICE AND SHALL GE WIRED FOR SIMULTANEOUS ALARM.

1410 0

ELECTRICAL

1. ALL ELECTRICAL WIRING, BOXES, CONDUITS, E DEVICES SHALL BE SIZED, LOCATED, & INSTACLED IN ACCORD-ANCE WITH THE NULCC & THE NATIONAL ELECTRIC CONS. 2. GROUND FAULT INTERRUPTER RECEPTACLES AND OR PROTECTED CIRCUITS TO BE PROVIDED IN THE FOLLOWING AREAS: BATHROOMS

·KITCHENS (IN PROXIMITY TO SINK)

·OUTDOOR LOCATIONS

ALL OTHER AREAS WHICH ARE DAMP OR WHICH PASE A SHOCK HAZARD.

MISCELLANEOUS-

1. UNLESS OTHERWISE INDICATED, WHERE EXCAVATION, WORK HAS BEEN PERFORMED, CONTRACTOR SHALL, REGRADE TO PRE-EXISTING CONTOURS, WHILE, ASSURING ADEQUATE ORAINAGE OF SURFACE WATER AWAY FROM THE STRUCTURE. 2. UNLESS OTHERWISE MOICATED, CONTRACTOR SHALL GE RESPONSIBLE FOR DISPOSAL OF ALL CONSTRUCTION DEBRIS, SOIL, ETC. DISPOSAL SHALL GE VIA APAROPRIATE AND LEGAL MEANS.

PLANS FOR: CONSTRUCTION NOTES

LOCATION: <u>APPLICABLE TO RESIDENTIAL</u> <u>STRUCTURES</u> <u>BLOCK #</u> <u>LOT #</u> <u>I57 PARK AVENUE</u> <u>ALLENDALE, N.J.</u> <u>201-825-7535</u> <u>DATE:</u> <u>12/500</u>

PRENDIX

CHRISTOPHER J. GREIMEL, P.E., R.A., P.P. ENGINEER - ARCHITECT - PLANNER #28992 #09959 #03435 REV. # 5

DR ROLANDO AQUINO DR EMMA AQUINO 144 CARLOUGH RD U SADDLE RIV NJ 07458-1414	Cash Management Account® 406 パンパンパンス ^{87.176/843} 30 Date	
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MERRILL MAD. ABANK OF AMERICA COMPANY For Application	he Capuino	MP

DR ROLANDO AQUINO DR EMMA AQUINO 144 CARLOUGH RD U SADDLE RIV NJ 07458-1414	Cash Management Account® 407
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December 20, 2023 03:50 PM

		1708. AQUINO, RO	14. LANDO B &	EMMA S				ar: 2023 to 2 on: 203 W ALL			
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Date	Qtr	Type Descript		Check No	Mthd	Reference		Batch Id	Principal	Interest	2023 Prin Balance
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05/05/23	2	Payment h/o	001	47478595	СК	9537	20	COUNTER	2,900.33	0.00	5,876.03
05/05/23	3	Payment h/o	001	47478595	СК	9537	18	COUNTER	22.89	0.00	5,853.14
08/04/23	3	Payment h/o	001	55785875	СК	9764	31	COUNTER	2,939.02	0.00	2,914.12
11/06/23	4	Payment h/o	001	64141126	СК	9996	3	COUNTER	2,914.12	0.00	0.00

, 't

Total Principal Balance for Tax Years in Range: ______0.00



1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED. 2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NJ STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.

4. STABILIZATION SPECIFICATIONS: A. TEMPORARY SEEDING AND MULCHING:

GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11 LBS./1,000 SF, OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4". SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LB./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS/1000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

B. PERMANENT SEEDING AND MULCHING: TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11 LBS./1,000 SF, OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4". SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LB./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS/1000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

5. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES. 6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.

7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT

8. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.

9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT. 10. DRIVEWAYS MUST BE STABILIZED WITH 1" – 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO

INDIVIDUAL LOT CONSTRUCTION 11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL

12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 30-1 OF THE NJ STANDARDS.

13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL. 14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.

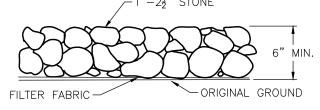
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS. 16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED

AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS. 17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT. 18. ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD. 19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.

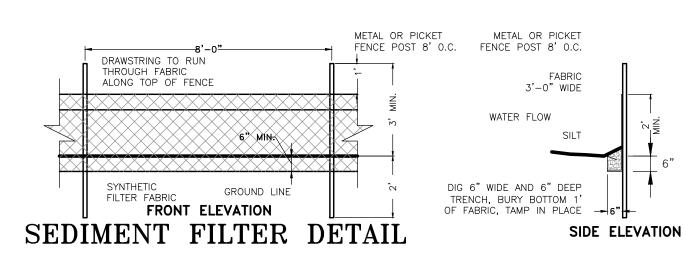
20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE: BERGEN COUNTY SCD, 700 KINDERKAMACK RD., SUITE 106 ORADELL, NJ 07649 TEL: 201-261-4407; FAX: 201-261-7573. 21. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE

ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION. 22. THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

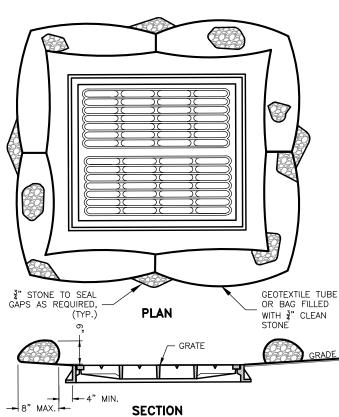
23. THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS IN AN URBAN REDEVELOPMENT AREA.



NOTE: APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R.O.W. MUST BE PROVIDED. STABILIZED CONSTRUCTION ACCESS NOT TO SCALE







FOR USE WITH FLAT GRATES

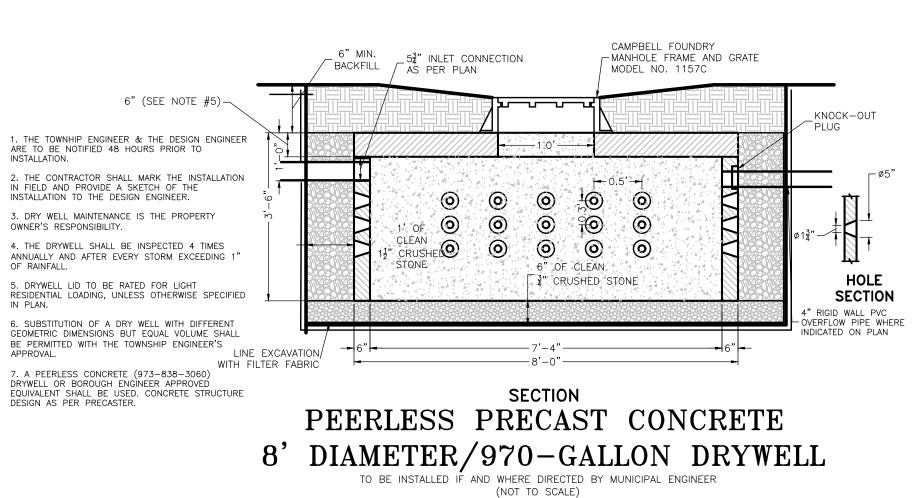
INLET FILTER DETAIL

2. ≹" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE, SEAMS SHALL BE SEWN OR CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE. 3. WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCIRCLE THE DRAIN INLET. 4. INLET GRATE OPENING TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES. 5. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR ILTER RUNOFF FROM TH ILTER KUNOFF FROM THE I-YEAR, 24-HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM. 6. OTHER METHODS THAT OR BAG FILLED WITH ≹" CLEAN STONE CLEAN STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY AS REQUIRED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DEMINION TOWARDS. THE INLET

DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

1. GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 117F BY SYNTHETIC INDUSTRIES INC., OR APPROVED EQUAL.

NOTES:



ALLENDALE NOTES

- 1. THE APPLICANT/OWNER WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE ROADWAY.
- 2. SEWER CLEAN-OUTS NEED TO BE FITTED WITH BRASS CAPS. 3. THE DESIGN ENGINEER IS RESPONSIBLE FOR ENSURING THE EFFECTIVENESS OF THE PROPOSED STORMWATER MANAGEMENT SYSTEM AND SHALL PROVIDE
- SUFFICIENT REGULAR OVER-SIGHT DURING ITS CONSTRUCTION. 4. INFILTRATION STORMWATER MANAGEMENT MEASURES MUST BE PROTECTED DURING CONSTRUCTION TO PREVENT ACCUMULATION OF SEDIMENT. 5. THE INFILTRATION SYSTEM MUST BE INSTALLED 2 FEET ABOVE THE SEASONAL
- HIGH GROUNDWATER TABLE (SHGW) 6. GUARDS, SUMPS, TRAPS AND/OR FILTERS WITH MAINTENANCE ACCESS SHOULD BE CONSIDERED FOR ALL DRAINAGE AND STORMWATER MANAGEMENT MEASURES, WHEREVER PRACTICAL, TO MINIMIZE THE AMOUNT OF COARSE
- PARTICLES AND VEGETATION THAT MAY ENTER THE STORMWATER SYSTEM. 7. TO DEMONSTRATE ADEQUATE SOIL PERMEABILITY AND DOCUMENT THE DEPTH TO THE SHGW, CERTIFIED SOIL LOG(S) OR PERCOLATION TEST(S) AT THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT SYSTEM NEED TO BE PROVIDED (\$225-5.D(2)). THE RESULTS MUST BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER AND THEN PROVIDED TO THE BOROUGH. SHOULD UNFAVORABLE CONDITIONS BE ENCOUNTERED, THE DESIGN ENGINEER WILL NEED TO PROVIDE AN ALTERNATIVE MEANS TO
- ADDRESS AND MANAGE STORMWATER. 8. SHOULD SOIL CONDITIONS BE FAVORABLE FOR THE CONSTRUCTION OF THE PROPOSED INFILTRATION SYTEM, THE APPLICANT SHALL CONTACT THE ALLENDALE CONSTRUCTION DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM TO SCHEDULE AN INSPECTION (§225-5.D(3)). IN ADDITION, THE APPLICANT
- SHALL CONTACT THE ALLENDALE CONSTRUCTION DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION TO SCHEDULE AN INSPECTION. 9. THE APPLICANT/OWNER SHALL ENSURE THAT STORMWATER RUNOFF DOES NOT NEGATIVELY AFFECT NEIGHBORING PROPERTIES DURING AND AFTER
- CONSTRUCTION. 10. THE OWNER WILL BE RESPONSIBLE FOR ENSURING THE PROPOSED STORMWATER MANAGEMENT SYSTEM IS REGULARLY AND EFFECTIVELY
- MAINTAINED WITHOUT NEGATIVE IMPACTS TO DOWNSTREAM PROPERTIES 11. SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROVIDED AND IN PLACE PRIOR TO INITIATING SOIL DISTURBANCE. THE MEASURES MUST BE MAINTAINED UNTIL THE AREA OF DISTURBANCE HAS BEEN PERMANENTLY
- STABILIZED. 12. UPON COMPLETION OF THE CONSTRUCTION OF THE BUILDING FOUNDATION, AN AS-BUILT FOUNDATION LOCATION PLAN PREPARED BY A LICENSED SURVEYOR NEEDS TO BE SUBMITTED FOR REVIEW AND APPROVAL
- (§196–1.C). 13. UPON COMPLETION OF THE PROJECT AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN AS-BUILT PLAN OF THE SITE NEEDS SUBMITTED AND APPROVED.

ALLEND I FNDA 902 KEY MAP

1. OWNER & GENERAL NOTES EMMA & LAURA AQUINO 203 WEST ALLENDALE AVE ALLENDALE, NJ 07446

1" = 200'

- 2. PROPERTY IS KNOWN AS LOT 14 BLOCK 1708
- 3. ALL EXCESS SOIL IS TO BE REMOVED FROM THE SITE
- 4. PROPERTY PERIMETER IS BASED ON A SURVEY BY
- MICHAEL DARMSTATTER, LS. CONKLIN ASSOCIATES
- 5. VERTICAL DATUM LOCAL DATUM FIRST FLOOR @ ELEV. 100.0
- 6. BOROUGH ROADS TO BE KEPT BROOM CLEAN.
- 7. LOT AREA = 25,052 SF AREA WITHIN 175' OF STREET LINE = 17,662 SF
- 8. SCD CERTIFICATION #23-4828, 12/15/23

SEQUENCE OF CONSTRUCTION

- 1. STAKE PROPERTY CORNERS AND PROPERTY LINE.
- 2. INSTALL SILT FENCE & WHEEL BLANKET, IF REQUIRED. 3. STRIP TOPSOIL AND STOCKPILE.
- 4. EXCAVATE AND INSTALL SEEPAGE PIT.
- 6. CONSTRUCT ADDITION. ROOF LEADERS TO BE CONNECTED TO SEEPAGE PIT
- 7. INSTALL UTILITIES. FINAL GRADE.
- FIRMED IN PLACE. STABILIZE. 9. REMOVE SILT FENCE AND WHEEL BLANKET.

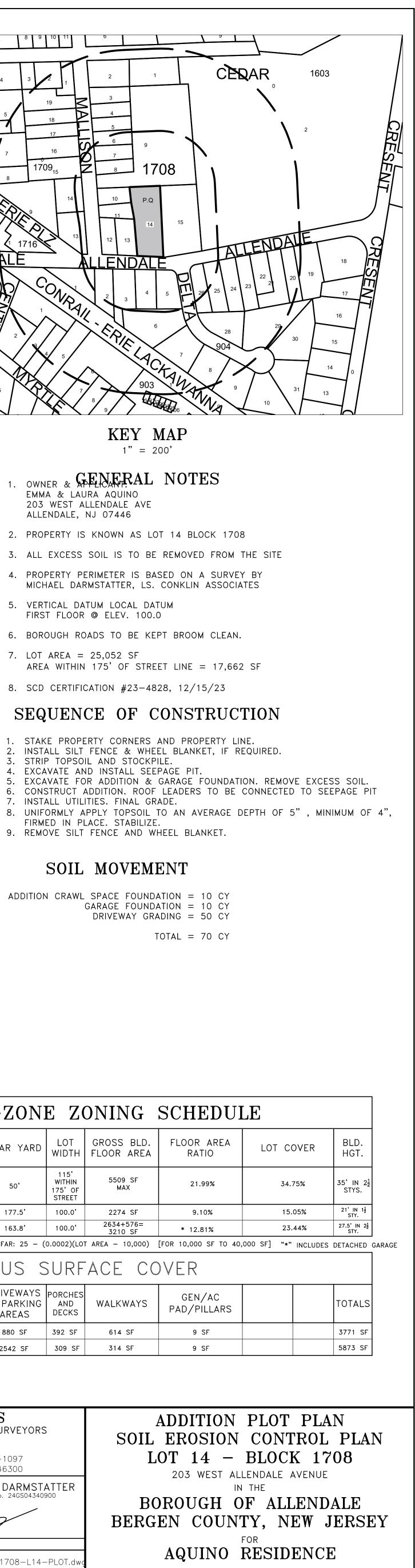
SOIL MOVEMENT

- ADDITION CRAWL SPACE FOUNDATION = 10 CYGARAGE FOUNDATION = 10 CY
 - DRIVEWAY GRADING = 50 CY
 - TOTAL = 70 CY

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BULK ZONE REQUIREMENT	LOT AREA	FRONT YARD	1ST SIDE YARD	2ND SIDE YARD	REAR YARD	LOT WIDTH	GROSS BLD. FLOOR AREA	FLOOR RATI
	20,000 SF WITHIN 175' OF FRONT STREET	35'	15'	15'	50'	115' WITHIN 175' OF STREET	5509 SF MAX	21.9
EXISTING	17,662 SF	32.1'	17.5'	14.4'	177.5'	100.0'	2274 SF	9.10
PROPOSED	17,662 SF	32.1'	17.5'	14.4'	163.8'	100.0'	2634+576= 3210 SF	* 12.81
	SQRT(LOT AREA) [FOR 10 00		40.000.05	/			-
UT COVER: 55 / .	SQNI(LOI ANEA) [<u>- rok 10,00</u>	0 35 10	40,000 SF] FAR: 25 - (0.0002)(LO	F AREA - 10,000)	[FOR 10,000
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.01 COVER. 33 7 .	BUILDING (PF		IMP buil		IOUS S		ACE CC)VER gen/
EXISTING		RIMARY)	BUIL (ACCE	ERV	DRIVEWAYS & PARKING	BURF PORCHES	ACE CC	

ADDITI	SSOCIATES	CONKLIN A	REVISION DIGEST	
SOIL EROSI		PROFESSIONAL ENGINEER 29 Churc	12/20/23	
LOT 14 203 WES	AMSEY, NJ 07446 5, FAX (201) 934-1097	P.O. BOX 282, R PHONE (201) 327-0443 CERTIFICATE OF AUTHOR		
	MICHAEL H. DARMSTATTER P.L.S., NJ License No. 24GS04340900	TIBOR LATINCSICS N.J.P.E. 32444, N.J.P.P. 3736		
BOROUGI BERGEN CO		Lila latinasias		
AQUIN	PLOT NO.: ALL-B1708-L14-PLOT.dwg		SCALE: 1" = 20' ORIGINAL PLAN DATE: 11/29/23 SURVEY DATE: 11/27/23	





Memorandum

То:	Borough of Allendale Land Use Board L. Garofalo, Board Secretary / L. Calli, Board Attorney
Cc:	L. Aquino, Applicant / C. Greimel, Applicant's Engineer & Planner
From:	Michael Vreeland, Board Engineer Michael Vruld
Date:	January 11, 2024
Re:	LUB 2024-02 – Aquino Variance Application –Addition and Detached Garage 203 West Allendale Avenue Block 1708, Lot 14 ALN-1001.072

We are in receipt of the following information pertaining to the above-referenced application:

- A. Land Use Application and associated documents;
- B. Soil Movement Application and associated documents;
- C. Plan entitled, "Boundary & Topographic Plan of, Lot 14, Block 1708, 203 West Allendale Avenue, Borough of Allendale, Bergen County, New Jersey". The plan prepared by Darmstatter, Inc. (Michael H. Darmstatter, PLS), is dated November 27, 2023;
- D. Setback and photograph exhibits. The exhibits prepared by Christopher Greimel are dated December 14, 2023 and December 20, 2023, respectively;
- E. Plan set consisting of 6 sheets entitled, "Proposed Addition & Detached Garage, Aquino Residence, 203 West Allendale Avenue, Allendale, New Jersey". The plans prepared by Christopher Greimel, PE, RA, PP, are dated December 8, 2023; and
- F. Plan entitled, "Addition Plot Plan, Soil Erosion Control Plan, Lot 14 Block 1708, 203 West Allendale Avenue, In The, Borough of Allendale, Bergen County, New Jersey, For Aquino Residence". The plan prepared by Conklin Associates (Tibor Latincsics, PE & Michael H. Darmstatter, PLS), is dated November 29, 2023.

We have reviewed the information along with the Borough Code (Code), visited the site and offer the following comments:

OFFICE LOCATIONS

Lebanon, NJ 908-735-9500

Hillsborough, NJ 908-359-8291 Hamilton, NJ 609-689-1100

Mt. Arlington, NJ 862-284-1100 Toms River, NJ 732-573-0490

Phillipsburg, NJ 908-454-3080 www.vancleefengineering.com

Freehold, NJ 732-303-8700

Doylestown, PA 215-345-1876 Bethlehem, PA 610-332-1772

Pottstown, PA 610-323-4040



1. INTRODUCTION

The subject ±0.575 acre property is commonly known as 203 West Allendale Avenue. The property is currently developed with a single-family dwelling and associated amenities. The property is located within the Borough's A Residence Zone District and is surrounded by residential uses.

The application and plans propose additions and renovations to the dwelling (including a rear addition, conversion of the existing garage to living space and a new detached garage).

The application and plans request relief for conflicts with §270-64C(2) (side yard setback). Relief may also be required to allow the driveway to remain in front of the dwelling §270-18B.(6).

2. TECHNICAL COMPLETENESS

We have reviewed the application for technical completeness in accordance with the Application Checklist. Based on the nature of the proposal, we believe the Applicant's submission is sufficient to conduct technical review.

We defer to the Land Use Administrator and the Board Attorney regarding administrative and legal completeness matters.

3. ZONING

We have reviewed this application in accordance with the requirements of the Code. Based on this review we find the following:

- 3.1. Discrepancies exist between the information presented in the Greimel Zoning Requirements Table and the Conklin Associates Zoning Schedule. Testimony should address the discrepancies.
- 3.2. <u>Non-Conforming Conditions</u>:
 - 3.2.1. <u>§270-18B(2)</u> Driveway Width
 Comment: The illustrated driveway appears to be 48 ft wide at the rear parking/turning area and exceeds the allowable 35 ft width.
 - 3.2.2. <u>§270-18B(3)</u> Driveway Curb Cuts
 Comment: The illustrated curb cut appears to be 23 ft wide and exceeds the allowable 20 ft width. The application does not appear to alter this condition.
 - 3.2.3. <u>§270-57(B)</u> Front Yard Setback
 Comment: The zoning information indicates the existing dwelling encroaches ±3 ft into the required 35 ft front yard setback. The application does not appear to alter this condition.
 - 3.2.4. <u>§270-57F</u> Minimum Lot Width Comment: The zoning information indicates the existing 100 ft width is less than the required 115 ft. The application does not appear to alter this condition.



3.2.5. <u>§270-64C(2)</u> – Side Yard Setbacks

Comment: The Greimel zoning information indicates an original gross building area of 3,614 sf (prior to removing a barn from the property). The dwelling encroached ± 4.2 ft (left) & ± 7.3 ft (right) into the required ± 21.7 ft enhanced side yard setback.

Removal of the barn along with the proposal decreases the GBA to 3,252 sf and requires ± 19.5 ft enhanced side yard setback. The dwelling would encroach ± 2 ft (left) & ± 5.1 ft (right) into the required ± 19.5 ft enhanced side yard setback.

3.3. Discussion:

Since this proposal does not meet the requirements noted above, the Applicant must seek relief from the Board pursuant to the Municipal Land Use Law under N.J.S.A. 40-55D-70c.

The Applicant has requested "C" variances in conjunction with this proposal.

"C(1)" or "Hardship" Variances:

In judging an application by the C(1) criteria, the core question presented to the Board is whether there has been a showing of (1) peculiar and exceptional practical difficulties to, or (2) exceptional and undue hardship upon, the Applicant arising out of (a) the exceptional narrowness, shallowness or shape of the subject property, or (b) by reason of exceptional topographic conditions or physical features uniquely affecting the subject property, or (c) by reason of an extraordinary and exceptional situation uniquely affecting the subject property or the structures lawfully existing thereon. In all cases, the alleged hardship must relate to a specific piece of property.

"C(2)" or "Benefits v. Detriments" Variances:

In judging an application by the C(2) criteria, the core questions presented to the Board is whether the grant of a variance would promote or advance the purposes of the Municipal Land Use Law and the benefits of such deviation outweigh any detriment.

As in all variance cases, the Applicant bears the burden of proving both the positive and negative criteria. Relief cannot be granted unless it can be granted without substantial detriment to the public good and unless it will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

We specifically note that it is the Applicant's burden to show the special reasons and satisfy the negative criteria. As such, the Applicant will need to present additional information concerning the aforementioned issues as well as the positive and negative elements pertaining to the subject proposal.



4. TECHNICAL REVIEW COMMENTS

- 4.1. Testimony should address proposed building finishes, colors, and materials.
- 4.2. Testimony should address exterior lighting.
- 4.3. Roof runoff from the proposed garage and existing downspout located along the proposed driveway should not be directed towards adjacent properties.
- 4.4. Should the Board approve this application:
 - 4.4.1. The Applicant will need to obtain Soil Movement Permit (§225) and Plot Plan Approval (§196). A soil movement application has been submitted.
 - 4.4.2. We recommend an "As-Built Plan" be required prior to requesting a certificate of occupancy.

Please contact me should you have any questions.