

LAND USE BOARD
BOROUGH OF
ALLENDALE
Municipal Building
500 West Crescent Avenue
Allendale, NJ

The Meeting of the Allendale Land Use Board will be held in the Council Chambers in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401 on April 17, 2024 at 7:30 p.m. Formal action will be taken.

- I. CALL TO ORDER
 - A. Open Public Meetings Act Announcement
 - B. Salute to Flag
- II. ROLL CALL
- III. APPROVAL OF MINUTES
[March 20, 2024 Land Use Board Regular Meeting](#)
- IV. PUBLIC HEARINGS

[Application File No.: 2024-04](#)

[Applicant: Allendale Rehabilitation & Healthcare](#)

Address: 85 Harreton Road, Allendale, NJ 07401

Block: 601 Lot: 7

Application: Construct an 8,541 square foot addition to a non-conforming assisted living and skilled nursing home.

[Application File No.: 2024-05](#)

[Applicant: Ken Magro](#)

Address: 345 Hillside Avenue, Allendale, NJ 07401

Block: 101 Lot: 7

Application: Remove and replace existing driveway greater than 35 feet.

[Application File No.: LUB 2024-06](#)

[Applicant: Crestwood Lake Concession Stand](#)

Address: 300 W. Crescent Avenue, Allendale, NJ 07401

Block: 201 Lot: 9

Application: Courtesy review of the new concession stand at Crestwood Lake

V. OPEN TO THE PUBLIC FOR COMMENT

VI. OTHER

VII. ADJOURNMENT

****AGENDA & AGENDA MATERIALS SUBJECT TO CHANGE****

Borough Website
Bulletin Board

BOROUGH OF ALLENDALE LAND USE BOARD
APPLICATION FOR DEVELOPMENT

Application No. _____ Application Perfected _____
Filing Date _____ Nature of Disposition _____
Time Limitation Date _____ Date of Disposition _____
Notice of Incomplete Application _____

SECTION I. APPLICANT HEREBY APPLIES FOR:

_____ Concept Review	Fee Paid _____
<u> X </u> Preliminary Site Plan Approval	Legal & Engrg. Escrow Paid _____
<u> X </u> Final Site Plan Approval	Taxes Paid <u> X </u>
_____ Sketch Plan Review and Classification	
_____ Minor Subdivision Approval	
_____ Major Preliminary Subdivision	
_____ Final Subdivision	
<u> X </u> Variance Relief Pursuant to 40:55D- 60 (c)	
_____ Subdivision or Site Plan Deviation relief	
_____ Modification or Waiver of Subdivision or Site Plan details	
_____ Conditional Use Approval	
<u> X </u> Other (Please Specify) <u> Variance pursuant to N.J.S.A. 40:55D-70(d)(2) for expansion of a nonconforming use </u>	

SECTION II.

A. APPLICANT INFORMATION:

Allendale Operator, LLC d/b/a Allendale Rehabilitation and Healthcare & Allendale Assisted Living, LLC d/b/a/ Allendale Senior Living

1. Name of Applicant: _____ Phone: (732) 903-9516

Address of Applicant: _____

(If Applicant is other than an individual, complete Appendix A – Disclosure Statement)

2. Name and Address of Applicants Attorney, If Any:

 Michael S. Rubin, Esq.; 80 Bloomfield Avenue, Suite 205, Caldwell, NJ 07006

 Allendale Real Property, LLC

3. Name and Address of owner of premises : 1608 Route 88, Suite 200, Brick, NJ 08724

4. Correspondence is to be Addressed and Mailed as Follows :

 Michael S. Rubin, Esq.; 80 Bloomfield Avenue, Suite 205, Caldwell, NJ 07006; mrubin@rubinnjlaw.com

5. The Premises Which Are the Subject of this Application Are Known as :

 85 Harrenton Road and are shown as Lot

 7 in Block 601 on Sheet # 6 of Allendale

Tax Map.

6. The size of the premise is 480,967 square feet; 11.041 acres.

Frontage: 547.99 ; Depth: 894.25 .

7. The zone district in which premise are located is AAA Residence Zone District
8. Now located on premise ~~is~~ are a skilled nursing and an assisted living facility
9. The date of the last deed of record is August 4, 2021, which deed was recorded in the Deed Book 4430 at page 41.
10. The grantee(s) named in said deed were Allendale Real Property, LLC.
11. The interest of the applicant in premise, if other than the owner, is:
Lessees

B. SUBJECT PROPERTY SITE DATA

Location: 85 Harrenton Road; access is from Route 17

(Street Address, Cross Streets or Other Identifications)

Tax Map: Page(s): 6 Block(s): 601 Lot(s): 7

Dimensions:

Frontage: 547.99 feet Depth: 894.25 feet Total Area: 11.041 feet/acres

Present Zoning District: AAA Residence Zone District

Present Use of Subject Property: Skilled nursing facility and assisted living facility

Is the property located on a Municipal X County _____ or Private _____ Road?

Proposed Use/Change No change of use proposed

Describe in detail the exact nature of the application and to the changes to be made to the subject property, including proposed use of premise.

In the southerly portion of the lot, demolish an existing detached garage and construct a one-story, 8,541 s.f. addition to the skilled nursing facility. Reconfigure parking areas in the southerly, easterly and northwesterly sections of the lot while maintaining the existing 170 stalls.

The addition will increase the skilled nursing beds from 120 to 142. Separately, ongoing internal modifications to the assisted living facility will reduce those beds from 211 to 174, including 48 memory care beds. After all construction, total beds will be reduced from 331 to 316.

Proposed Number of Buildings: 1

Proposed Gross Floor Area of all structures: 162,512.9 Sq. Ft.

Percentage of coverage by buildings: 24.9%

Percentage by impervious cover: 52.0%

Number of existing lots: 1 Proposed number of lots: 1

Proposed No. of dwelling units: None

Proposed area to be disturbed : 43,267 Sq. Ft.

Existing Building Height: Two stories/36.8 FT. & one-story/24.1 FT.

Proposed Building Height: Existing unchanged; addition: 11.6 FT.

Anticipated Number of Employees per Shift: 80 Hours of Operation: 24/7; 365 days per year

Restrictions, covenants, easements, association by-laws, existing or proposed on property:

Existing: Yes ☒ No ☒ Proposed: None Existing easements depicted on survey and reflected in title report. No new easements proposed.

Attach legible copies of deed restrictions. None

Does the within proposal affect a Municipal or State designated historic site and/or building? ☒ No

C - ZONING DATA: SEE ZONING SCHEDULE ANNEXED AS APPENDIX C

(State current zone in which lot(s) is located)

AAA Residence Zone District

D - EXISTING CONDITIONS: (Attach additional sheets containing responses to the following);

1. Are there any buildings or signs now on the site? Yes ☒ No ☒ If yes, which if any, is the applicant proposing to remove. Detached garage in southerly portion of site.
2. Is the applicant proposing to erect new signs on the site? ☒ No ☒ If yes, describe proposed sign locations, sign design, dimensions as depicted on plans and state whether the proposed sign(s) comply with Borough sign ordinance.
3. Is the applicant proposing the removal of any existing fences? ☒ No ☒ Describe and state whether proposed fence(s) comply with the Borough Fence Ordinance.
4. Is the site in conformance with the Zoning Ordinance of the Borough? No
5. Identify the soils at the site, using the U.S. SCS descriptions. What percentage of the site is covered by each soil type. [For items 5-9, see Supplement dated May 31, 2023, submitted herewith.]

Soil Map Unit	Percentage Cover	Acidity	Erodibility	Drainage
---------------	------------------	---------	-------------	----------
6. Describe dominant flora and fauna at the site.
7. Are there threatened or endangered wildlife and/or vegetative species at the site? Yes _____ No X
8. What is the source of information leading to your conclusions about threatened or endangered wildlife or species?

9. If endangered or threatened species are associated with the site, list them below.

10. Percentage of site with

0 to 10% slopes: 89.8%+/-

10 to 15% slopes: 4.5%+/-

15 to 20% slopes: 1.2%+/-

20% slopes: 4.5%+/-

E. REVISIONS TO APPROVED PLANS: Please indicate prior Allendale LUB application numbers, the original requirements of the approved plan and the requested change or revision (attach separate sheet if necessary).

See prior resolutions submitted herewith. The three Planning Board resolutions were received in response to an OPRA request.

Section III. APPLICATION INFORMATION

A. Does the current owner or the applicant now own or have any interest in any other property which adjoins the premises which are the subject of this application? _____ Yes X No

(If yes, describe the contiguous property by reference to the current tax map of Borough of _____)

B. Have the premises which are the subject of this application been the subject of Land Use Board action?

X Yes _____ No

(If yes, please attach a copy of the Land Use Board resolution to this application)

C. Are the premises which are the subject of this application located within 100 feet of a brook or located on a county road? X Yes _____ No. Do the said premises consist of more than one acre in area?

X Yes _____ No – Does the proposed improvement on said premises involve the installation of more than five parking spaces? _____ Yes X No

D. Is any portion of the premises which are the subject of this application intended to be dedicated or reserved for the public use? _____ Yes X No

E. If this application is for final subdivision approval, does the final plat follow exactly the preliminary plat in regard to details and area covered? _____ Yes _____ No If not, indicate material changes N/A

F. If this application is for variance relief, has a decision been rendered or an order issued by the Borough Director of Buildings and Inspections? _____ Yes X No

- I. The details of the within application are shown on a certain plan entitled
Proposed Building Addition and Parking Modifications/Allendale Rehabilitation and Healthcare &
Allendale Senior Living
Said plan is comprised of 18 sheets.

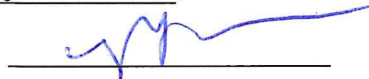
Section IV. INFORMATION TO BE SET FORTH IN APPENDIX B.

- i. If this application is for various relief, pursuant to 40:55D-60 (c), please set forth in Appendix B, Section 1, hereof, all of the information requested.
- ii. If this application is for subdivision or site plan standards relief, please set forth in Appendix B, Section 2 hereof, all of the information requested.
- iii. If this application is for modification or waiver of site plan or subdivision details, please set forth in Appendix B, Section 3 hereof, all of the information requested.

Section V. AUTHORIZATION BY OWNER

Allendale Operator, LLC d/b/a Allendale Rehabilitation and Healthcare & Allendale Assisted Living, LLC d/b/a Allendale Senior Living
_____ is hereby authorized to file the within application with
the Borough Clerk of the Borough of Allendale.

Dated: 2-5-24

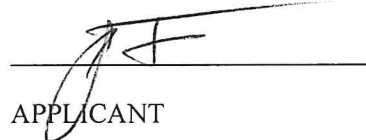


OWNER

Section VI. CERTIFICATION BY APPLICANT

The undersigned applicant does hereby certify that all of the statements contained in this application are true.

Dated: 02-05-24


APPLICANT

Schedule A

CHECKLIST FOR SUBMISSIONS OF DEVELOPMENT APPLICATIONS

LAND USE BOARD OF THE BOROUGH OF ALLENDALE

Allendale Operator, LLC d/b/a Allendale Rehabilitation and Healthcare
NAME OF APPLICANT: Allendale Assisted Living, LLC d/b/a Allendale Senior Living
NAME OF OWNER OR DEVELOPMENT NAME: Allendale Real Property, LLC
LOT 7, BLOCK 601
DATE OF APPLICATION _____

An application for development shall not be considered complete until all the material and information specified below has been submitted unless, upon receipt of written request from the applicant, a specific requirement is waived by the municipal agency, or the agency otherwise deems a requirement inapplicable to the application. Certification of completeness or a Notice of Deficiencies shall be made, and any request for waiver shall be granted or denied, within 45 days of the filing of the application with the municipal agency.

No public hearing shall be scheduled for an application until the same has been deemed complete by the appropriate administrative officer or otherwise as permitted by the law.

Schedule "A" – General Requirements.

(Applicable to all applications)

1. Fifteen (15) copies of the appropriate application form(s), completely filled in and filed with the appropriate administrative officer. If any item is not applicable to the Applicant, it should so be indicated on the application form(s).
2. Certificate of Borough Tax Collector that all taxes and assessments on the property are paid.
3. Receipt indicating that fees and escrow deposits are paid pursuant to schedule.
4. Fifteen (15) copies of any required plot plan, site plan, or subdivision plan, clearly and legibly drawn at a scale of not smaller than 1 inch = 100 feet. Said plans to be prepared by a licensed engineer or land surveyor of the State of New Jersey as applicable with name address and seal of preparer on plat. Entire tract to be shown on one sheet.

Complies	Deficient	Waiver Request
X		
X		
X		
X		

5. Affidavit of ownership. If Applicant is not the owner, Applicant's interest in land; e.g, tenant, contract/purchaser, lienholder, etc.	X		
6. One of the following: a) A letter of interpretation from the N.J.D.E.P. indicating the absence of freshwater wetlands, or indicating the presence and verifying delineation of the boundaries of freshwater wetlands, or , b) A letter of exemption from the N.J.D.E.P. certifying that the proposed activity is exempt from the Freshwater Wetlands c) A copy of any application made to the N.J.D.E.P for any permit concerning a proposed regulated activity in or around freshwater wetlands. The Land Use Board may waive the above requirements where it can be established by the applicant and verified by the board and its professionals that no wetlands exist on site or no contiguous property owned by the applicant.			X
7. If Applicant is a corporation or partnership, list the names and addresses of all stockholders or individual partners owning at least 10% of its stock of any class as required by N.J.S. 40:55D-48.1 et seq.	X		
8. Number and name(s) of witnesses and their expertise, if any.	X		
9. Statement as to any requirements for which waiver is sought together with statement of reasons why waivers should be granted.	X		
10. In subdivision and site plan applications for residential construction, a certification of the applicant or the applicant's engineer that the application complies with all requirements of the Residential Site Improvement Standards or other applicable regulations adopted by the Department of Community Affairs. If exceptions or waivers from such standards are sought, a statement of the hardship claimed, the reasons and conditions justifying the same and identification of any danger to health, safety or welfare resulting from adherence to said standards.			N/A

[illegible]

1. Metes and bounds description of parcel in question based upon current land survey information.
2. Property line shown in degree, minutes and seconds.
3. Key map showing location of tract to be considered in relation to surrounding area, within 500 feet
4. Title block containing name of applicant, preparer, lot and block number, date prepared, date of last amendment and zoning district.
5. Each block and lot numbered in conformity with the municipal tax map as determined by the municipal tax assessor.
6. Scale of map, both written and graphic.
7. North arrow giving reference meridian.
8. Space for signature of Chairman and Secretary of the Municipal Agency.
9. Names of owner and all property owners within 200 feet of subject property.
10. Location of existing and proposed property and structures with dimensions in feet up to the nearest two decimal places, with setback, side yard and rear yard distances for existing structures and with building envelope of each proposed lot formed by minimum front, rear and side yard distances.
11. Schedule of Zone Requirements for zoning district in which parcel is located, indicating all setbacks, lot coverage, height, floor area ratio, and density, both as to required and proposed.
12. Acreage of affected parcel to the nearest hundredth of an acre.
13. Delineation of proposed lots, specifying areas of lots in acres, if on acre or over, and in square feet.
14. Provide a Polaroid or other similar photograph of the premises in question taken from the opposite side of the street.

Natural Features and Topography

Topography of the site and within 200 feet thereof.

15. Contours to determine the natural drainage of the land. Intervals shall be: up to 10% grade-2 feet; over `10% grade- 5 feet.
16. Cliffs and rock outcroppings.(Preliminary Site Plans and n

17. Location of flood plains or flood hazard areas.
18. Natural and artificial watercourses, streams, shorelines and water boundaries and encroachment lines.
19. Aquifer recharge areas, including safe sustained ground water yield.
20. Wooded areas indicating predominant species and size.
21. Location of trees 6 inches or more in diameter, as measured one foot above ground level, outside of wooded area, designating species of each. (Preliminary Site Plans and major subdivision only.)
22. Areas in which construction is precluded due to presence of stream corridors and/or steep slopes.
23. All areas to be disturbed by grading or construction.
Man-made Features On Site And Within 200 Feet Thereof
24. Location of existing structures and their setbacks from existing and proposed property lines.
25. Location of existing easements or rights of way including power lines.
26. Location of existing railroads, bridges, culverts, drain pipes, water and sewer mains and other man-made installations affecting the tract.
27. Location of existing wells and septic systems on the property and within 100 feet.
28. Plans and profiles of proposed utility layouts such as sewers, storm drains, water, gas and electric, showing feasible connections to existing or proposed utility systems. (Major site plans and subdivisions only.)
29. Location and description of monuments, whether set or to be set. (Preliminary Site Plans and major subdivision only.)
30. Plans, profiles and cross-sections of all proposed streets and private roadways on the property and within 200 feet of the tract.
31. Indication of required road dedication.
32. Road orientation (as it relates to energy conservation)
33. Sketch of prospective future street system of the entire tract where a preliminary plat covers only a portion thereof.
34. Proposed sign easements where required.
35. Proposed drainage easements where required.
36. Natural resource inventory information including:
 - a) Soil types as shown by the current Soil Conservation and Survey Maps.

X		
X		
		N/A
X		
X		
X		
X		
X		
		X
X		
X		X (Partial)
X		N/A
		N/A
		N/A
		N/A
		N/A
		N/A
X		
X		
X		

- b) Soil depth to restrictive layers of soil.
 - c) Soil depth to bedrock
 - d) Permeability of the soil by layers.
 - e) Height of soil water table and type of water table
 - f) Flood plain soil (status).
 - g) Limitation for foundation
 - h) Limitation for septic tank absorption field (only where septic tank is proposed to be used.)
 - i) Limitation for local road and streets
 - j) Agricultural capacity classifications
 - k) Erosion hazard.
37. Landscaping plan including the types, quantity, size and location of all proposed vegetation. The scientific and common names of all vegetation shall be included. (Preliminary Site Plans and major subdivision only.)
38. Soil Erosion and Sediment Control Plan consistent with the requirements of the local soil conservation district.
39. Design calculations showing proposed drainage facilities to be in accordance with the appropriate drainage run-off requirements.
40. The purpose of any proposed easement of land reserved or dedicated to public or common use shall be designated and the proposed use of sites other than residential shall be noted.
41. Any sections for which a waiver is specifically being requested and a narrative paragraph explaining why the Applicant is entitled to such waiver.
42. Proof that application has been made to the Bergen County Planning Board.
43. Proof that a Soil Erosion and Sediment Control Plan has been submitted to the B.C.S.C.D. if more than 5,000 square feet of ground is to be disturbed.
44. An environmental impact statement if required.

X		
X		
X		
X		
X		
X		
X		
X		
X		
X		
X		
X		
X		
		N/A
		N/A
		X
		X
		X

Borough of Allendale Land Use Board

Disclosure Statement – Appendix A

Allendale Operator, LLC d/b/a Allendale Rehabilitation and Healthcare

Name of Applicant: Allendale Assisted Living, LLC d/b/a Allendale Senior Living

Address: 1608 Route 88, Suite 200 City : Brick

State: NJ Zip: 08724 Phone: (732) 903-9516

Applicant is a ~~Corporation~~ ~~Partnership~~ ~~Individual~~
Limited Liability Company

Pursuant to N.J.S.A. 40-55D-48.1, the names and addresses of all persons owning 10% of the stock in a corporate applicant or 10% interest in any partnership applicant must be disclosed. List names, addresses and partnership interest here. **[See Addendum to Application submitted herewith.]**

Name: _____ Interest % _____

Address: _____ City: _____ State: _____

Name: _____ Interest % _____

Address: _____ City: _____ State: _____

Name: _____ Interest % _____

Address: _____ City: _____ State: _____

Name: _____ Interest % _____

Address: _____ City: _____ State: _____

Name: _____ Interest % _____

Address: _____ City: _____ State: _____

INTEREST OF APPLICANT (Owner, Lessee, Etc.) Lessees

NAME OF OWNER: (If Different from Applicant) Allendale Real Property, LLC

Name of Applicant's ATTORNEY: Michael S. Rubin, Esq.; mrubin@rubinnjlaw.com

Address: 80 Bloomfield Avenue, Suite 205 City: Caldwell

State: NJ Zip: 07006 Phone: (973) 364-9500

Name of Applicant's ARCHITECT: Brommer Architects (Ryan McDermott; rmcdermott@brommerarchitects.com)

Address: 723 Electronic Drive, Suite 300 City : Horsham

State : PA Zip: 19044 Phone: (215) 657-4010

Name of Applicant's SURVEYOR: Control Point Associates

Address: 30 Independence Boulevard, Suite 100 City: Warren

State : NJ Zip: 07059 Phone: (908) 668-0099

Name of Applicant's ENGINEER: Jefferis Engineering Associates, LLC (Teal S. Jefferis: tjefferis@jefferisengineering.com)

Address: 801 Orchard Avenue City: Runnemede

State: NJ Zip: 08078 Phone: (856) 933-2005

Name of Applicant's PLANNING CONSULTANT: Phillips Preiss Grygiel Leheny Hughes, LLC (Paul Grygiel; pgrygiel@phillipspreiss.com)

Address: 70 Hudson Street, Suite 5B City: Hoboken

State: NJ Zip: 07030 Phone: (201) 420-6262, ext. 16

Name of Applicant's TRAFFIC ENGINEER: McDonough & Rea Associates (Scott Kennel: skennel@mratraffic.com)

Address: 1431 Lakewood Road, Suite C City: Manasaquan

State: NJ Zip: 08736 Phone: (732) 528-7076

Borough of Allendale Land Use Board
Variance or Waiver Relief – Appendix B

Section 1 – APPLICATION FOR VARIANCE RELIEF

In connection with your application for variance relief, please set forth:

1. The section(s) of the ordinance regulations of the Borough of Allendale from which variance relief is requested: See Addendum to Application submitted herewith.

2. The nature of the variance relief requested: _____

3. In what manner, in this particular case, the strict application of the foregoing ordinance regulations will result on practical difficulties or undue hardship upon you inconsistent with the general purpose and intent of said regulations: _____

4. In what manner, in this particular case, there exist exceptional circumstances or conditions applicable to the premises which are the subject of this application, which do not apply generally to other premises located in the same zone district or neighborhood: _____

5. In what manner, in this particular case, the granting of the variance relief requested will not be substantially detrimental to the public welfare or injurious to the premises in the area in which the premises which are the subject of this application are located: _____

Section 2 – APPLICATION FOR SUBDIVISION OR SITE PLAN RELIEF FROM DESIGN STANDARDS

In connection with your application for preliminary subdivision deviation relief or preliminary site plan deviation relief, please set forth:

1. The section(s) of the Residential Site Improvement Standards (RSIS) of the Borough of Allendale Land Subdivision or Site Plan Ordinances from which deviation relief is requested:
See Addendum to Application submitted herewith.

2. In what manner, in this particular case, this literal enforcement of the provisions of said sections is impracticable and will exact undue hardship because of peculiar conditions pertaining to the premises which are the subject of this application: _____

Section 3 – APPLICATION FOR MODIFICATION OR WAIVER OR SITE PLAN AND/OR SUBDIVISION DETAILS.

In connection with your application for modification or waiver of site plan and/or subdivision details, please set forth:

1. The Borough Ordinances or RSIS provision of requiring site plan and/or subdivision details which are purposely omitted from your development plan and the reasons for such omission:

See Addendum to Application submitted herewith.

2. The peculiar conditions applicable to the premises which are the subject of this application or applicable to the proposed construction thereon, which render the omitted site plan and/or subdivision details unnecessary to properly evaluate your site plan and/or subdivision:
-
-
-

Borough of Allendale Land Use Board

Variance or Waiver Relief – Appendix C

Schedule	Existing	Required	Provided
Lot Area (Sq. Ft.)	480,967 S.F. (11.041 AC)	5 AC	11.041 AC
Lot Width (Sq. Ft.)	547.99 FT.	250 FT.	547.99 FT.
Lot Depth (Sq. Ft.)	894.25 FT.	250 FT.	894.25 FT.
Max. Coverage (%)	23.3%	N/A	24.9%
Improved Lot Coverage (%)	51.2% (ENC)	27.5%	52.0% (V)
Max. Bldg. Height (Stories/Feet)	1 story/24.1 FT. & 2 stories/36.8 FT. (ENC)	2.5 stories/35 FT.	Existing unchanged; Addition: 11.6 FT.
Min. Front Depth (Ft.)	182.4 FT.	60 FT.	182.4 FT.
Min. Rear Depth (Ft.)	76.41 FT. (Principal)/61.9 FT. (Accessory)	50 FT.	Unchanged
Min. Side (Sum Both Each-Min) (Ft.)	North - 74.9 FT.; South 53.0 FT.	50 FT.	Addition: 58.16 FT.
Floor Area Ratio	0.321 (ENC)	0.19	0.338 (V)
Parking Stalls	170 (ENC)	232	170 (V)
Handicapped stalls	7	6	7
Loading Spaces	None	None	None
Garage(s)/Stalls	None	None	None

Distance of the nearest part of the lot(s) to the nearest residential zone

Property is in the AAA Residence Zone District.

Supplement to Borough of Allendale Land Use Board Application for Development

Site: **Allendale Operator, LLC. d/b/a Allendale Rehabilitation and Healthcare and
Allendale Assisted Living, LLC. d/b/a Allendale Senior Living
85 Harrenton Road
Allendale, NJ**

Date: May 31, 2023

Section II

D-Existing Conditions:

5. Identify the soils at the site, using US SCS descriptions. What percentage of the site is covered by each soil type.

Based upon the U.S.D.A. Natural Resources Conservation Service Web Soil Survey, the following soils are mapped as being present at the site:

Soil Map Unit	Percent Cover	Acidity	Erodibility	Drainage
DuuC: Dunellan-Urban land complex (8-15%)	~0.3%	Non-acidic	Slight	Well drained
UdwuB: Udorthents, wet substratum-Urban land complex	~97.2%	Non-acidic	Slight	Moderately well drained
AdrAt: Timakwa much, 0-2%	~2.5%	Non-acidic	Slight	Very poorly drained

Refer to the Soil Erosion and Sediment Control Plans in the site plan set and the Stormwater Runoff & Management Calculations for additional soils description information.

6. Describe dominant flora and fauna at the site.

Response: According to the NJDEP NJGeoweb data, the land use cover at the site is classified as urban. Currently, approximately 51% of the site is covered with impervious surfaces, with the balance of the lot consisting of grass and landscaped areas and a wooded area along the eastern portion of the site. The wooded area is categorized by the NJDEP NJGeoweb data as being riparian corridor, extending along the Allendale Brook, and containing deciduous wooded wetland areas.

A detailed vegetation survey was not performed, but predominant vegetation in this area consists of primarily deciduous trees including oaks, tulip poplar, sugar maple, red maple, elm, black gum, black cherry, and walnut, with some scattered evergreen trees (red cedar, white pine). Shrubs, herbaceous plants, and wildflowers are also common through this forested corridor. While a detailed wildlife investigation was not performed, common wildlife present at the site include whitetail deer, grey squirrel, Eastern cottontail rabbit, fox, wild turkey, and a variety of song birds.

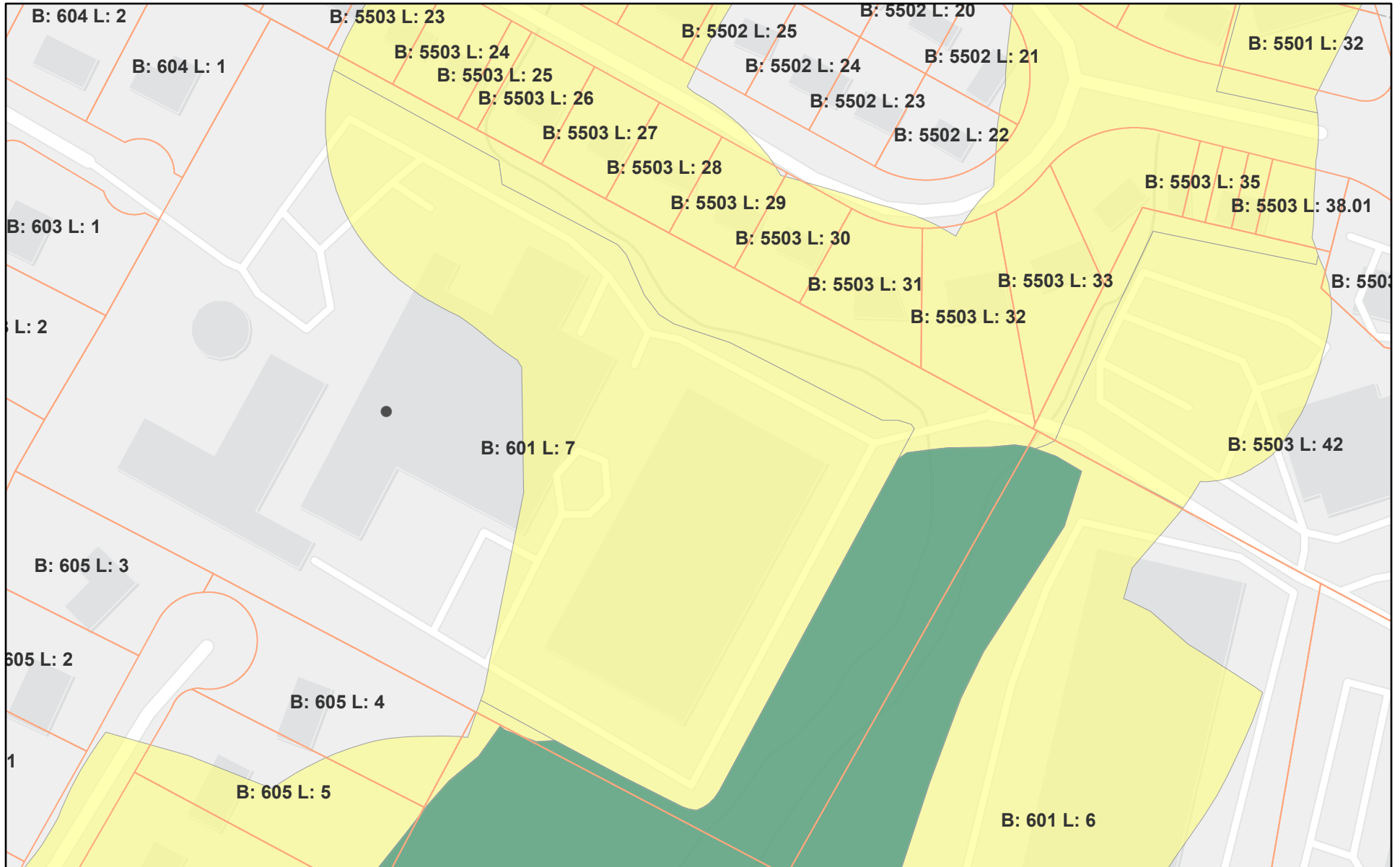
7. Are there threatened or endangered wildlife and/or vegetation species at the site.

Response: Potentially. According to the NJDEP NJGeoweb Landscape Project data, under Species-Based Habitat Skylands", the Allendale Brook corridor along the eastern portion of the site is noted as

potentially being habitat for Barred Owl, Long-eared Owl, Golden-winged Warbler, Red-shouldered Hawk, Black-crowned Night Heron, Yellow-Crowned Night Heron, and Wood Turtle.

Of particular note, there are no site improvements or disturbance proposed within the wooded and wetland areas or outside of the extent of existing improvements/disturbance, or within the area mapped as being potential habitat.

NJ-GeoWeb



6/6/2023, 12:00:13 PM

■ Wetlands (2012)

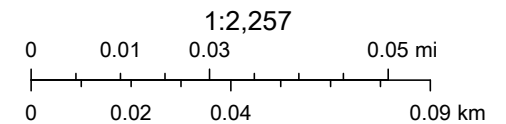
■ County Boundaries

■ Parcels Data (Block and Lot)

SBH - Skylands - Landscape Project

■ Rank 1 - Habitat specific requirements

■ Rank 4 - State Endangered



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New Jersey Department of Environmental Protection

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LAW OFFICE OF MICHAEL S. RUBIN, LLC

80 BLOOMFIELD AVENUE
SUITE 205
CALDWELL, NEW JERSEY 07006
(973) 364-9500
FAX (973) 364-9510
E-MAIL: mrubin@rubinnjlaw.com
MEMBER OF NEW JERSEY BAR

February 8, 2024

Via Hand Delivery

Ms. Linda Garofalo, Board Secretary
Borough of Allendale Land Use Board
500 West Crescent Avenue
Allendale, NJ 07041

**Re: Allendale Operator, LLC d/b/a Allendale Rehabilitation and Healthcare
and
Allendale Assisted Living, LLC d/b/a/ Allendale Senior Living, Applicants
Allendale Real Property, LLC, Owner
85 Harrenton Road
Block 601, Lot 7**

Dear Ms. Garofalo:

This office represents the above referenced Applicants and Owner with respect to a proposed addition to the Rehabilitation and Healthcare Facility (a/k/a the Skilled Nursing Facility) which shares the property with the Assisted Living Facility. Modifications to the parking areas on the site, without altering the number of spaces, is also proposed, as are internal modifications to the Assisted Living Facility which will result in a reduction in the available bed count.

In furtherance of my clients' plans, enclosed please find ten (10) sets of the following:

1. The Application for Development with Schedule A, Appendix A, Appendix B, a Supplement to the Application, and three prior Planning Board resolutions, attached;
2. The Variance Application Checklist;
3. Applicant's Addendum to the Application;

Ms. Linda Garofalo, Board Secretary
Borough of Allendale Land Use Board
February 8, 2024
Page 2

4. Engineering plans prepared by Jefferis Engineering Associates, LLC, with a revision date of October 31, 2023;
5. Architectural plans prepared by Brommer Architects, with issuance dates of January 19, 2024 and March 31, 2023, respectively;
6. A Boundary & Topographic Survey prepared by Control Point Associates, Inc., with a revision date of January 25, 2023;
7. A Stormwater Runoff & Management Calculations report prepared by Jefferis Engineering Associates, LLC, dated October, 2023; and
8. A Traffic & Parking Analysis prepared by McDonough & Rea Associates, Inc., dated January 16, 2024.

Also enclosed is a thumb drive with digital copies of this cover letter and my clients' submissions.

In May, 2023, I obtained a tax detail for the property from the Borough's tax collector's office and 200-foot property lists from the assessors in the Borough of Allendale and the Borough of Ramsey. I am requesting updates for each of those documents and will submit them to your office separately.

Please note that my clients appeared before the Borough's Land Use Board at its meeting held on June 15, 2022, to make an informal presentation of its proposed plans. Although changes to the plans were made in the intervening period, they are unrelated to the size of the addition or its purpose.

Please let me know the required application and escrow fees and whether any further submissions are required.

Thank you for your assistance.

Very truly yours,


Michael S. Rubin

encls.

ALLENDALE LAND USE BOARD
APPLICATION CHECK LIST

Allendale Operator, LLC d/b/a Allendale Rehabilitation and Healthcare & Allendale Assisted Living, LLC d/b/a Allendale Senior Living

NAME _____ BLOCK 601 LOT 7

ADDRESS 85 Harrenton Road

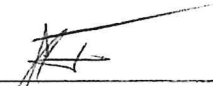
ZONE AAA Residence Zone District TYPE OF VARIANCE 70(d)(2); 70(d)(4); 70(c)

BRIEF DESCRIPTION OF APPLICATION Proposal to construct an 8,541 square foot addition to a
nonconforming assisted living and skilled nursing facility.

SPECIFIC VARIANCE(S) REQUIRED Expansion of a nonconforming use; floor area ratio; lot coverage;
number of parking spaces; parking stall size; and drive aisle width.

<u>ADMINISTRATIVE REQUIREMENTS</u>	<u>STATUS</u>
1. Application form complete	_____
2. Fee paid	_____
3. Denial by Building Inspector	_____
4. Affidavit of Service	_____
5. Proof of Publication	_____
6. Taxes Current	_____
7. Plot Plan	_____
8. Maps	_____
9. Photographs	_____
10. Email address	_____
11. Miscellaneous	_____

2-5-24
Date


Applicant's Signature

REQUIRED MATERIALS AND CHECKLIST FOR
ALLENDALE LAND USE BOARD HEARINGS

This checklist and attached sample drawings are provided to ensure that you or your professionals are prepared for your hearing and that your application is complete. All items should be supplied to the extent that they are applicable to the specific application. If information is insufficient or missing, the board may deem your application incomplete and adjourn your hearing until it receives all necessary documentation. Please create 15 packets of the below information.

I. PROVIDE AN ACCURATE SURVEY FOR THE PROPERTY IN QUESTION WHICH CONTAINS THE FOLLOWING INFORMATION:

- X 1. Footprint of existing buildings or structures.
- X 2. Precise distances from all property lines to closest point of principal building including steps, deck or other extensions of the building.
- X 3. The location and precise distances of accessory buildings, such as garages and sheds, to property lines and the principal building or structure.
- X 4. The location and dimensions of steps, patios, driveways, decks, pools and all other improved impervious areas and their precise distances to nearest property line and structures.
- X 5. An accurate depiction of the proposed construction or alteration including the information requested in 1, 2, 3 and 4 above.
- X 6. The precise distances from all property lines to the closest point of the proposed construction.

II. AN ENLARGED TAX MAP DEPICTING PROPERTY IN QUESTION AND ITS RELATIONSHIP TO NEIGHBORING PROPERTIES.

- X 1. The precise distances from the existing buildings or structure in question to the closest point of all neighboring buildings and structures.
- X 2. The precise distances from the proposed construction to the closest point of all neighboring buildings and structures.

III. STRUCTURAL DIMENSIONS:

- X 1. All dimensions of existing building or structure.
- X 2. All dimensions of proposed building or structure.

- X 3. Height of existing building or structure.*
- X 4. Height of proposed building or structure.*
*(height to be measured from lowest point of the ground that abuts the foundation of the structure to the highest point on the roof.)

- X 5. Front, rear and side elevations of the proposed structure.

IV. FLOOR PLANS.

- X 1. Floor plans of the existing interior of the building containing all relevant dimensions.
- X 2. Floor plans of the interior of the proposed construction containing all relevant dimensions.
- X 3. Precise square footage of the existing building.
- X 4. Precise square footage of the proposed construction.
- X 5. Floor area ratio calculation pursuant to Section 270-63 of the zoning ordinance (required for all applications)

V. PHOTOGRAPHS.

- 1. Photographs of the property in question and existing improvements may be helpful to the Board in presenting your information.
- 2. Photographs of views from the existing building or structure to neighboring properties and buildings which show existing plantings or other buffers are also helpful and may be requested by the Board.

(All photographs should be taken by you or someone who can testify to the Board as to when they were taken and that the photographs represent an accurate depiction of what they saw at the time.)

VI. LANDSCAPING AND LAND FEATURES.

- X 1. The survey, plat or plan should locate and describe any proposed landscaping to be done in connection with the application.
- X 2. The location of any unusual property features should be indicated, such as flood plain, streams, wooded areas, rock outcroppings or steep slopes.

VII. PREVIOUS APPLICATIONS.


- X 1. Applicants should be prepared to discuss prior applications to the Land Use Board, Board of Adjustment and Planning Board and the results thereof.

VIII. Any additional information which may be deemed necessary by the Land Use Board, its Consultants or Borough departments and agencies.

NOTE: ALL DIMENSIONS AND DISTANCES MUST BE DEPICTED TO SCALE ON DRAWINGS AND PLANS.

Any questions regarding your hearing or the checklist should be directed to the Land Use Administrator at the Borough of Allendale Municipal Building 201-818-4400 x202. **Please submit fifteen (15) packets with copies of all drawings and plans to the Land Use Administrator at least ten (10) days prior to the hearing.** It is suggested that the property owner refer to the appropriate building code to assure proper engineering and construction techniques, or to secure the services of a local, reputable architect and/or engineer.

2-5-24
Date


Signature

ADDENDUM TO APPLICATION FOR DEVELOPMENT

Applicants: Allendale Operator, LLC, d/b/a Allendale Rehabilitation and Healthcare;
Allendale Senior Living, LLC, d/b/a/ Allendale Senior Living
Owner: Allendale Real Property, LLC
Property: 85 Harrenton Road, Allendale, New Jersey 07401
(Block 601, Lot 7)
Zone: AAA Residential Zone District
Application Number: _____

Applicants operate an assisted living facility and a skilled nursing facility on the site. The site has been used in this manner since at least 1962, and has received at least three prior approvals to construct additions to the facility from what was then the Borough Planning Board. (Resolutions dated January 24, 1978, March 20, 1986, and June 15, 1989, are attached to the application form.) Applicants now seek approval to construct an 8,541 square foot, one-story addition in the southern portion of the site. The addition will increase the skilled nursing functional bed count from 120 to 142. However, remodeling proposed for the assisted living facility will reduce that bed count from 163 to 126. In total, beds will be reduced from an existing 331 to 316. Modifications to parking areas in the northwest, eastern and southern portions of the site are also proposed without reducing the number of parking stalls.

Although the prior Planning Board approvals suggest the facility was once a permitted use, it is no longer permitted in the AAA Residential Zone District. Thus, the use is a nonconforming use and protected by N.J.S.A. 40:55D-68, with any expansion necessitating a variance pursuant to N.J.S.A. 40:55D-70(d)(2).

As set forth below, a (d)(4) FAR variance, (c) variances and submission and design waivers are also necessary, including for parking, where 170 existing stalls will remain on site despite the modifications to the parking areas, less than the 232 required by ordinance.

1. Applicants and Owner.

(a) The Applicants are Allendale Operator, LLC, d/b/a Allendale Rehabilitation and Healthcare and Allendale Senior Living, LLC, d/b/a/ Allendale Senior Living. The Owner is Allendale Real Property, LLC. All three entities have a principal office located at 1608 Route 88, Suite 200, Brick, NJ 08724.

(b) All three entities have the same ownership structure, including two entities with an interest exceeding 10%:

Quinto Nexgen, LLC - 78.6%; and
UKR Nexgen, LLC - 20%.

- (c) Quinto Nexgen, LLC has the following ownership structure:

Tryko Nexgen Holdings, LLC - 72.26%; and
RSBRMK Holdings, LLC - 27.74%

Tryko Nexgen Holdings, LLC has the following ownership structure:

YR Nexgen Trust - 50.2% (Osher Flager and Tzvi Levovits, Trustees);
SR Nexgen Trust - 24.99% (Yitzchok Rokowsky and Tzvi Levovitz,
Trustees); and
YK Nexgen Trust - 24.99% (Yitzchok Rokowsky and Tzvi Levovitz,
Trustees)

RSBRMK Holdings, LLC has the following ownership structure:

NFR 2020 Irrevocable Trust - 99.999% (Yitzchok Rokowsky and Mindee
Posen, Trustees)

- (d) UKR Nexgen, LLC has the following ownership structure:

UAK 2020 Irrevocable Trust - 99.99% (Yitschok Rokowsky and Aviva
Kahanow, Trustees)

All entities with ownership interests in the Owner and the Applicants have a principal office located at 1608 Route 88, Suite 200, Brick, NJ 08724.

2. Relief Sought

- A. The proposed site modifications implicate the following variances:

- (i) A variance pursuant to N.J.S.A. 40:55D-70(d)(2) for expansion of a nonconforming use;
- (ii) A floor area ratio variance pursuant to N.J.S.A. 40:55D-70(d)(4), with 0.321 existing, 0.19 permitted and 0.338 proposed (Sec. 270-63);
- (iii) A lot (impervious) coverage variance pursuant to N.J.S.A. 40:55D-70(c), with 51.2% existing, 27.5% permitted and 52.0% proposed (Sec. 270-62);
- (iv) A modified parking variance pursuant to N.J.S.A. 40:55D-70(c), with 170 spaces existing, 232 required and 170 proposed (Sec. 270-40). As reflected in the July 24, 1978, Planning Board resolution submitted with the application, a prior variance approved 100 on-site parking spaces when 116 were required. Neither the 1986 Planning Board resolution nor

the 1989 Planning Board resolution modified the parking variance or made any reference to parking counts;

- (v) A variance pursuant to N.J.S.A. 40:55D-70(c) for parking stall size, with 10 ft. by 20 ft. spaces required, 9 ft. by 18 ft. and 9 ft. by 17.75 ft. spaces existing and remaining, and new 9 ft. by 20 ft. spaces proposed (Sec. 270-42(D)); and
- (vi) A variance pursuant to pursuant to N.J.S.A. 40:55D-70(c) for drive aisle width, with a minimum width of 20 feet and a maximum width of 30 feet required for two-way drive aisles, 32 ft. to 38.7 ft. existing and remaining, and 39.4 ft. and 45.15 ft. proposed in the northwest corner of the site as part of the parking area reconfiguration (Sec. 270-42(D)).

The current use of the property is recognized as inherently beneficial. The variances resulting from the proposed improvements largely reflect minor increases in existing nonconformities which will result in an improved facility for residents and a safer circulation pattern, with no discernable detriments.

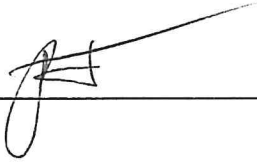
- B. The proposed site modifications implicate the following waivers from Chapter 147, Article V, Site Plan Design Standards:
 - (i) An access drive of 24 feet is required. The driveway leading from Route 17 to the site narrows to 20 feet as it crosses a brook, but is generally at least 24 feet wide. No change to the access driveway is proposed (Sec. 147-26). [Note: Although the site has a Harrenton Road Address, that residential cul-de-sac is used for emergency access only. Primary access is from Route 17.];
 - (ii) The minimum drive aisle width required for access to a 90 degree parking spaces is 25 feet. Some 90 degree parking stalls are serviced by existing drive aisles varying from 21.1 feet to 24.5 feet, and one of the drive aisles being re-striped will be 23.5 feet wide (Sec. 147-28);
 - (iii) As depicted on Sheet C-4.0 of the engineering plans, there are deviations in required minimum and uniform ratio light levels in areas where parking will be reconfigured (Sec. 147-32);
- C. The proposed site modifications implicate the following waivers from Section 147-10, Preliminary site plan and subdivision plat details:
 - (i) Slope intervals determined using NGVD 1988 Data instead of the suggested 1929 NGVD Data (Sec. 147-10(A)(13));

- (ii) The engineering plans do not depict all drainage structures within 500 feet of the site due to its size and the drainage structures on site (Sec. 147-10(A)(17));
 - (iii) The lighting plan includes only those areas where improvements are proposed. Existing lighting will remain unchanged in the other areas of the site (Sec. 147-10(B)(4));
 - (iv) The plans do not depict the final grades of all streets and profiles since no new roadway is proposed (Sec. 147-13(A)(17)); and
 - (v) Since the site is largely developed and in consideration of the relatively minor improvements proposed to the existing drainage system, the plans do not depict stormwater profiles. If deemed necessary by the Borough engineer, profiles will be provided with plans submitted for resolution compliance (Sec. 147-13(A)(18)).
- D. The following waivers are required from Checklist Submissions set forth in Schedule A, submitted herewith:
- (i) The Application does not include any correspondence from NJDEP because all proposed improvements will occur in existing developed and disturbed areas (Item #6);
 - (ii) Due to the size of the site, topography is shown to within 50 feet of the property boundaries rather than 200 feet (Item #15);
 - (iii) Utility profiles are not provided for the reasons set forth in subsection (C)(v), above (Item #28);
 - (iv) Applications to the County Planning Board and Bergen County Soil Conservation District will be filed if Land Use Board approval is obtained (Items # 42 and 43);
 - (v) An environmental impact statement is unnecessary due to the limited nature of the proposed improvements and their location in areas of the site which are already improved or disturbed (Item #44).

The waivers required from the Borough's design standards, site plan submission requirements and submission checklist are all justified by the size of the existing site, the existing improvements, and the relatively minor modifications to those improvements.

CERTIFICATION OF APPLICANTS

I hereby certify that I am an authorized representative of the Applicants, that I have reviewed the Addendum to the Application, and that the statements made herein are true, complete and accurate to the best of my present knowledge, information and belief.



Dated: 2-5-24

SITE IMPROVEMENT PLANS

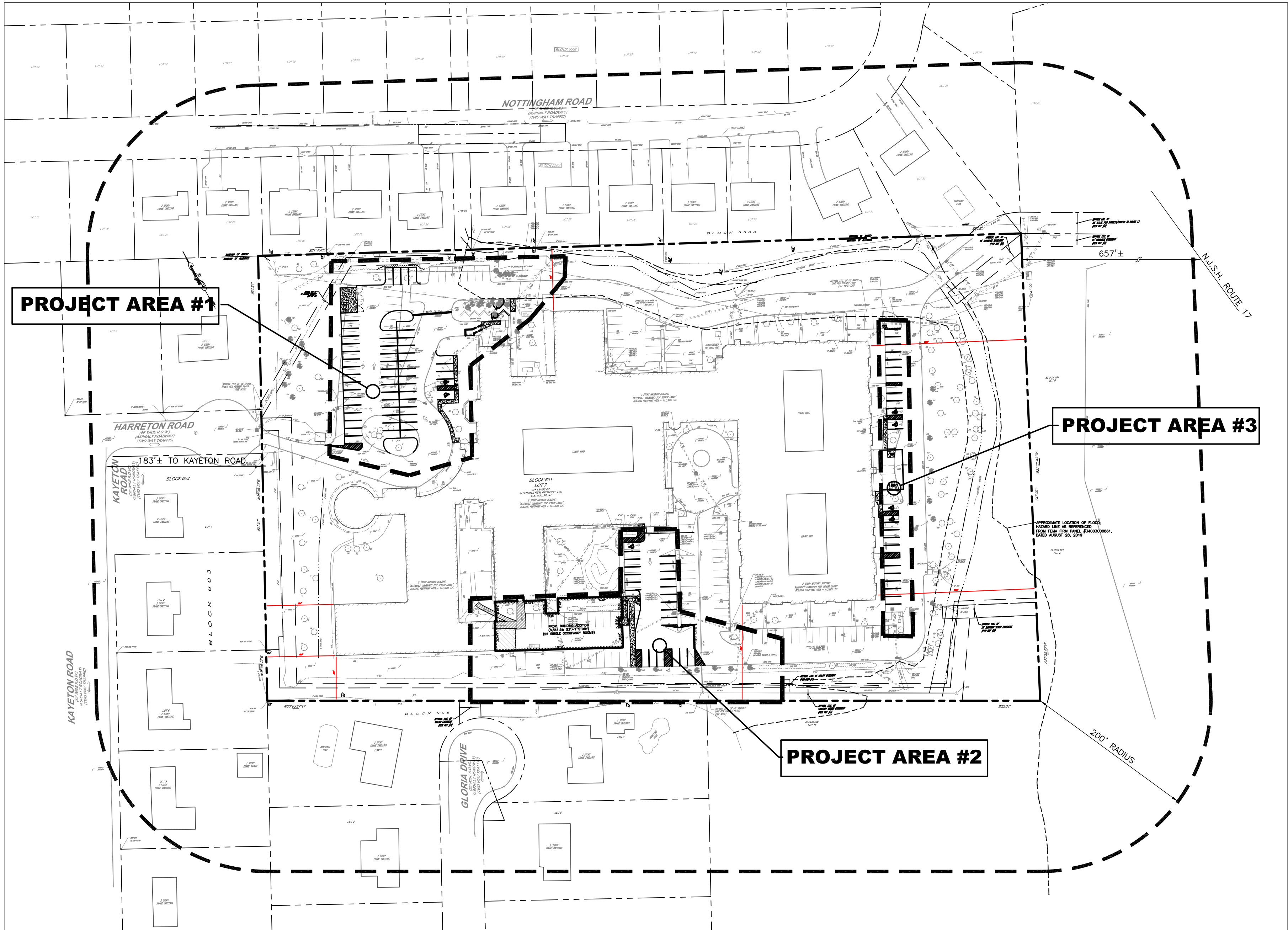
PROPOSED BUILDING ADDITION AND PARKING MODIFICATIONS

ALLENDALE REHABILITATION AND HEALTHCARE CENTER

AND

ALLENDALE SENIOR LIVING

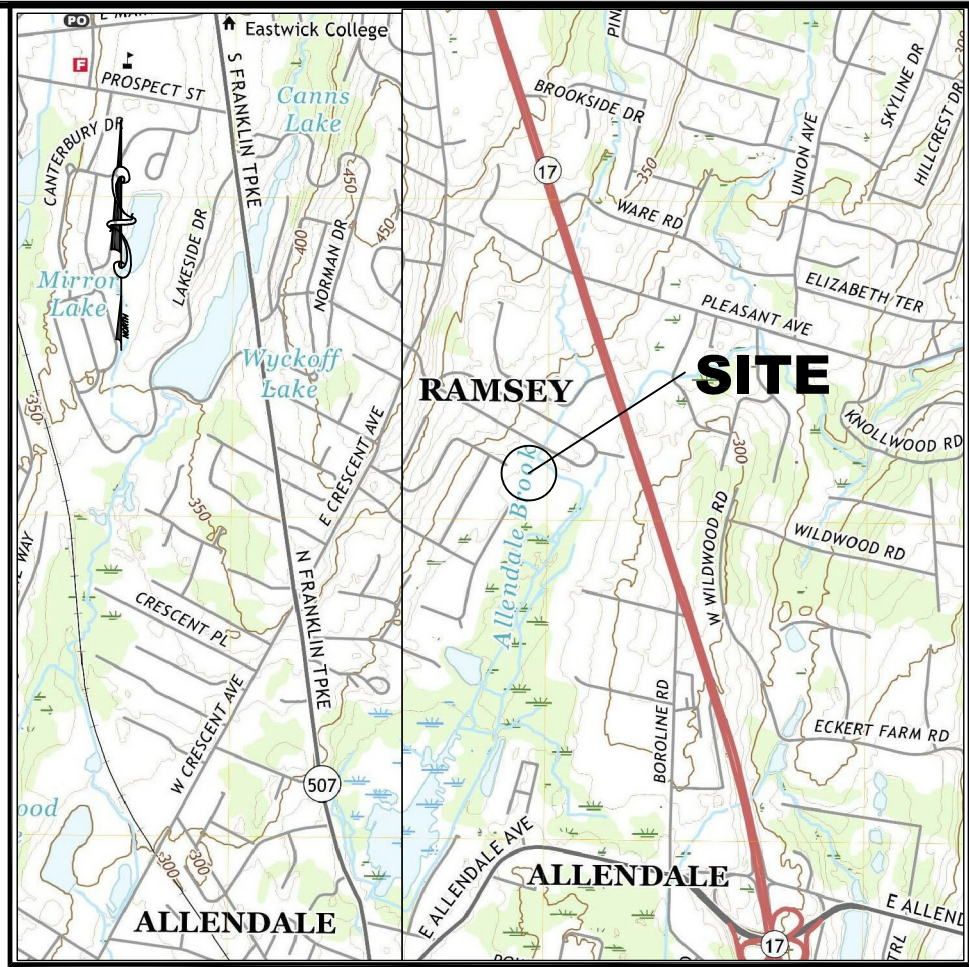
BLOCK 601 - LOT 7
85 HARRETON ROAD
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY



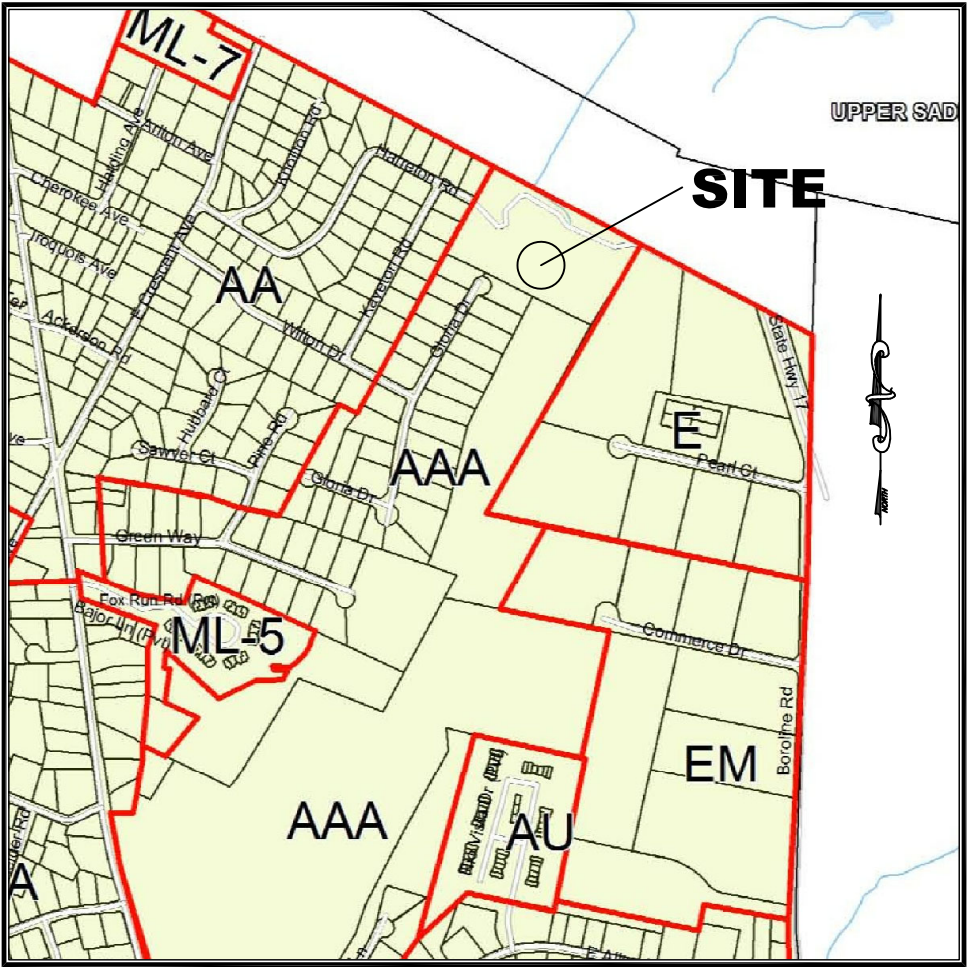
OVERALL SITE KEY MAP
SCALE: 1" = 80'



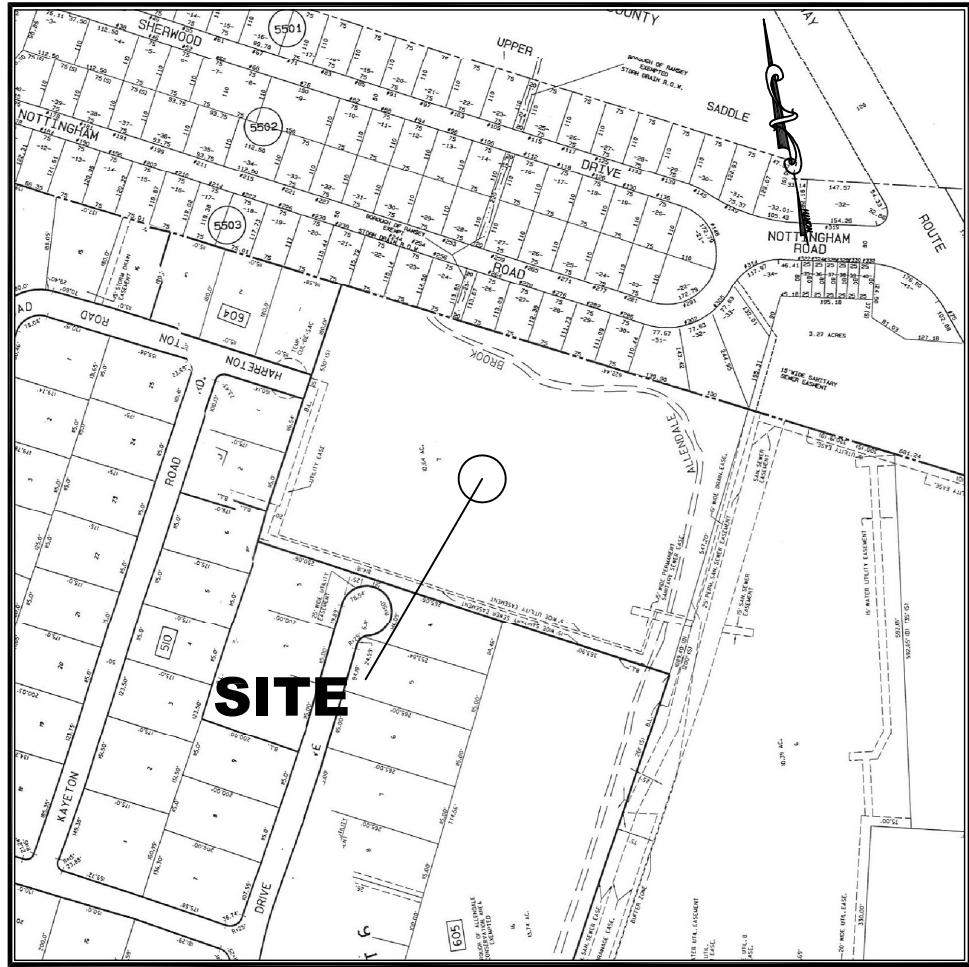
AERIAL PHOTOGRAPH
(2022 AERIAL-REF. GOOGLE EARTH)



KEY MAP
U.S.G.S. QUADRANGLE MAP - 7.5 MINUTE SERIES
SCALE: 1"=2000'



ZONING MAP
BOROUGH OF ALLENDALE, BERGEN COUNTY, NJ



TAX MAP
BOROUGH OF ALLENDALE, BERGEN COUNTY, NJ

SHEET INDEX	
SHEET NO.	SHEET DESCRIPTION
C-0.0	TITLE PLAN
C-0.1	PROPERTY OWNERS LIST PLAN
C-1.0	DEMOLITION PLAN
C-1.1	DEMOLITION PLAN
C-2.0	SITE PLAN (OVERALL)
C-2.1	SITE PLAN (ENLARGED)
C-2.2	SITE PLAN (ENLARGED)
C-3.0	GRADING AND UTILITY PLAN
C-3.1	GRADING AND UTILITY PLAN
C-4.0	LANDSCAPE AND LIGHTING PLAN
C-4.1	LANDSCAPE AND LIGHTING PLAN
C-5.0	SOIL EROSION AND SEDIMENT CONTROL PLAN
C-5.1	SOIL EROSION AND SEDIMENT CONTROL PLAN
C-5.2	SOIL EROSION AND SEDIMENT CONTROL PLAN
C-6.0	SITE WORK DETAILS
C-6.1	SITE WORK DETAILS
C-6.2	SITE WORK DETAILS
C-7.0	STEEP SLOPE EXHIBIT PLAN

- VARIANCES REQUESTED:
- SECTION 270-49 USE: EXISTING ASSISTED LIVING/NURSING HOME IS NON-CONFORMING USE, WHEREAS THE USE IS PROPOSED TO REMAIN WITH A BUILDING ADDITION (EXPANSION), HOWEVER, NO INCREASE IN NUMBER OF BEDS IS PROPOSED. VARIANCE FOR EXPANSION OF EXISTING NON-CONFORMING USE IS REQUESTED.
 - SECTION 270-62 MAXIMUM LOT COVERAGE: A MAXIMUM LOT COVERAGE OF 27.5% IS PERMITTED, WHEREAS 51.2% CURRENTLY EXISTS AND 50.0% IS PROPOSED.
 - SECTION 270-63 FLOOR AREA RATIO: A MAXIMUM FAR OF 19% IS PERMITTED BASED UPON LOT AREA, WHEREAS 32.1% CURRENTLY EXISTS AND 33.8% IS PROPOSED.
 - SECTION 270-40 PARKING QUANTITY: A MINIMUM PARKING QUANTITY OF 199 SPACES IS REQUIRED, WHEREAS 170 STALLS CURRENTLY EXIST AND 170 STALLS ARE PROPOSED. A VARIANCE WAS PREVIOUSLY GRANTED IN RESOLUTION DATED JULY 24, 1978 FOR 100 PARKING STALLS (WHERE 116 WAS REQUIRED).
 - SECTION 270-42.D PARKING STALL SIZE: A MINIMUM PARKING STALL SIZE OF 10'x20' IS REQUIRED, WHEREAS 9'x18' AND 9'x17.75' EXIST AND WILL REMAIN, AND 9'x17.75', 9'x18' AND 9'x20' ARE PROPOSED.
 - SECTION 270-42.D DRIVE ISLE WIDTH: A MINIMUM WIDTH OF 20' AND MAXIMUM WIDTH OF 30' IS PERMITTED, WHEREAS 32'-38.7' EXIST AND WILL REMAIN, AND 38.4' AND 45.1' ARE PROPOSED.
- DESIGN WAIVERS REQUESTED:
- SECTION 147-26 ACCESS: 24 FT WIDE DRIVEWAY ACCESS IS REQUIRED, WHEREAS THE EXISTING DRIVEWAY NARROWS FROM 24 FT TO 20 FT ± AND STREAM CROSSING AND IS EXISTING NON-CONFORMING CONDITION THAT WILL REMAIN.
 - SECTION 147-28 DRIVE AISLE WIDTH: A MINIMUM AISLE WIDTH OF 25 FT FOR 90 DEGREE PARKING IS REQUIRED. EXISTING DRIVEWAY AISLE WIDTHS VARY FROM 21.1' TO 24.5' AND ARE EXISTING NON-CONFORMING CONDITIONS. THE PROPOSED DRIVE AISLE WIDTHS ARE 23.5 FT (EXISTING AISLE TO BE RE-STRIPE) AND 25 FT (NEW DRIVE AISLES).
 - SECTION 147-32 SITE LIGHTING: DESIGN WAIVERS FOR UNIFORMITY RATIO AND MINIMUM LIGHT LEVELS ARE REQUESTED FOR MINOR DEVIATIONS. REFER TO SHEET C-4.0.
 - SECTION 147-10.A(15) VERTICAL DATUM REFERENCE TO USGS DATUM (1929): VERTICAL DATUM IS REFERENCED TO NGVD 1988 DATUM, THE CURRENT REFERENCE DATUM UTILIZED AS AN INDUSTRY STANDARD.
 - SECTION 147-10.A(17) SHOWING EXISTING DRAINAGE FEATURES WITHIN 500 FEET OF THE SITE: A USGS SITE LOCATION IS PROVIDED FOR REFERENCE AND WILL SHOW SOME OF THIS INFORMATION, BUT PROPOSED DRAINAGE IMPROVEMENTS ARE LOCATED WITHIN CORNERS OF THE SITE AND OFFSITE INFORMATION TO THIS EXTENT IS NOT NECESSARY FOR THE PROPOSED MINOR DRAINAGE MODIFICATIONS.
 - SECTION 147-10.B(4) LIGHTING LEVELS FOR EXISTING LIGHTS: LIGHTING DESIGN LEVELS ARE PROVIDED FOR AREAS OF PROPOSED LIGHTS IN THE AREA OF PROPOSED IMPROVEMENTS. EXISTING LIGHTING IS TO REMAIN IN AREAS WHERE IMPROVEMENTS ARE NOT PROPOSED. EVALUATION OF LIGHT LEVELS IN THESE AREAS WAS NOT PERFORMED AND A WAIVER FOR SUCH IS REQUESTED.
 - SECTION 147-13.A(17) FINAL GRADES OF ALL STREETS AND PROFILES: NO NEW STREETS ARE PROPOSED. A WAIVER IS REQUESTED.
 - SECTION 147-13.A(18) STORMWATER PROFILES ASSOCIATED WITH PROPOSED DRAINAGE IMPROVEMENTS: IF REQUIRED, PROFILES FOR PROPOSED STORMWATER PIPES ARE PROPOSED TO BE PROVIDED AS A CONDITION OF BOARD APPROVAL.
- SUBMISSION WAIVERS REQUESTED:
- CHECKLIST ITEMS:
- ITEM#6-LETTER OF INTERPRETATION FROM N.J.D.E.P.:
RATIONALE: PROPOSED DISTURBANCE/WORK IS WITHIN EXISTING AREAS OF IMPROVEMENTS AND DISTURBANCE AND DOES NOT IMPACT WETLAND AREAS.
 - ITEM#15-TOPOGRAPHY WITHIN 200 FEET OF THE SITE
RATIONALE: PROPOSED IMPROVEMENTS ARE LOCATED WITHIN THE EXISTING IMPROVED AREAS AND OFFSITE TOPOGRAPHY BEYOND THE PROVIDED 50 FOOT OVERLAP IS NOT NECESSARY FOR THE DESIGN.
 - ITEM#28-PROFILE OF STORM PIPE
RATIONALE: A PROFILE OF THE PROPOSED STORMWATER PIPE WILL BE PROVIDED AS A CONDITION OF BOARD APPROVAL.
 - ITEM#42-PROOF OF APPLICATION SUBMISSION TO THE COUNTY PLANNING BOARD:
RATIONALE: PROPOSED TO BE SUBMITTED AS A CONDITION OF BOARD APPROVAL.
 - ITEM#43-PROOF OF APPLICATION SUBMISSION TO THE COUNTY SOIL CONSERVATION DISTRICT:
RATIONALE: PROPOSED TO BE SUBMITTED AS A CONDITION OF BOARD APPROVAL.

PLANNING BOARD:

THIS SITE PLAN APPLICATION WAS APPROVED AT A MEETING OF LAND USE BOARD OF THE BOROUGH OF ALLENDALE, BERGEN COUNTY, NJ HELD ON:

APPROVED: _____
(DATE OF BOARD APPROVAL)

BOARD CHAIR (DATE) _____

BOARD SECRETARY (DATE) _____

BOARD ENGINEER (DATE) _____

BOROUGH CLERK (DATE) _____

APPLICANT:

ALLENDALE OPERATOR LLC d/b/a ALLENDALE REHABILITATION AND HEALTHCARE
AND
ALLENDALE ASSISTED LIVING LLC. d/b/a ALLENDALE SENIOR LIVING
1608 ROUTE 88, SUITE 103
BRICK, NJ 08723

OWNER:

ALLENDALE REAL PROPERTY, LLC.
PO BOX 1030
BRICK, NJ 08723

LAND USE APPROVALS REQUIRED:

THE FOLLOWING IS A SUMMARY OF THE LAND USE APPROVALS ANTICIPATED TO BE REQUIRED FOR THE PROPOSED IMPROVEMENTS:

- BOROUGH OF ALLENDALE PLANNING BOARD
- BERGEN COUNTY PLANNING BOARD
- BERGEN COUNTY SOIL CONSERVATION DISTRICT

APPROVED BY THE
COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY _____ DATE _____

REVISION			
1	REVISED TO ADD CANOPY AND REVISION UNIT COUNT	02/1/2023	DATE
0	INITIAL ISSUE	02/1/2023	DATE
REVISIONS/SUBMISSIONS			
No.			

PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS

ALLENDALE REHABILITATION AND HEALTHCARE
&
ALLENDALE SENIOR LIVING
BLOCK 601, LOT 7
85 HARRETON ROAD -
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

JEFFERIS
ENGINEERING
ASSOCIATES, LLC

801 ORCHARD AVENUE
RUNNEMED, N.J. 08078
PHONE: 856.933.2005
FAX: 856.933.2016
WWW.JEPPERISEENGINEERING.COM

N.J. CERTIFICATE OF AUTHORIZATION #246A2892590

TEAL S. JEFFERIS, P.E., CME, CDT

NJ PROFESSIONAL ENGINEER # 642669
PA PROFESSIONAL ENGINEER LIC # PE076754
DE PROFESSIONAL ENGINEER LIC # 11161

JE FILE No. 22-THCG-003 DRAWN BY: RAH

DATE: 11-29-22 CHECKED: TSJ

DRAWING NO.

C-0.0

TITLE PLAN

SCALE: AS NOTED 1 OF 18

BOROUGH OF ALLENDALE
500 West Crescent Avenue
Allendale, NJ 07401

Angela M. Mattiace, CTA
Tax Assessor
(201) 818-4419
angelamattiac@allendalenj.gov

May 16, 2023

Re: 601/7 – 85 Route 17


"PROPERTY FALLS WITHIN 200 FT BOROUGH OF RAMSEY"

Dear Sir/Madam:

As per your recent request, attached please find the listing of property owners within 200 feet of the above mentioned, as well as the list of public utilities, which must also be noticed.

If your property falls within 200 feet of an adjacent municipality, you must obtain a certified list from that municipality and serve notices on all persons on that list. Additionally, you must also serve notice upon the Municipal Clerk of that municipality.

This is to certify to the Allendale Land use Board and to all interested parties, that the attached names and addresses commonly referred to as a "Property Listing" have been prepared in conformance with the requirements of the Municipal Land Use Law. All lists are prepared within (7) days after receipt. Any omission and/or failure on the part of the undersigned shall not invalidate this certification, any hearing meeting or proceeding. (C40:55D12-c).


Angela M. Mattiace, CTA
Tax Assessor

OWNER & ADDRESS REPORT

ALLENDALE						
200 FOOT LIST 601/7 - 85 RT 17						
05/16/23 Page 1 of 1						
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
604	1		2	GREEN, LITA GEORGE & STACIA 65 HARRETTON RD ALLENDALE, N. J.	65 HARRETTON RD	
605	5		2	STRIEFLER, RICHARD S. & SUZANNE L. 7 GLORIA DRIVE ALLENDALE, N. J.	7 GLORIA DR	
510	4		2	BONNELLO, SOPHIA 18 KAYETON RD ALLENDALE, NJ	18 KAYETON RD	
601	6		4B	ALLENDALE PROPERTY LLC 777 PASSAIC AVENUE #205 CLIFTON, NJ	6 PEARL COURT	
605	4		2	BYRNE, LITA JAMES J & MARY ELLEN 3 GLORIA DR ALLENDALE, NJ	3 GLORIA DR	
605	3		2	HERBALZ, CLAUDIO & MARIA C 2 GLORIA DRIVE ALLENDALE, NJ	2 GLORIA DR	
604	2		2	KLOMBURG, ALBERT & JOSEPHINE 61 HARRETTON RD ALLENDALE, NJ	61 HARRETTON RD	
605	2		2	LANKELIS, LUKE & PESSOLAND, ALYSSA 6 GLORIA DR ALLENDALE, NJ	6 GLORIA DR	
603	1		2	VARDALINOS, THOMAS M & MARY A 2 KAYETON RD ALLENDALE, NJ	2 KAYETON RD	
510	6		2	GETTYSBURG, MICHAEL & PENNY 10 KAYETON ROAD ALLENDALE, NJ	10 KAYETON RD	
605	16		15C	BOROUGH OF ALLENDALE 500 W CRESCENT AVE ALLENDALE, N. J.	REAR GLORIA DR	
603	2		2	LE BLANCO, RICHARD W. & KATHLEEN 8 KAYETON RD ALLENDALE, NJ	6 KAYETON RD	
510	5		2	CHO, JASON & KIM, CHRISTINA 14 KAYETON ROAD ALLENDALE, NJ	14 KAYETON RD	

UTILITIES LISTING

BOROUGH OF ALLENDALE
500 W CRESCENT AVENUE
ALLENDALE, NJ 07401

Rockland Electric – 1 Blue Hill Plaza, Pearl River, NY 10965

New Jersey Department of Transportation - POB 600, Trenton, NJ 08625

PSE&G - 20 Van Voorreen Drive, Oakland, NJ 07436

Cablevision of New Jersey - 40 Potash Rd, Oakland, NJ 07436

Verizon New Jersey - 114 Paterson Street, Paterson, NJ 07501

Bergen County Planning Board - 1 Bergen County Plaza, Hackensack, NJ 07601

Veolia Water – 461 From Road #400, Paramus, NJ 07652

CERTIFIED LIST OF PROPERTY OWNERS WITHIN 200 FEET OF THE SUBJECT PROPERTY
OBTAINED FROM TOWNSHIP TAX ASSESSOR



BOROUGH OF RAMSEY

33 NORTH CENTRAL AVENUE
NEW JERSEY 07446
www.ramseynj.com

PHONE 201-825-3400
Ext. 245
FAX 201-825-7120

To whom it may concern,

As per your recent request, attached please find the listing of property owners within 200 feet of the below mentioned address, as well as the list of public utilities, which must also be noticed.

If your property falls within 200 feet of an adjacent municipality, you must obtain a certified list from that municipality and serve notices to all persons on that list. Additionally, you must also serve notice upon the Municipal Clerk of that municipality.

This is to certify to the Ramsey Planning Board/Board of Adjustment and to all interested parties, that the attached names and addresses commonly referred to as a "Property Listing" have been prepared in conformance with the requirements of the Municipal Land Use Law. All lists are prepared within (7) days after receipt. Any omission and/or failure on the part of the undersigned shall not invalidate this certification, any hearing meeting or proceeding. (C40:55D12-C).

Sincerely,

Danielle Monaghan
Tax Atlas Search Officer

Date Received: 5/17/2023 Date Sent: 5/22/2023 Fee Paid: \$10.00

Applicant: Michael Rubin, Esq.

Telephone Number: 973-364-9500 Email: mrubin@rubinnlaw.com

Block: 601 Lot: 7 List Number: 224

Address of Property: Allendale Senior Living
85 Route 17, Allendale, NJ 07401

OWNER & ADDRESS REPORT

RAMSEY						
200 FT LIST FOR 85 ROUTE 17 ALLENDALE, NJ						
PROPERTIES IN RAMSEY, NJ THAT FALL WITHIN 200 FT OF 85 RT 17 ALLENDALE, NJ						
05/22/23 Page 1 of 2						
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
5502	15		15C	BOROUGH OF RAMSEY 33 N. CENTRAL AVE RAMSEY, N. J.	SHERWOOD, NOTTINGHAM	
5502	22		2	DELANE, JOSEPH & JAKUB K. TABA 291 NOTTINGHAM ROAD RAMSEY, NJ	291 NOTTINGHAM RD	
5502	23		2	LANNI, LITA MICHAEL L&ALYSSA ROSE 283 NOTTINGHAM RD RAMSEY, NJ	283 NOTTINGHAM ROAD	
5502	24		2	NUNZIATA, JOHN & BRIDGET 277 NOTTINGHAM RD RAMSEY, NJ	277 NOTTINGHAM ROAD	
5502	25		2	PINBELL, MICHAEL C & DENISE J 271 NOTTINGHAM RD RAMSEY, NJ	271 NOTTINGHAM ROAD	
5502	26		2	ERIKSON, BETTY T. & DIANE 265 NOTTINGHAM ROAD RAMSEY, N. J.	265 NOTTINGHAM ROAD	
5502	27		2	LANKER, DAVID 259 NOTTINGHAM RD RAMSEY, NJ	259 NOTTINGHAM ROAD	
5502	28		2	TRISTANI, JOHN P. & REGINA 253 NOTTINGHAM RD RAMSEY, N. J.	253 NOTTINGHAM RD	
5502	28		2	TRISTANI, JOHN P. & REGINA 253 NOTTINGHAM RD RAMSEY, N. J.	253 NOTTINGHAM RD	
5502	29		2	GIYACCO, (TRUSTEES) JOHN W BELLEN A 243 NOTTINGHAM RD RAMSEY, NJ	243 NOTTINGHAM ROAD	
5502	30		2	OSOWSKI, JOAN A 239 NOTTINGHAM RD RAMSEY, NJ	239 NOTTINGHAM ROAD	
5502	31		2	LEMO, ANTHONY L & IMPERIA, LEIGH ANN 235 NOTTINGHAM DRIVE RAMSEY, NJ	235 NOTTINGHAM ROAD	
5502	32		2	ZUZA, CHRISTOPHER & EILEEN 227 NOTTINGHAM RD RAMSEY, NJ	227 NOTTINGHAM ROAD	
5503	19		2	MAST, PAUL 226 NOTTINGHAM RD RAMSEY, NJ	226 NOTTINGHAM ROAD	
5503	20		2	KIRKMAN, GEM & VANESSA 220 NOTTINGHAM RD RAMSEY, NJ	220 NOTTINGHAM ROAD	
5503	21		2	DREISBACH, RUTHANNE 238 NOTTINGHAM ROAD RAMSEY, NJ	238 NOTTINGHAM ROAD	
5503	22		2	BROGGS, JAMES A. & KRISTINE 244 NOTTINGHAM ROAD RAMSEY, N. J.	244 NOTTINGHAM ROAD	
5503	23		2	CABRETTA, STEPHEN G & CHRISTINA K 254 NOTTINGHAM RD RAMSEY, NJ	254 NOTTINGHAM ROAD	
5503	24		2	LETT, SCOTT & KATHLEEN 256 NOTTINGHAM RD RAMSEY, NJ	256 NOTTINGHAM ROAD	

CERTIFIED LIST OF PROPERTY OWNERS WITHIN 200 FEET OF THE SUBJECT PROPERTY
OBTAINED FROM TOWNSHIP TAX ASSESSOR

OWNER & ADDRESS REPORT

RAMSEY						
200 FT LIST FOR 85 ROUTE 17 ALLENDALE, NJ						
PROPERTIES IN RAMSEY, NJ THAT FALL WITHIN 200 FT OF 85 RT 17 ALLENDALE, NJ						
05/22/23 Page 2 of 2						
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
5503	25		15C	BOROUGH OF RAMSEY 33 N. CENTRAL AVE RAMSEY, N. J.	NOTTINGHAM ROAD	
5503	26		2	REYES, AMIA & GUILTER, CHRISTY 264 NOTTINGHAM RD RAMSEY, NJ	264 NOTTINGHAM RD	
5503	27		2	AMMED, MUSAAD 270 NOTTINGHAM RD RAMSEY, NJ	270 NOTTINGHAM ROAD	
5503	28		2	HODREFE, ROBERT W & AIMEE, LISA A 276 NOTTINGHAM ROAD RAMSEY, N. J.	276 NOTTINGHAM ROAD	
5503	29		2	MIRRA, JOSEPH W 282 NOTTINGHAM RD RAMSEY, NJ	282 NOTTINGHAM ROAD	
5503	30		2	LINDSMANN, MARLENE & JOHN 286 NOTTINGHAM RD RAMSEY, NJ	286 NOTTINGHAM ROAD	
5503	31		2	GUTHRIER, MICHAEL W & ROSALYN 294 NOTTINGHAM ROAD RAMSEY, NJ	294 NOTTINGHAM ROAD	
5503	32		2	HENNESSY, DOUG & DONNA 302 NOTTINGHAM DR RAMSEY, NJ	302 NOTTINGHAM RD.	
5503	33		2	MOORHOUSE, JOHN D & KELLY M 306 NOTTINGHAM RD RAMSEY, NJ	306 NOTTINGHAM ROAD	
5503	34		2	SANTILLO, MANUEL & WILLEN ARROYO 314 NOTTINGHAM ROAD RAMSEY, NJ	314 NOTTINGHAM ROAD	
5503	42		4A	65 RT 17 S LLC 1771 FRONT ST SCOTCH PLAINS, NJ	65 STATE HIGHWAY 17	



UTILITY COMPANIES TO BE NOTIFIED

BOARD OF PUBLIC WORKS
33 N. CENTRAL AVENUE
RAMSEY, NJ 07446

PUBLIC SERVICE ELECTRIC AND GAS
20 VAN VOOREN DR.
OAKLAND, NJ 07436

ROCKLAND ELECTRIC COMPANY
1 BLUE HILL PLAZA
PEARL RIVER, NEW YORK 10965

VERIZON NEW JERSEY
REAL ESTATE DEPARTMENT
180 WASHINGTON VALLEY ROAD
BEDMINSTER, NJ 07921

CABLEVISION OF NEW JERSEY
40 POTASH RD.
OAKLAND, NJ 07436

BERGEN COUNTY PLANNING BOARD
1 BERGEN COUNTY PLAZA
HACKENSACK, NJ 07601

STATE OF N.J. DEPT. OF TRANSPORTATION
P.O. BOX 600
TRENTON, NJ 08625



Know what's below
Call before you dig.

CONTRACTOR SHALL CONTACT NEW JERSEY STATE DIG SAFE
PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION

NO.	REVISIONS/SUBMISSIONS	DATE
1	REVISED TO ADD CANOPY AND REVISED UNIT COUNT	10/1/2023
0	INITIAL ISSUE	05/31/2023

**PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS**

ALLENDALE SENIOR LIVING
&
ALLENDALE REHABILITATION AND HEALTHCARE

BLOCK 601, LOT 7
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

**JEFFERIS
ENGINEERING
ASSOCIATES, LLC**

801 ORCHARD AVENUE
RUNNEMEDE, N.J. 08078
PHONE: 856.933.2005
FAX: 856.933.2016
WWW.JEPPERISEENGINEERING.COM

N.J. CERTIFICATE OF AUTHORIZATION #246A2892590

TEAL S. JEFFERIS, P.E., CME, CDT
NJ PROFESSIONAL ENGINEER, LLC # GE42689
PA PROFESSIONAL ENGINEER LIC # PE076754
DE PROFESSIONAL ENGINEER LIC # 11161

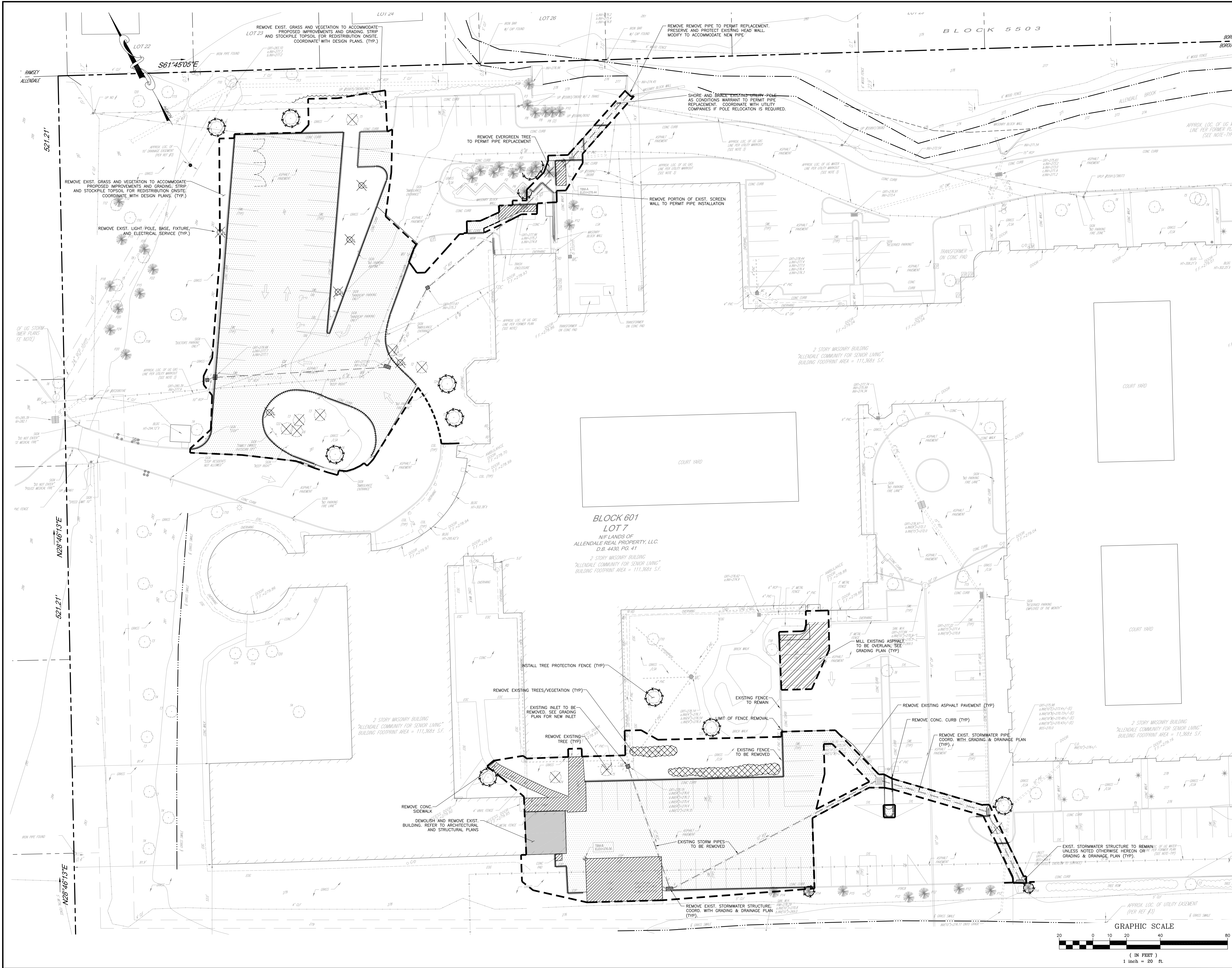
JEAF FILE No. 22-THCG-003 DRAWN BY: RAH
DATE: 11-29-22 CHECKED: TSJ

DRAWING NO.

C-0.1

**PROPERTY OWNERS
LIST PLAN**

SCALE: N.T.S. 2 OF 18



CONTRACTOR SHALL CONTACT NEW JERSEY STATE DIG SAFE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION

NO.	DATE	REVISIONS/SUBMISSIONS
1	02/1/2023	REVISED TO ADD CANOPY AND REVISED UNIT COUNT
0	02/1/2023	INITIAL ISSUE

PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS

ALLENDALE REHABILITATION AND HEALTHCARE
&
ALLENDALE SENIOR LIVING
85 HARETON ROAD - BLOCK 601, LOT 7
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

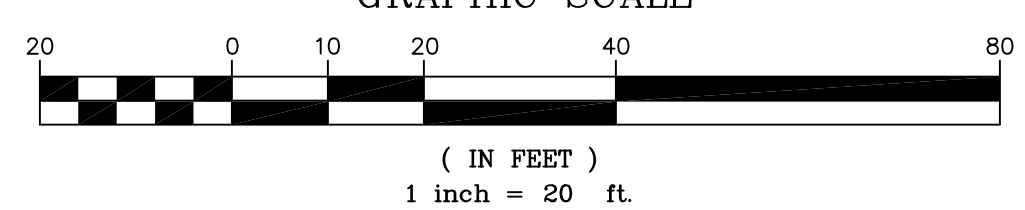
**JEFFERIS
ENGINEERING
ASSOCIATES, LLC**
801 ORCHARD AVENUE
RUNNEMEDA, N.J. 08078
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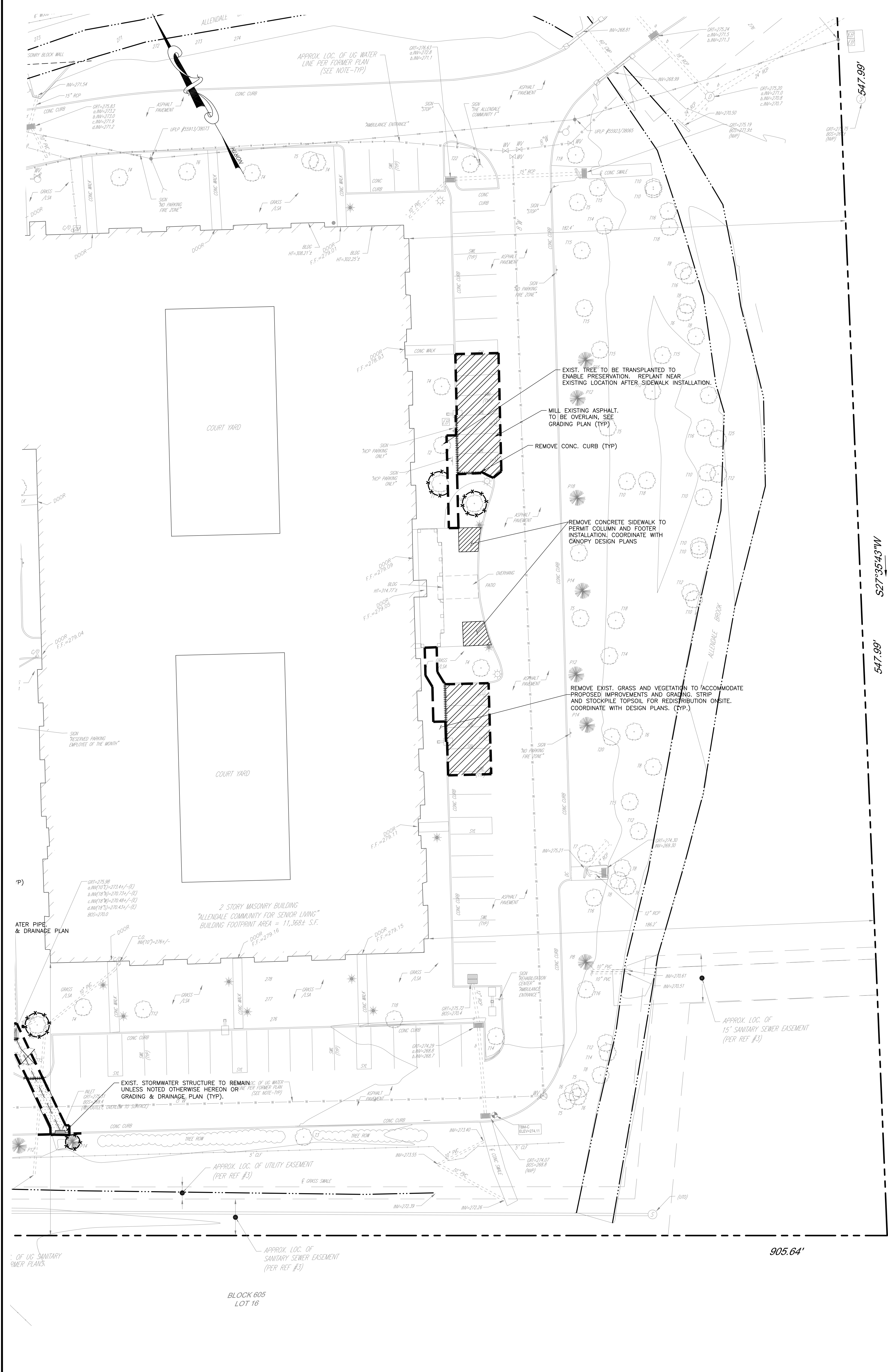
TEAL S. JEFFERIS, P.E., CME, CDT
NJ PROFESSIONAL ENGINEER # GE42689
PA PROFESSIONAL ENGINEER LIC# PE076754
DE PROFESSIONAL ENGINEER LIC# 011181

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SITE DEMOLITION
PLAN





DEMOLITION NOTES:

- 1) THE GENERAL CONTRACTOR SHALL BE DESIGNATED AS THE "RESPONSIBLE PERSON IN CHARGE OF CONSTRUCTION" AND THE SITE SUPERVISOR RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO NEW JERSEY STATE CODE.
- 2) IN ACCORDANCE WITH NEW JERSEY STATUTES THE CONTRACTOR SHALL NOTIFY ALL UTILITIES VIA NEW JERSEY ONE CALL SYSTEM, 1-800-222-1000 AT LEAST 3 BUSINESS DAYS PRIOR TO THE START OF EXCAVATION. SHALL THEN ALSO CONFIRM THE LOCATION OF ALL UTILITIES.
- 3) THE CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE DISCONNECTION OF ALL SITE UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION.
- 4) THE CONTRACTOR SHALL ADHERE TO AND OBEY ALL APPLICABLE FEDERAL, STATE, LOCAL, AND OSHA REGULATIONS PERTAINING TO DEMOLITION WORK. THIS PLAN DOES NOT REPRESENT OR ILLUSTRATE ANY SAFETY REQUIREMENTS PER OSHA, FEDERAL, STATE, OR LOCAL REGULATIONS.
- 5) THE CONTRACTOR SHALL REMOVE ALL DEMOLITION DEBRIS FROM THE SITE AND DISPOSE OF PROPERLY OFFSITE. NO BURYING OF DEBRIS ON SITE WILL BE PERMITTED.
- 6) ANY ENVIRONMENTAL ISSUES OR HAZARDOUS MATERIALS DURING DEMOLITION, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND CONTACT THE OWNER, PROJECT ENGINEER, AND APPROPRIATE EMERGENCY RESPONSE/STATE/LOCAL AGENCIES.
- 7) CONTRACTOR TO FIELD VERIFY CONNECTION OF ALL EXISTING UTILITY LATERALS TO THE BUILDING AND BETWEEN BUILDINGS.
- 8) THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY DURING THE DURATION OF DEMOLITION.
- 9) DEMOLITION SHALL BE COMPLETED WITHIN THE TIME FRAME OUTLINED IN THE SPECIFICATIONS.
- 10) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL MEASURES, SAFETY PRECAUTIONS, ROAD CLOSURES AND EVACUATIONS.
- 11) CONTRACTOR TO SAW CUT EXISTING SIDEWALKS, PAVEMENT, AND ASPHALT, FORMING A CLEAN EDGE AT PORTIONS TO REMAIN.
- 12) THE CONTRACTOR SHALL IMPLEMENT SOIL EROSION CONTROL MEASURES, AS OUTLINED IN THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN, PRIOR TO AND DURING DEMOLITION.
- 13) THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO SAFEGUARD AND PROTECT ALL EXISTING FEATURES TO REMAIN, INCLUDING BUT NOT LIMITED TO, EXISTING CURBS, RETAINING WALLS, SIDEWALKS, PAVING, UNDERGROUND UTILITIES, DRAINAGE FACILITIES AND LANDSCAPING. ANY DAMAGE TO THESE OR ANY OTHER ITEMS TO REMAIN AS A RESULT OF THE DEMOLITION OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ALL NECESSARY RESTORATION SHALL BE AT HIS SOLE EXPENSE.
- 14) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY TEMPORARY SHORING AND BRACING OF SURROUNDING AREA DURING DEMOLITION AND EXCAVATION.
- 15) THE CONTRACTOR SHALL BE RESPONSIBLE FOR 24-HOUR SECURITY OF THE SITE DURING DEMOLITION ACTIVITIES.
- 16) ALL SUBGRADES AND UNDERCUTS SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER. SOILS EXPOSED AT THE BASES OF ALL APPROVED FOUNDATION EXCAVATION SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGE IN CONDITION, SUCH AS DISTURBANCE FROM RAIN OR FROST. SURFACE RUNOFF SHOULD BE DRAINED AWAY FROM THE EXCAVATIONS AND NOT BE ALLOWED TO POND. FOUNDATION EXCAVATIONS SHOULD BE PROTECTED FROM RAINFALL OR FREEZING CONDITIONS.
- 17) IN THE EVENT THAT THE CONTRACTOR ENCOUNTERS ANY EXISTING UNDERGROUND STORAGE TANKS AND/OR EVIDENCE OF PETROLEUM DISCHARGE, CONTRACTOR SHALL IMMEDIATELY CONTACT OWNER AND OWNER'S ENVIRONMENTAL CONSULTANT/SRP TO DETERMINE APPROPRIATE COURSE OF ACTION. TANK CLOSURE SHALL BE PERFORMED, IF NECESSARY, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.

LEGEND:

- DENOTES CONCRETE REMOVAL
- DENOTES ASPHALT PAVEMENT REMOVAL
- DENOTES CURB REMOVAL

ASPHALT REMOVAL NOTES:

- 1) ASPHALT REMOVAL SHALL INCLUDE SAWCUTTING, REMOVAL OF ASPHALT PAVEMENT AND AGGREGATE SUBBASE, AND DISPOSAL/RECYCLING OF MATERIAL.
- 2) AGGREGATE SUBBASE MATERIAL SHALL BE STOCKPILED FOR REUSE IF DEEMED SUITABLE.

SOIL REMOVAL NOTES:

- 1) EXISTING SOIL (INCLUDING TOPSOIL) IN AREAS TO BE DEVELOPED SHALL BE STOCKPILED FOR REDISTRIBUTION ACROSS THE SITE. ALL EXCESS EXISTING SOILS, BEYOND WHAT CAN BE REDISTRIBUTED ACROSS THE SITE, MUST BE DISPOSED OF LEGALLY AT A LICENSED FACILITY. THIS MUST BE OVERSEEN AND COORDINATED WITH THE LSRP OF RECORD.
- 2) TOPSOIL SHALL BE TESTED FOR NUTRIENTS AND COMPOSITION FOR THE PURPOSE OF SUPPORTING GRASS AND VEGETATION, AND AMENDED AS NECESSARY BY TES RESULTS PRIOR TO SPREADING AND SEEDING.

TREE DISPOSAL NOTE:

- 1) THE DISPOSAL OF ANY TREE REMOVED SHALL BE COORDINATED WITH THE U.S. DEPARTMENT OF AGRICULTURAL AT (732) 815-4705.

PLAN NOTE:

- 1) REFER ALSO TO UTILITY PLAN FOR UTILITY REMOVAL AND/OR RELOCATION REQUIREMENTS.

BUILDING DEMOLITION NOTES:

- 1) AN INVESTIGATION FOR AND ABATEMENT/REMOVAL OF ANY EXISTING ASBESTOS CONTAINING MATERIAL AND/OR OTHER POTENTIAL ENVIRONMENTAL HAZARDS PRESENT IN THE BUILDINGS SHALL BE PERFORMED PRIOR TO BUILDING DEMOLITION.
- 2) BUILDING DEMOLITION TO INCLUDE REMOVAL OF ENTIRE BUILDING REMOVAL OF FOUNDATIONS AND UTILITY SERVICES, AND BACKFILL OF EXCAVATION.

STORM AND SANITARY PIPE INSPECTION NOTE:

- 1) REFER TO UTILITY PLAN FOR ADDITIONAL REQUIREMENTS AND NOTES.



Know what's below
Call before you dig.

CONTRACTOR SHALL CONTACT NEW JERSEY STATE DIG SAFE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION

NO.	REVISIONS/SUBMISSIONS	DATE
1	REVISED TO ADD CANOPY AND REVEALED UNIT COUNT	10/31/2023
0	INITIAL ISSUE	05/31/2023

PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS
ALLENDALE REHABILITATION AND HEALTHCARE
&
ALLENDALE SENIOR LIVING
85 HARETON ROAD - BLOCK 601, LOT 7
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

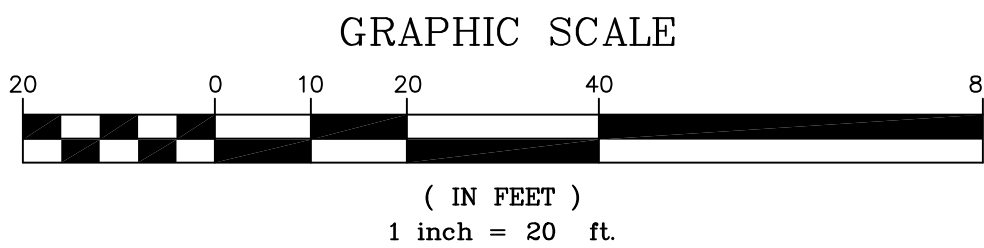
**JEFFERIS
ENGINEERING
ASSOCIATES, LLC**
801 ORCHARD AVENUE
RUNNEMED, N.J. 08078
PHONE: 856.933.2005
FAX: 856.933.2016
WWW.JEPPERISEENGINEERING.COM
N.J. CERTIFICATE OF AUTHORIZATION #246A28092500

TEAL S. JEFFERIS, P.E., CME, CDT
NJ PROFESSIONAL ENGINEER # GE42699
PA PROFESSIONAL ENGINEER LIC # PE076754
DE PROFESSIONAL ENGINEER LIC # 11161

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DATE: 11-29-22 CHECKED: TSJ
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SITE DEMOLITION
PLAN



SCALE: 1" = 40'	5 OF 18
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CONTRACTOR SHALL CONTACT NEW JERSEY STATE DIG SAFE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION			
NO.	DATE	REVISIONS/SUBMISSIONS	BY
1	01/01/2023	REVISED TO ADD CANOPY AND REVEALED UNIT COUNT	
0	01/01/2023	INITIAL ISSUE	

PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS

ALLEDALE REHABILITATION AND HEALTHCARE

&

ALLEDALE SENIOR LIVING
BLOCK 601, LOT 7
85 HARRETON ROAD -
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

JE **JEFFERIS**
ENGINEERING
ASSOCIATES, LLC

801 ORCHARD AVENUE
RUNNEMEDE, N.J. 08078
PHONE: 856-933-2005
FAX: 856-933-2016
WWW.JEPPERISEENGINEERING.COM

N.J. CERTIFICATE OF AUTHORIZATION #246A2892500

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NJ PROFESSIONAL ENGINEER, LIC. # GE42689
PA PROFESSIONAL ENGINEER, LIC. # PE076754
DE PROFESSIONAL ENGINEER, LIC. # 11161

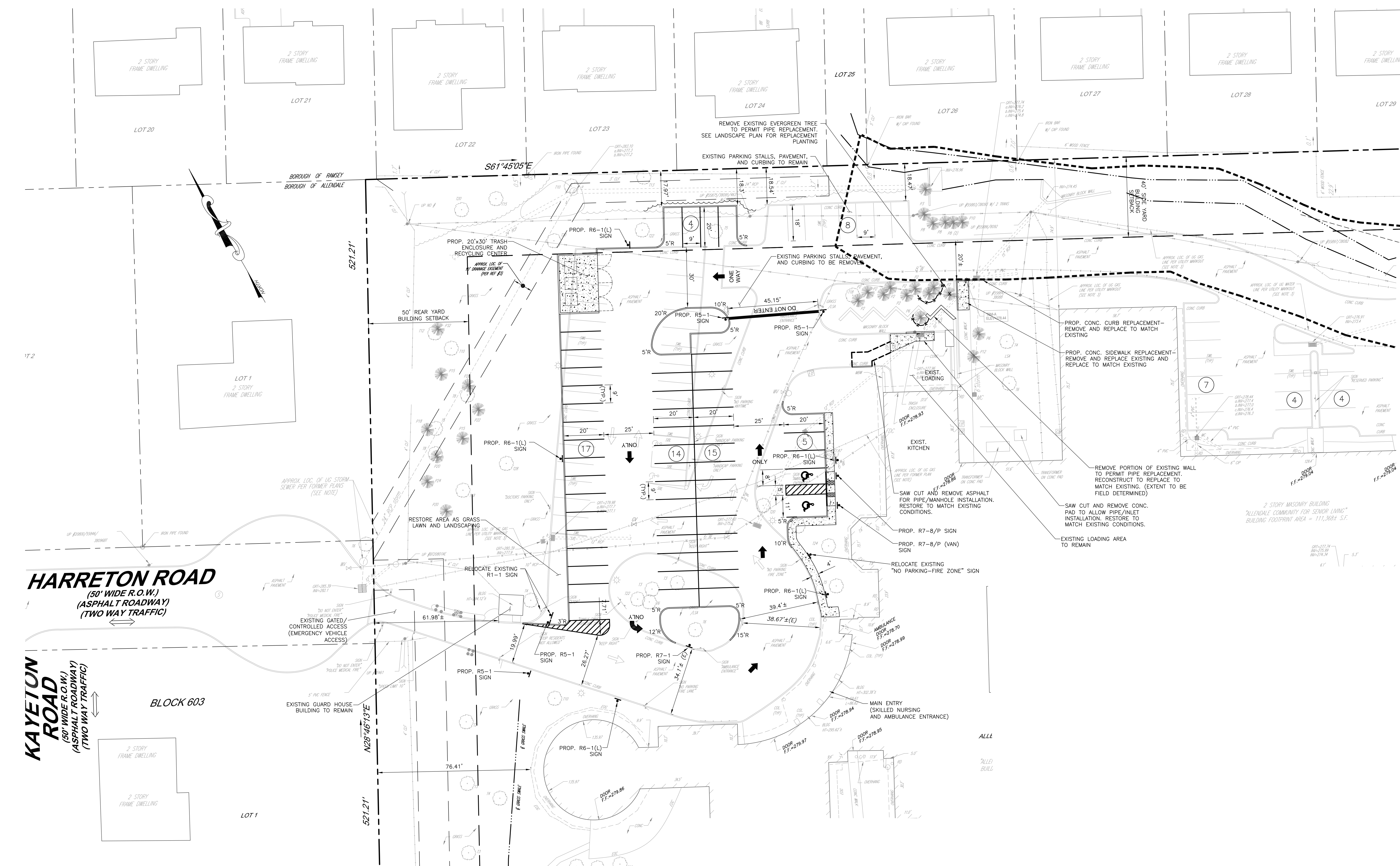
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DATE: 11-29-22 CHECKED: TSJ

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SITE PLAN
(ENLARGED)

SCALE: 1" = 20' 6 OF 18



APPROVED BY THE
COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY _____ DATE _____




CONTRACTOR SHALL CONTACT NEW JERSEY STATE DIG SAFETY

[illegible]

PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS


ALLENDALE REHABILITATION AND HEALTHCARE
&
ALLENDALE SENIOR LIVING
85 HARRETON ROAD - BLOCK 601, LOT 7
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.



JEFFERIS
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801 ORCHARD AVENUE
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PHONE: 856.933.2005
FAX: 856.933.2016
WWW.JEfferISENGINEERING.COM

N.J. CERTIFICATE OF AUTHORIZATION #24GA2809250

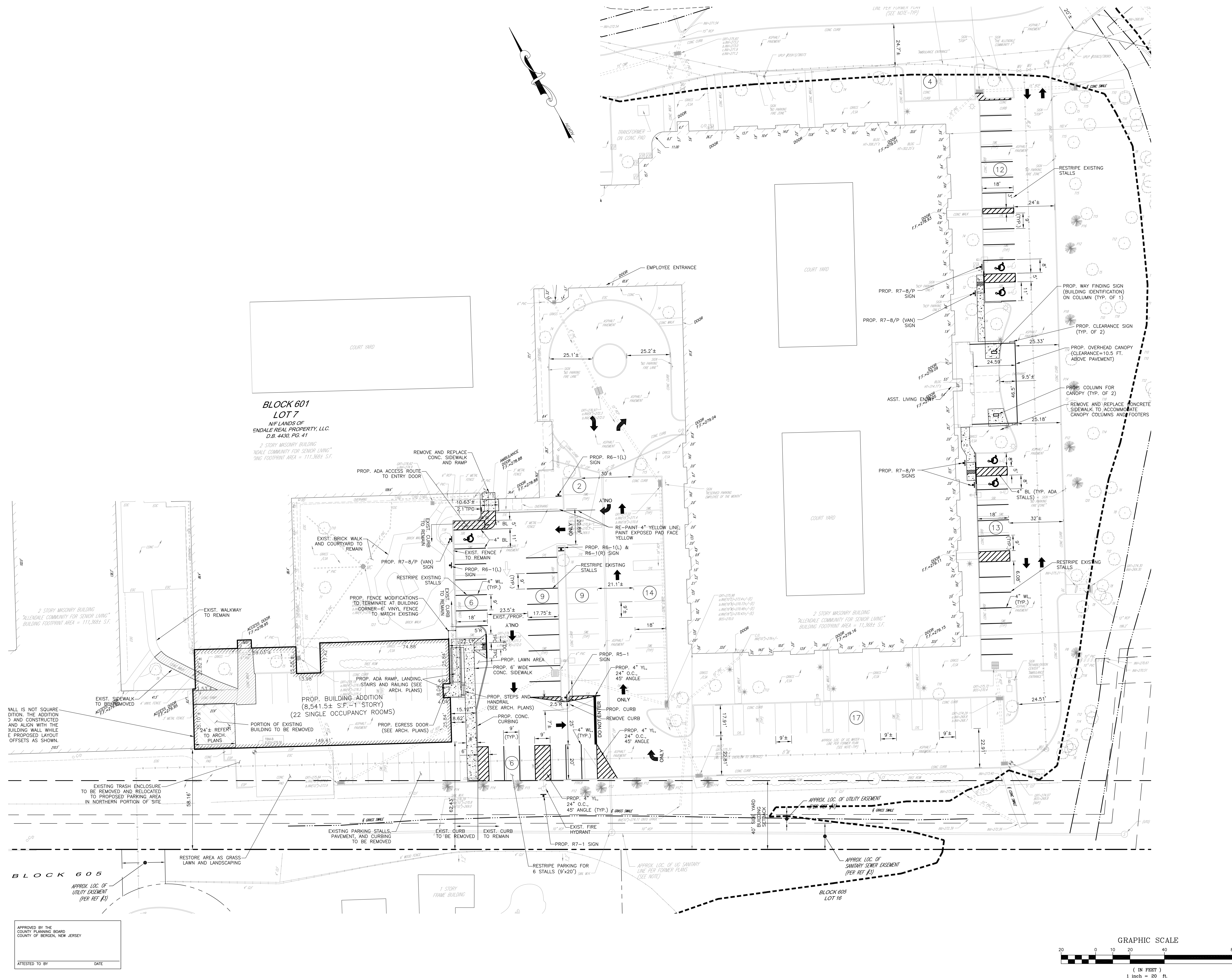

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DE PROFESSIONAL ENGINEER LIC. #11181

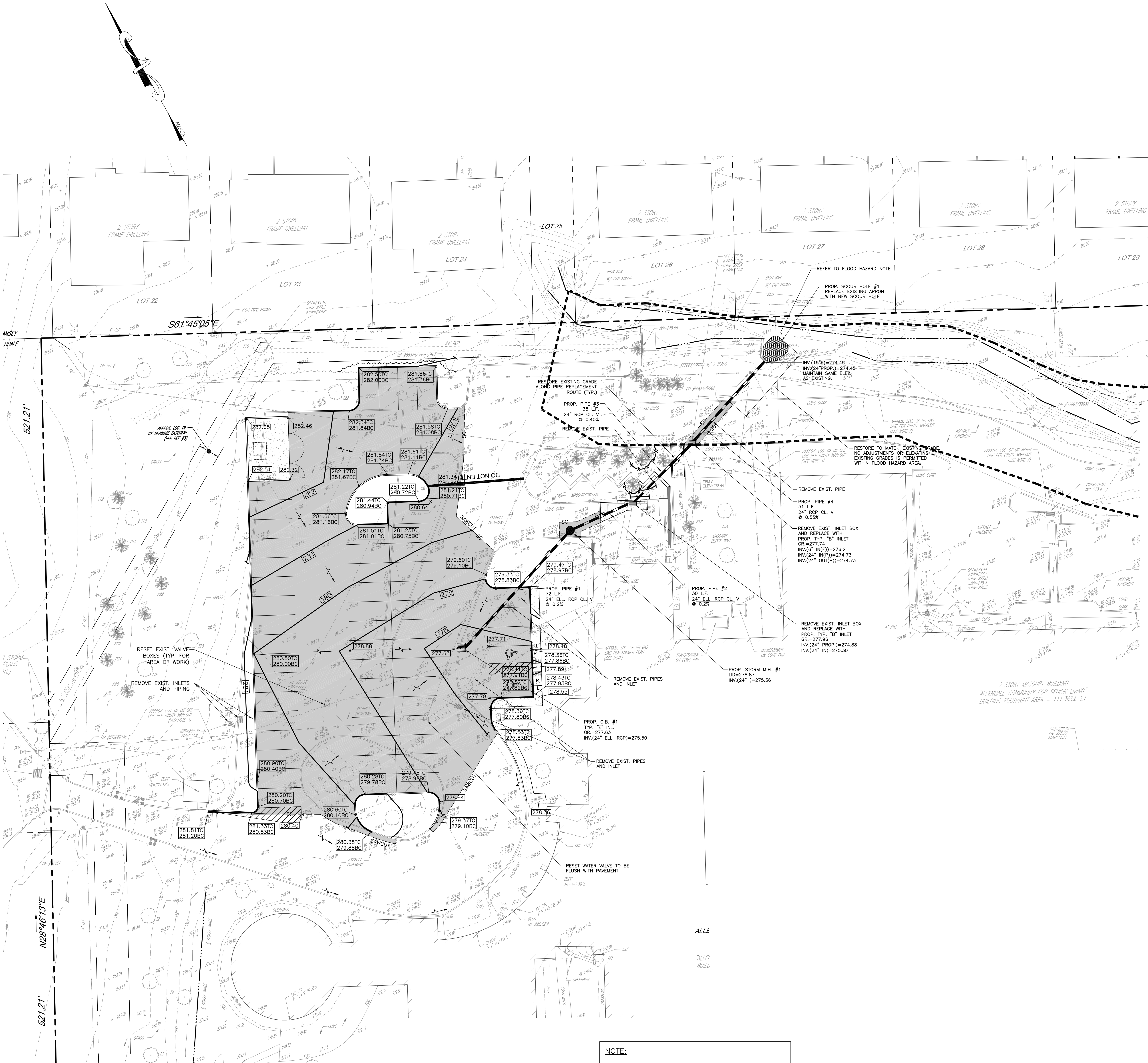
JEA FILE NO.	22-THCG-003	DRAWN BY:	RAH
DATE:	11-29-22	CHECKED:	TSJ
DRAWING NO.			

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SITE PLAN
(ENLARGED)

SCALE:	1" = 20'	7	OF	18
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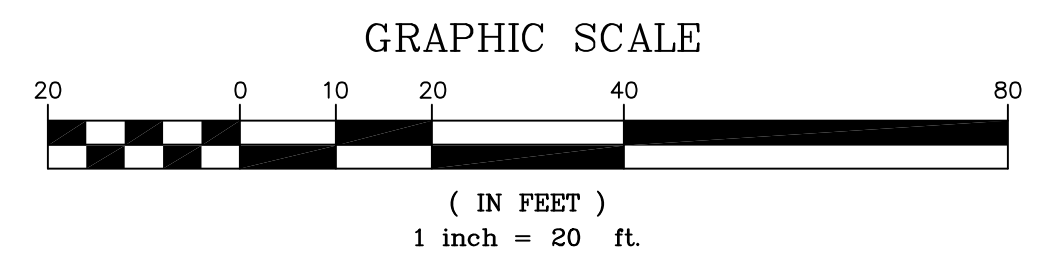
APPROVED BY THE
COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY _____ DATE _____

NOTE:
ALL EXISTING STORM LINES TO BE JETTED/VACUUMED
CLEAR OF OBSTRUCTIONS, DEBRIS, SEDIMENT, ETC.

UTILITY NOTE:
ALL UTILITY SERVICES FOR PROPOSED ADDITION TO
BE EXTENDED INTERNALLY FROM EXISTING BUILDING.
NO NEW UTILITY SERVICES ARE PROPOSED.

LEGEND:
TW = DENOTES TOP OF WALL ELEVATION
BW = DENOTES BOTTOM OF WALL ELEVATION
TC = TOP OF CURB
BC = BOTTOM OF CURB
SC = DENOTES PAVEMENT SAW CUT LINE
= DENOTES AREA OF FULL DEPTH ASPHALT PAVEMENT
= DENOTES AREA OF ASPHALT MILL & OVERLAY



- GRADING NOTES:**
- 1) ALL CONSTRUCTION MATERIALS, METHODS OF INSTALLATION AND TEST SHALL BE SUBJECT TO THE APPROVAL OF THE MUNICIPALITY.
 - 2) PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED PLANS AND PROVIDE REQUIRED NOTICE TO THE COUNTY CONSERVATION DISTRICT.
 - 3) THE CONTRACTOR SHALL NOT PLACE ANY MATERIAL OR DISTURB ANY SOIL BEYOND PROPERTY LINES OR RIGHT OF WAY WITHOUT WRITTEN PERMISSION OF PROPERTY OWNER DIRECTLY INVOLVED.
 - 4) THE CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL EXISTING UTILITIES ON THE SITE AND SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO START OF EXCAVATION.
 - 5) THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SHALL PAY FOR ALL FEES INCLUDING INSPECTION FEES. THE CONTRACTOR SHALL GIVE SUFFICIENT ADVANCE NOTICE TO THE TOWNSHIP ENGINEER AND ALL OTHER APPLICABLE PARTIES SO THAT REQUIRED INSPECTIONS CAN BE PERFORMED.
 - 6) INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIAL OR WORKMANSHIP BY TOWNSHIP, COUNTY OR STATE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS, SPECIFICATIONS, LAWS AND ORDINANCES.
 - 7) THESE DRAWINGS DO NOT SHOW OR INCLUDE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING THE METHODS OF CONSTRUCTION AND SHALL MEET ALL APPLICABLE SAFETY RULES AND REGULATIONS.
 - 8) TOPSOIL PRESERVATION - TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGRADED SURFACES SO AS TO PROVIDE AT LEAST FOUR (4) INCHES OF EVEN COVER TO ALL DISTURBED AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING.
 - 9) REMOVAL OF DEBRIS - ALL STUMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH THE LAW. NO TREE STUMPS, OR PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE WHERE DISTURBANCE IS PROPOSED. IF TREES AND LIMBS ARE REDUCED TO CHIPS, THEY MAY BE USED AS MULCH IN LANDSCAPE AREAS, SUBJECT TO APPROVAL BY THE TOWNSHIP ENGINEER.
 - 10) SLOPE PLANTING - LANDSCAPING OF ALL CUTS AND FILLS AND/OR TERRACES SHALL BE SUFFICIENT TO PREVENT EROSION, AND ALL ROADWAY SLOPES STEEPER THAN ONE(1) FOOT VERTICALLY TO THREE (3) FEET HORIZONTALLY SHALL BE PLANTED WITH GROUND COVER APPROPRIATE FOR THE PURPOSE AND FOR SOIL CONDITIONS, WATER AVAILABILITY, AND ENVIRONMENT.
 - 11) ELEVATIONS BASED UPON NAVD 1988 VERTICAL DATUM AS REFERENCED FROM THE SURVEY PLAN REFERENCED IN THIS PLAN SET.
 - 12) PROTECTION OF EXISTING PLANTINGS - MAXIMUM EFFORT SHOULD BE MADE TO SAVE THE SPECIMENS (BECAUSE OF SIZE OR RELATIVE RARITY), NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN FOUR FEET (4') OF SHRUBS OR TEN FEET (10') OF TREES DESIGNATED TO BE RETAINED ON THE PRELIMINARY AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF-SUPPORTING. THEY SHALL BE A MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED. SNOW FENCES AND SLT FENCES ARE EXAMPLES OF ACCEPTABLE BARRIERS.
 - 13) MAXIMUM SLOPES ACROSS UNPAVED TRANSITION GRADING AREAS SHALL BE 3:1 (H:V), A MINIMUM OF 2% SLOPE TO BE PROVIDED ON ALL GRASS AND LANDSCAPED AREAS AND A MINIMUM SLOPE OF 0.75% SHALL BE PROVIDED ON ALL PAVED AREAS.
 - 14) PROPOSED FILL MATERIAL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% MAXIMUM DRY DENSITY, AS DETERMINED BY PROCTOR TESTING OF FILL MATERIAL. PLACEMENT OF FILL MATERIAL SHOULD BE OVERSEEN AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER.
 - 15) ALL EXISTING TOPSOIL, STRIPPED FOR CONSTRUCTION SHALL BE PRESERVED AND REDISTRIBUTED FOR MINIMUM OF 5" DEPTH ON SITE, ANY EXCESS TOPSOIL SHALL BE USED TO CREATE LANDSCAPE BERMS ON SITE. FIELD COORDINATE WITH DESIGN AND TOWNSHIP ENGINEER IF EXCESS TOPSOIL QUANTITY EXCEEDS THAT REQUIRED TO ACHIEVE DESIGN GRADES AND ELEVATIONS. NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL, EXCEPT IN ACCORDANCE WITH THE PROVISIONS OF THE BOROUGH'S SOIL ORDINANCE.
 - 16) ANY EXCESS SOILS (WITH EXCEPTION OF TOPSOIL) CREATED BY CONSTRUCTION ACTIVITIES AND UNABLE TO BE UTILIZED ONSITE WITH PROPOSED GRADING SCHEME SHALL BE EXPORTED FROM THE SITE AND DISPOSED OF LEGALLY UNDER PROPER MANIFEST AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - 17) ALL REPLACED OR REDISTRIBUTED TOPSOIL SHALL BE STABILIZED BY SEEDING, PLANTING, OR SUCH OTHER METHOD AS MAY BE SPECIFIED IN THE SOIL MOVING PERMIT TO ENSURE THAT IT WILL REMAIN IN PLACE AND FREE FROM EROSION.

- UTILITY NOTES:**
- 1) UTILITIES SHOWN IN AREA OF IMPROVEMENTS WERE REFERENCED FROM ONE-CALL SURVEY, FORMER DESIGN PLANS AND PRIVATE UTILITY MARK OUT PERFORMED BY OTHERS IN DECEMBER 2022. REFER TO UTILITY REFERENCE NOTES.
 - 2) CONTRACTOR TO OBTAIN NECESSARY NJ ONE CALL AND PRIVATE UTILITY MARK OUT.

- CLEAN FILL REQUIREMENTS**
- IN THE EVENT THAT FILL MATERIAL IS IMPORTED ONTO THE SITE, THE FOLLOWING CONDITIONS SHALL BE FOLLOWED:
1. FILL SHALL BE UNCONTAMINATED PURSUANT TO ANY APPLICABLE REMEDIATION STANDARD AND FREE OF EXTRANEOUS DEBRIS OR SOLID WASTE.
 2. DOCUMENTATION OF THE QUALITY OF THE FILL SHALL BE PROVIDED BY A CERTIFICATION STATING IT IS VIRGIN MATERIAL FROM A COMMERCIAL OR NONCOMMERCIAL SOURCE OR DECONTAMINATED RECYCLED SOIL.
 3. A STATEMENT THAT TO THE BEST OF THE AFFIANT'S KNOWLEDGE AND BELIEF THE FILL BEING PROVIDED IS NOT CONTAMINATED PURSUANT TO ANY APPLICABLE REMEDIATION STANDARDS AND A DESCRIPTION OF THE STEPS TAKEN TO CONFIRM SUCH.
 4. ALL FILL MATERIAL SHALL ALSO CONFORM WITH THE PHYSICAL AND ENGINEERING PROPERTIES AND REQUIREMENTS SPECIFIED IN THE GEOTECHNICAL INVESTIGATION FOR USE IN EITHER STRUCTURAL OR NON-STRUCTURAL FILL CONDITIONS. REFER TO THE GEOTECHNICAL INVESTIGATION PREPARED FOR THIS PROPOSED DEVELOPMENT.
 5. COPIES OF THE CERTIFICATION AND AFFIDAVIT STATEMENT SHALL BE PROVIDED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL PRIOR TO IMPORTATION OF SUCH FILL.

- HANDICAP RAMP & WALKWAY CONSTRUCTION NOTES:**
- 1) PROPOSED HANDICAP RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12 (V:H), SLOPES GREATER THAN THIS WILL NOT BE ACCEPTED AND REPLACEMENT OF SUCH WILL BE AT THE EXPENSE OF THE CONTRACTOR.
 - 2) PROPOSED LANDINGS SHALL BE A MINIMUM OF 5' WIDE AND HAVE A MAXIMUM SLOPE IN ANY DIRECTION OF 2% (1:50 V:H). SLOPES GREATER THAN THIS WILL NOT BE ACCEPTED AND REPLACEMENT OF SUCH WILL BE AT THE EXPENSE OF THE CONTRACTOR.
 - 3) OUTSIDE OF DESIGNATED LANDINGS AND RAMPS, THE MAXIMUM PERMITTED SLOPE OF THE SIDEWALK IS 5% (1:20 V:H). SLOPES GREATER THAN THIS WILL NOT BE ACCEPTED AND REPLACEMENT OF SUCH WILL BE AT THE EXPENSE OF THE CONTRACTOR.
 - 4) FOR ALL NEW SIDEWALKS, THE MAXIMUM PERMITTED CROSS-SLOPE OF THE SIDEWALK IS 2% (1:50 V:H). CROSS-SLOPES GREATER THAN THIS WILL NOT BE ACCEPTED AND REPLACEMENT OF SUCH WILL BE AT THE EXPENSE OF THE CONTRACTOR.
 - 5) WHERE PROPOSED CONCRETE SIDEWALK MEETS EXISTING WALKWAY OR BUILDING FLOOR, THE PROPOSED CONCRETE WALKWAY SURFACE SHALL MEET FLUSH WITH THE EXISTING SURFACE AND BE SEPARATED FROM SUCH VIA AN EXPANSION JOINT.
 - 6) ALL CONCRETE SURFACES SHALL BE BROOM FINISHED (FOR NON-SLIP SURFACE) WITH TROWELED EDGES.
 - 7) ALL CONCRETE PAVEMENT JOINTS SHALL BE SEALED WITH JOINT SEALER.
 - 8) GRADE GRASS OR LANDSCAPE AREA IMMEDIATELY ADJACENT TO THE PROPOSED WALKWAY AND/OR RAMP FLUSH WITH AND AT SAME SLOPE AS THE WALKWAY SLOPE FOR A MINIMUM DISTANCE OF 12" ON BOTH SIDES.

FLOOD HAZARD NOTE:
REPLACEMENT OF EXISTING STORMWATER PIPE AND SCOUR HOLE ARE CONSIDERED PERMITTED BY RULE UNDER CATEGORIES PERMIT-BY RULE #3 AND #8 AS STIPULATED UNDER NJAC 7:13-7.3 AND 7.8, RESPECTIVELY, ACCORDINGLY, AND PURSUANT TO NJAC 7:13-6.3(c), PERMIT BY RULE ACTIVITIES MAY BE PERFORMED WITHOUT N.J.D.E.P. APPROVAL.

- PLAN REFERENCES:**
- 1) BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY CONTROL POINT ASSOCIATES, DATED OCTOBER 14, 2022.
 - 2) LIMITED PRIVATE UTILITY LOCATING (STORMWATER & SANITARY SEWERS) PERFORMED BY GPRS, DATED DECEMBER 2022.
 - 3) DRAINAGE EASEMENT PLAN FOR ALLENDALE ATRIUM, PREPARED BY BOSWELL ENGINEERING COMPANY, SHEET 2 OF 20, DATED JULY 20, 1983 AND LAST REVISED APRIL 14, 1986.



CONTRACTOR SHALL CONTACT NEW JERSEY STATE DEPT. OF TREES PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION			
NO.	DATE	REVISIONS/SUBMISSIONS	BY
1	01/01/2023	REVISED TO ADD CANOPY AND REVISION UNIT COUNT	
0	01/01/2023	INITIAL ISSUE	

**PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS**

ALLENDALE REHABILITATION AND HEALTHCARE

&

ALLENDALE SENIOR LIVING

85 HARETON ROAD - BLOCK 601, LOT 7

BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

JEFFERIS ENGINEERING ASSOCIATES, LLC

801 ORCHARD AVENUE
RUNNEMEDA, N.J. 08078
PHONE: 856.933.2005
FAX: 856.933.2016
WWW.JEPPERISEENGINEERING.COM

N.J. CERTIFICATE OF AUTHORIZATION #246A2892590

TEAL S. JEFFERIS, P.E., CME, CDT

NJ PROFESSIONAL ENGINEER LIC. # GE42689
PA PROFESSIONAL ENGINEER LIC. # PE076754
DE PROFESSIONAL ENGINEER LIC. # 11161

JEAF FILE No. 22-THCG-003 DRAWN BY: RAH

DATE: 11-29-22 CHECKED: TSJ

DRAWING NO.

C-3.0

GRADING & UTILITY PLAN

SCALE: 1" = 20' 8 OF 18

OVERFLOW AT INLET NOTE:
THE EXISTING STORMWATER SYSTEM IN PARKING LOT ON THE SOUTHERN SIDE OF THE SITE DOES NOT CURRENTLY HAVE A DIRECT OUTFALL AND TERMINATES INTO THE EXISTING INLET (PROP. CB#8 FOR REPLACEMENT) AT SOUTHERN SIDE OF PARKING LOT. STORMWATER RUNOFF FROM THE PIPE SYSTEM DRAINS TO THIS INLET VIA SOLID WALL PIPING AND THEN OVERFLOWS THROUGH THE GRATE ONTO THE SURFACE OF THE CONCRETE SPILLWAY, AND THEN DRAINS VIA OVERLAND FLOW INTO THE GRASS SWALE.

UNDER PROPOSED CONDITIONS, THIS EXISTING DRAINAGE PATTERN IS PROPOSED TO REMAIN AS OBTAINING POSITIVE OUTFALL FOR THE STORMWATER PIPE DOES NOT APPEAR ACHIEVABLE DUE TO EXISTING GRADE/ELEVATION RESTRICTIONS. UNDER PROPOSED CONDITIONS, THE EXISTING 18" DIAMETER REINFORCED CONCRETE PIPING IS PROPOSED TO BE REPLACED WITH 18" HDPE PIPE, AT THE SAME SLOPE AS EXISTING CONDITIONS, IN A STONE BED SO AS TO ALLOW THE RETAINED WATER WITHIN THE PIPE (AFTER OVERFLOW CONDITIONS) CAN DISSIPATE FROM THE PIPE SYSTEM INTO THE SUBSOILS.

UTILITY NOTE:
ALL UTILITY SERVICES FOR PROPOSED ADDITION TO BE EXTENDED INTERNALLY FROM EXISTING BUILDING. NO NEW UTILITY SERVICES ARE PROPOSED.

NOTE:
ALL EXISTING STORM LINES TO BE JETTED/VACUUMED CLEAR OF OBSTRUCTIONS, DEBRIS, SEDIMENT, ETC.



APPROVED BY THE
COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY _____ DATE _____



CONTRACTOR SHALL CONTACT NEW JERSEY STATE DIG SAFE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

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**PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS**

ALLEDALE REHABILITATION AND HEALTHCARE

ALLEDALE SENIOR LIVING

85 HARRETON ROAD - BLOCK 601, LOT 7

BOROUGH OF ALLEDALE, BERGEN COUNTY, N.J.

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N.J. PROFESSIONAL ENGINEER # 0642699
PA PROFESSIONAL ENGINEER # 0642699
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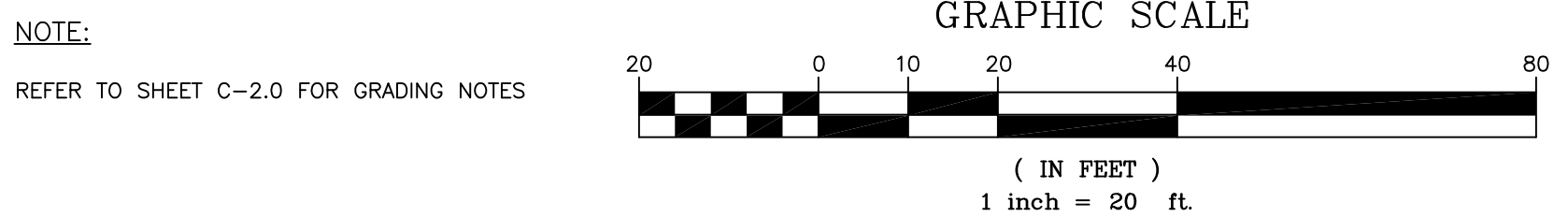
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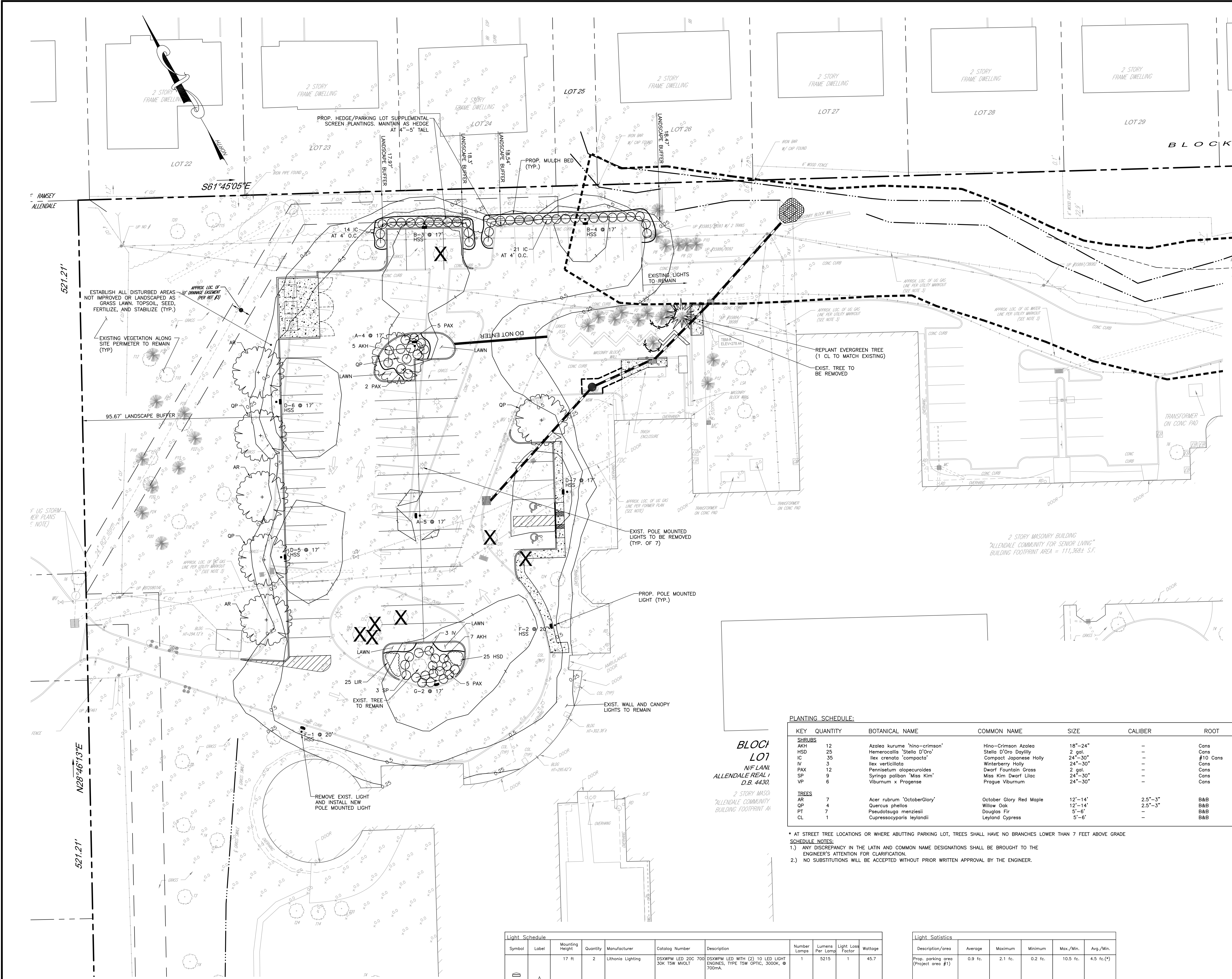
DATE: 11-29-22 CHECKED: TSJ

DRAWING NO.

C-3.1

GRADING & UTILITY PLAN





- LIGHTING NOTES:**
- LIGHTING DESIGN, ISOLX PATTERNS, AND INTENSITY LEVELS WERE GENERATED UTILIZING VISUAL LIGHTING DESIGN SOFTWARE. LIGHTING DISTRIBUTION DATA AND PATTERNS FOR PROPOSED LIGHTS WERE OBTAINED FROM MANUFACTURER.
 - ELECTRICAL SERVICES FOR PROPOSED LIGHTS ARE TO BE OBTAINED BY OTHERS AND EXTENDED UNDERGROUND FROM THE PROPOSED BUILDING TO THE LIGHT. NO AERIAL SERVICES FOR LIGHTS SHALL BE PERMITTED.
 - LIGHT MODELING WAS NOT PERFORMED ON EXISTING LIGHT FIXTURES AND REFLECTS ILLUMINATION FROM PROPOSED LIGHTS ONLY.







- CONSTRUCTION NOTES:**
- ELECTRICAL CONTRACTOR TO DETERMINE ELECTRICAL SERVICE ROUTING, DESIGN, AND CONNECTIONS FOR PROPOSED LIGHTS. COORDINATE SERVICE CONNECTIONS AND ROUTING WITH OWNER AND ARCHITECTURAL/ELECTRICAL PLANS. ALL NEW ELECTRICAL SERVICES FOR LIGHTING SHALL BE INSTALLED UNDERGROUND.
 - LIGHT FIXTURES ARE TO BE EQUIPPED WITH PHOTO CELL SO AS TO TURN ON AT DUSK AND SHUT OFF AT DAWN.
 - PRIOR TO COMMENCEMENT OF EXCAVATION OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR MUST CONTACT NEW JERSEY ONE-CALL TO REQUEST AND OBTAIN A UTILITY MARK-OUT AT THE FACILITY. THE CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL EXISTING UTILITIES ON THE SITE AND SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO START OF EXCAVATION.
 - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SHALL PAY FOR ALL FEES INCLUDING INSPECTION FEES. THE CONTRACTOR SHALL GIVE SUFFICIENT ADVANCE NOTICE TO THE MUNICIPALITY AND ALL OTHER APPLICABLE PARTIES SO THAT REQUIRED INSPECTIONS CAN BE PERFORMED.
 - THESE DRAWINGS DO NOT SHOW OR INCLUDE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING THE METHODS OF CONSTRUCTION AND SHALL MEET ALL APPLICABLE SAFETY RULES AND REGULATIONS.
 - COORDINATE ANY DISRUPTION OF ELECTRICAL SERVICES WITH THE FACILITY MANAGER.
 - COORDINATE MOUNTING OF WALL LIGHTS WITH ARCHITECTURAL PLANS AND DESIGN.
 - HOURS OF LIGHT OPERATION: DUSK TO DAWN, 7 DAYS PER WEEK.

LEGEND:

+1.1 DENOTES POINT LIGHT LEVEL ON THE GROUND AT A SPECIFIC LOCATION

0.5 DENOTES ISOLX LEVEL/PATTERN

HSS DENOTES HOUSE SIDE SHIELD

Light Schedule												
Symbol	Label	Mounting Height	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage		
	A	17 ft	2	Lithonia Lighting	DSWPM LED 200 700 30K TSM MVOLT	DSWPM LED WITH (2) 10 LED LIGHT ENGINES, TYPE TSM OPTIC, 3000K, Ø 700mA.	1	5215	1	45.7		
	B	17 ft	2	Lithonia Lighting	DSWPM LED 200 530 30K TSM MVOLT HS	DSWPM LED WITH (2) 10 LED LIGHT ENGINES, TYPE TSM OPTIC, 3000K, Ø 530mA WITH HOUSE-SIDE SHIELDS.	1	2992	1	34.9		
	D	17 ft	3	Lithonia Lighting	DSWPM LED 200 530 30K TSM MVOLT HS	DSWPM LED WITH (2) 10 LED LIGHT ENGINES, TYPE TSM OPTIC, 3000K, Ø 530mA WITH HOUSE-SIDE SHIELDS.	1	3199	1	34.9		
	F	17 & 20 ft	2	Lithonia Lighting	DSWPM LED 100 530 30K TSM MVOLT HS	DSWPM LED WITH (1) 10 LED LIGHT ENGINES, TYPE TSM OPTIC, 3000K, Ø 530mA WITH HOUSE-SIDE SHIELDS.	1	1688	1	19.1		
	G	17 ft	1	Lithonia Lighting	DSWPM LED 200 100 30K TSM MVOLT	DSWPM LED WITH (2) 10 LED LIGHT ENGINES, TYPE TSM OPTIC, 3000K, Ø 100mA.	1	7243	1	72.52		
	H	8 ft	4	Lithonia Lighting	WIDE1 LED PO 30K 90CRI VW	WIDE1 LED WITH PO – PERFORMANCE PACKAGE, 3000K, 90CRI, VISUAL COMFORT WIDE OPTIC	1	637	1	6.7947		

Light Statistics		Average	Maximum	Minimum	Max./Min.	Avg./Min.
Prop. parking area (Project area #1)		0.9 fc.	2.1 fc.	0.2 fc.	10.5 fc.	4.5 fc.(*)
Walkway and Addition (Project area #2)		1.7 fc.	4.6 fc.	0.1 fc.(*)	46 fc.	17.0 fc.(*)
Min. requirements Per sect. 147-32 (Low activity use)		0.8 fc.	-	0.2 fc.	-	4:1
* DESIGN WAIVERS REQUIRED: - UNIFORMITY RATIO (AVG./MIN.) FOR BOTH AREAS - MINIMUM LEVEL (VALUES AT PROJECT AREA #2)						
NOTE: STATISTICS EVALUATE ONLY AREAS ILLUMINATED BY PROPOSED LIGHTS AND DO NOT ACCOUNT OR REFLECT INFLUENCE BY EXISTING LIGHTS TO REMAIN (NOT MODELLED)						

PLANTING NOTES:

- THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. PLANT MATERIAL QUANTITIES ARE LISTED ON THE CONFORMANCE OF THE CONTRACTOR. THE NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER THE QUANTITY DESIGNATED IN THE PLANTING SCHEDULE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR THE PLANTING OF ALL PLANT MATERIALS, THE STAKING AND CULVING OF TREES, AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON ARRIVAL AT THE SITE.
- THE CONTRACTOR SHALL APPLY A QUALITY ANTI-DESICCANT SUCH AS "WILT-PROOF" OR AN APPROVED EQUAL, TO THE PLANTS (EXCLUDING DECIDUOUS PLANTS) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO ENSURE THE OPPORTUNITY FOR SURVIVAL AFTER INITIAL PLANTING.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL STAKE OUT THE EXACT LOCATIONS OF PROPOSED PLANT MATERIALS, BEDS AND MULCHED AREAS FOR APPROVAL PRIOR TO THE PLANTING OPERATION.
- NO EXISTING TOPSOIL SHALL BE USED FOR PLANT PITS, SHRUB BEDS, OR LAWN INSTALLATION UNLESS AN EXISTING TOPSOIL ANALYSIS REPORT FROM AN APPROVED AGRICULTURAL CHEMIST AND THE PROGRAM OF ACTIVITIES THE CONTRACTOR PROPOSES TO USE TO BRING THE EXISTING TOPSOIL UP TO A MINIMUM STANDARD AS SPECIFIED BY THE LANDSCAPE ARCHITECT IS SUBMITTED TO AND APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER.
- SHREDED HARDWOOD MULCH SHALL BE PLACED AROUND THE BASE OF ALL TREES IN TURF AREAS WITHIN A RADIUS OF THREE (3) FEET FROM THE BASE OF THE TRUNK. ALL TREES ARE TO BE MULCHED CONTINUOUSLY WITH 2"-3" MAXIMUM OF SHREDED HARDWOOD MULCH, AVOID CREATIONS OF "VOLCANO" MOUNDS OF MULCH.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR FURTHER INSTRUCTIONS.
- ALL PERVIOUS AND DISTURBED AREAS NOT RECEIVING LANDSCAPE PLANTINGS SHALL BE SEEDED WITH PERMANENT SEEDING IN ACCORDANCE WITH THE SPECIFICATIONS ON SHEET SE-2.
- ALL SHADE AND STREET TREES SHALL HAVE A MINIMUM CALIPER OF TWO (2.0) INCHES AT THE TIME OF PLANTING.
- TREES SHALL BE OF NURSERY-GROWN STOCK AND SHALL BE INSET AND DISEASE RESISTANT.
- TREES SHOULD BE PLANTED ACCORDING TO THE FOLLOWING RECOMMENDED HORTICULTURE PROCEDURES:
 - PLANTS SHOULD BE WELL-FORMED AND HEALTHY NURSERY-GROWN STOCK. THE ROOT BALL SHOULD BE INSPECTED TO ENSURE THAT IT IS UN Damaged AND CONTAINS GOOD-QUALITY SOIL AND THAT IT ENCOMPASSES THE ENTIRE ROOT SYSTEM.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES.
 - DECIDUOUS AND EVERGREEN TREE PLANTING HOLES SHALL BE A MINIMUM OF TWO (2) TIMES LARGER THAN THE DIAMETER OF THE ROOT BALL AND DUG TO A DEPTH THAT WILL PLACE THE TREES IN THE RELATION TO THE CROWN OF THE TREE BASE TO ITS PREVIOUS EXISTING GRADE. THE ROOT BALL SHALL SIT ON A CONVEX MOUND OF UNDISTURBED SUBGRADE. TOPSOIL AND SUBGRADE SHALL BE MIXED THOROUGHLY WITH GOOD QUALITY SCREENED TOPSOIL BEFORE BACKFILLING.
 - SHRUB PLANTING HOLES SHALL BE A MINIMUM OF TWO (2) TIMES LARGER THAN THE DIAMETER OF THE BALL.
 - PLANTINGS SHALL BE SET PLUMB AND STRAIGHT. THE PLANTING SHALL BE SET AT SUCH A LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE TREE BASE TO THE GROUND SURFACE WILL BE ESTABLISHED. THE PLANT SHALL BE LOCATED IN THE CENTER OF THE PIT. ROOTS SHALL BE SPREAD EVENLY THROUGHOUT THE HOLE AND SOIL SHALL BE ADDED CAREFULLY.
 - THE BACKFILL SOIL SHOULD BE TAMPED IN PLACE AND THE HOLE FILLED TO THE TOP OF THE ROOT BALL. THE ADDED SOIL SHOULD BE TAMPED GENTLY, BUT NOT COMPACTED, AND AN EIGHT (8) INCH SOIL SAUCER RIM FOR THE EVERGREEN AND DECIDUOUS TREES AND A THREE (3) INCH SAUCER RIM FOR THE SHRUBS SHOULD BE CREATED. A SAUCER RIM IS NOT NEEDED WHEN A SHRUB IS PLANTED IN A MULCH PLANTING BED.

TOPSOIL NOTE:

CONTRACTOR TO IMPORT AND FURNISH TOPSOIL FROM OFFSITE SOURCE TO SUPPLEMENT EXISTING TOPSOIL TO PROVIDE MINIMUM THICKNESS OF FIVE (5) INCHES ACROSS THE RESTORED AREA. TOPSOIL SHALL BE FRAMBLE & LOAMY; SCREENED, FREE OF ROCK OR GRAVEL LARGER THAN 1/2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER; AND OF GOOD QUALITY. TOPSOIL SHALL PH RANGE OF 5.5 TO 7 AND A MINIMUM OF 4 PERCENT ORGANIC MATERIAL COMPOSITION.

EDGING NOTES:

- USE BLACK ALUMINUM EDGING FOR ALL STONE BEDS WHEN ABUTTING MULCH BEDS.
- USE BLACK ALUMINUM EDGING FOR PERIMETER OF ALL MULCHED BEDS NOT ABUTTING A STRUCTURE, WALKWAY, CURB, ETC.
- EDGING TO BE 5" MIN. TALL, 1/8" THICK
- INSTALL AND ANCHOR PURSUANT TO MANUFACTURER'S REQUIREMENTS.

TREE PROTECTION (SECT. 244):

TREE REMOVAL SUMMARY:

DIAMETER	QTY
2"	2
3"	2
4"	1
5"	2
6"	1
15"	1
20"	1
22"	1

REPLACEMENT TREE REQUIRED (SECT. 244-25): 1 FOR 1 REPLACEMENT
PROPOSED TREES = 11 (COMPLIES)



Know what's below
Call before you dig.

CONTRACTOR SHALL CONTACT NEW JERSEY STATE ONE-CALL PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION

NO.	REVISION	DATE
1	REVISED TO ADD CANOPY AND REVEALED UNIT COUNT	10/1/2023
2	INITIAL ISSUE	05/31/2023
3	REVISIONS/SUBMISSIONS	

**PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS**

ALLENDALE REHABILITATION AND HEALTHCARE

&

ALLENDALE SENIOR LIVING

85 HARRETON ROAD - BLOCK 601, LOT 7

BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

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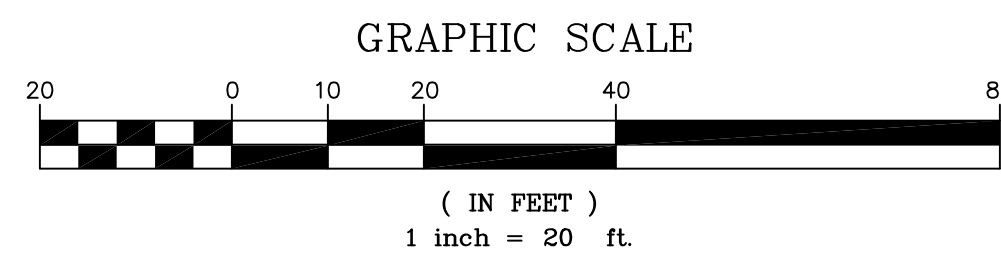
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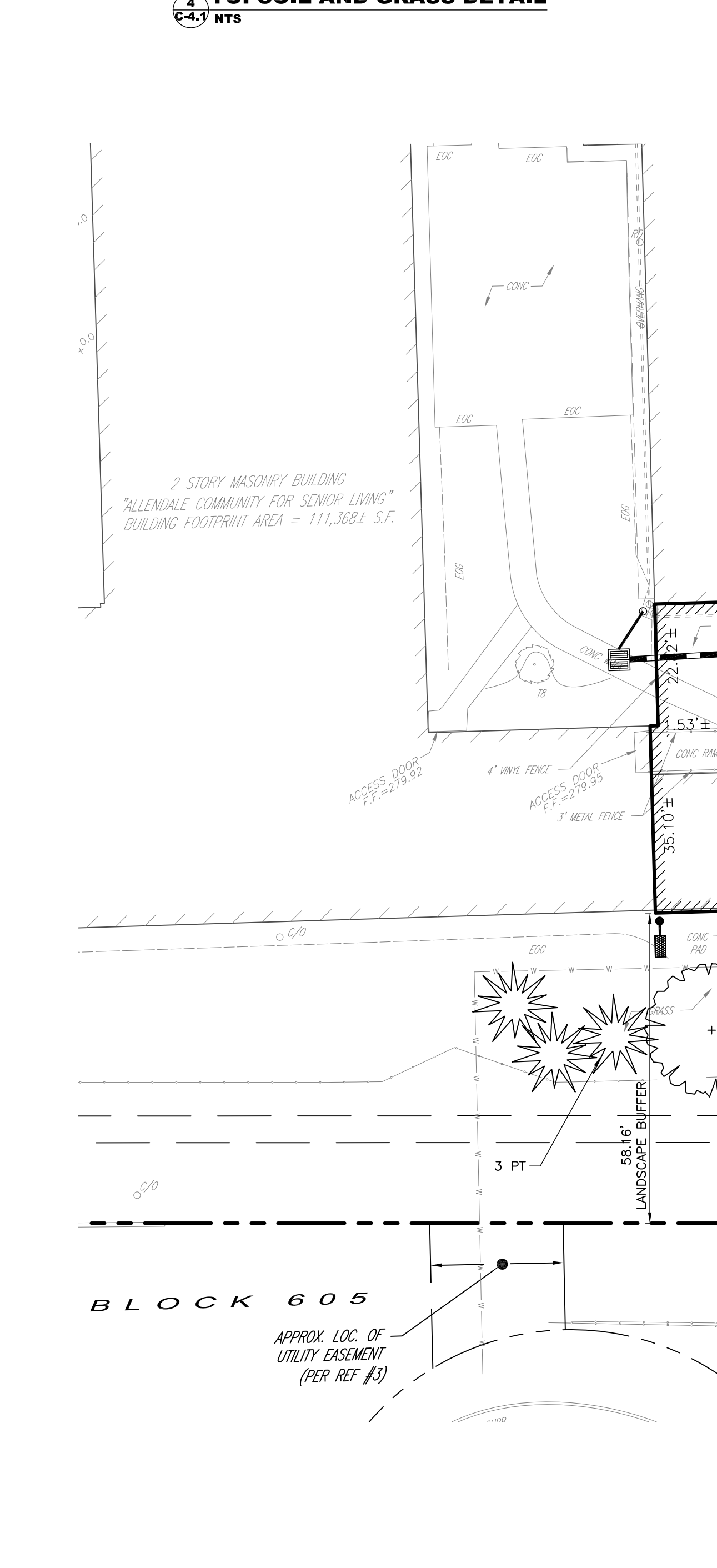
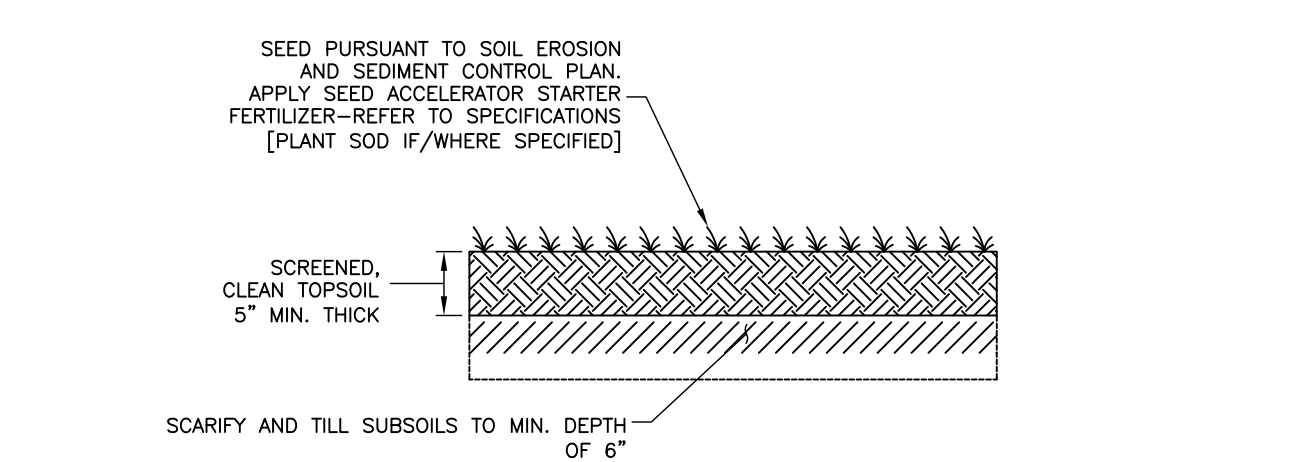
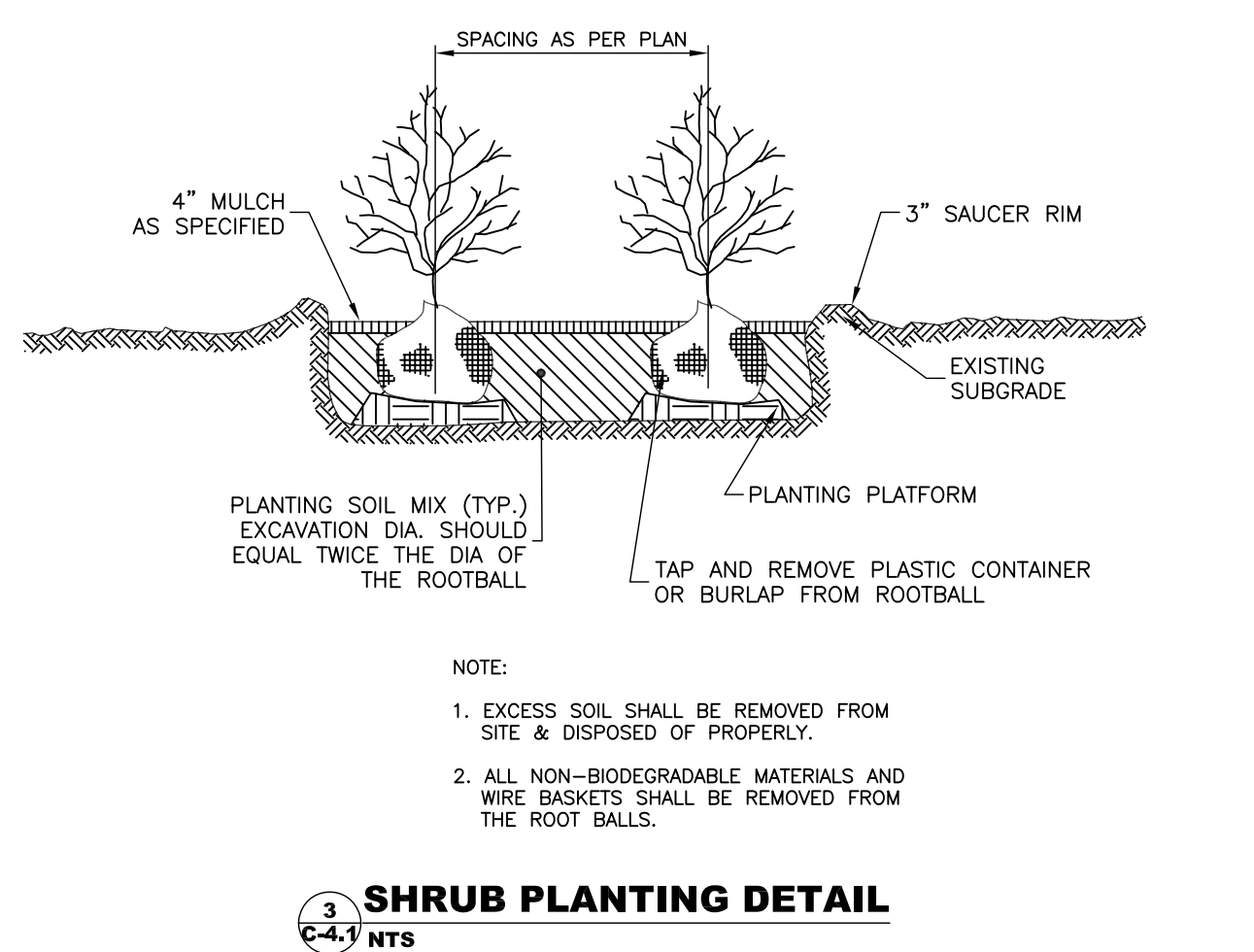
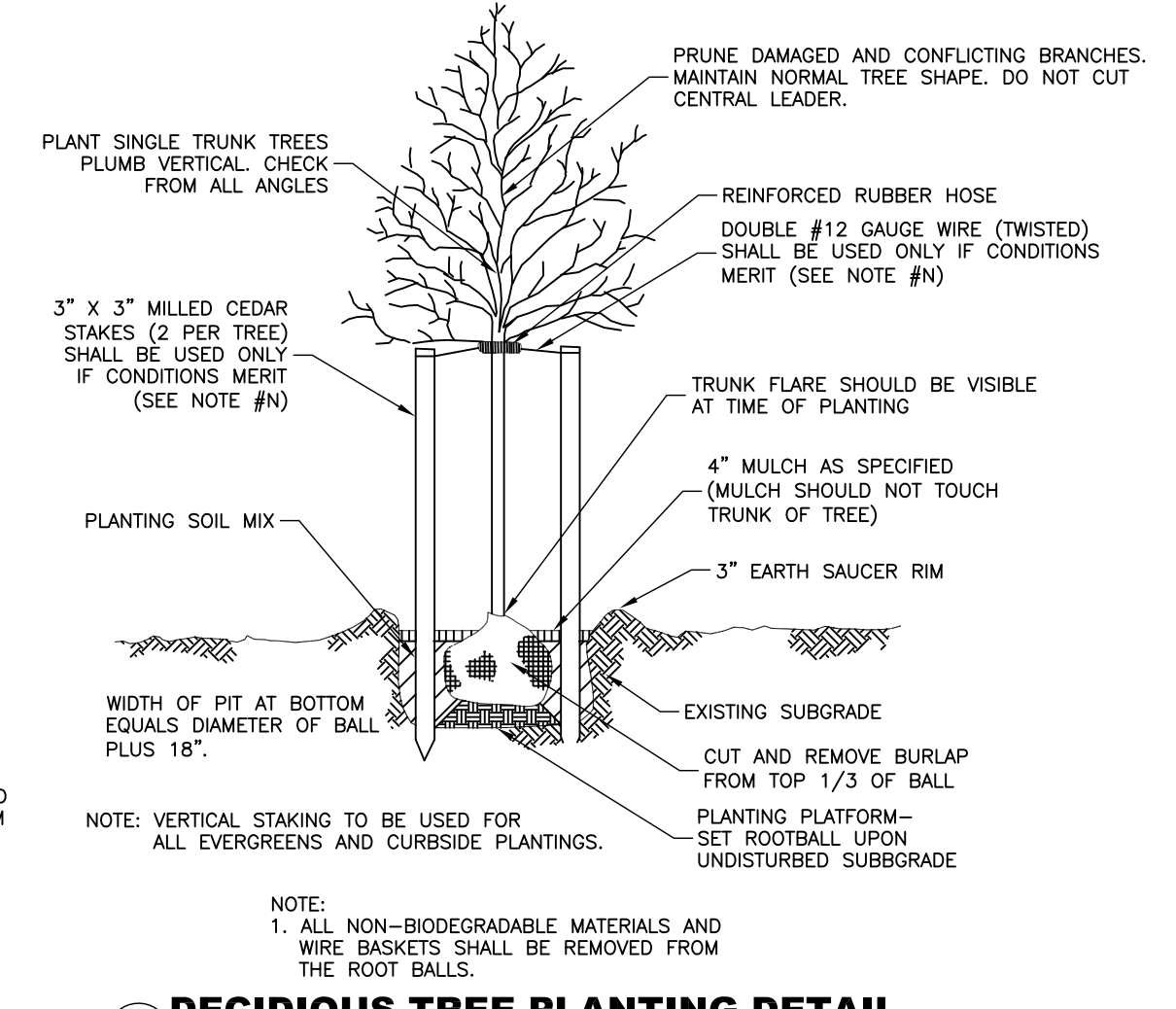
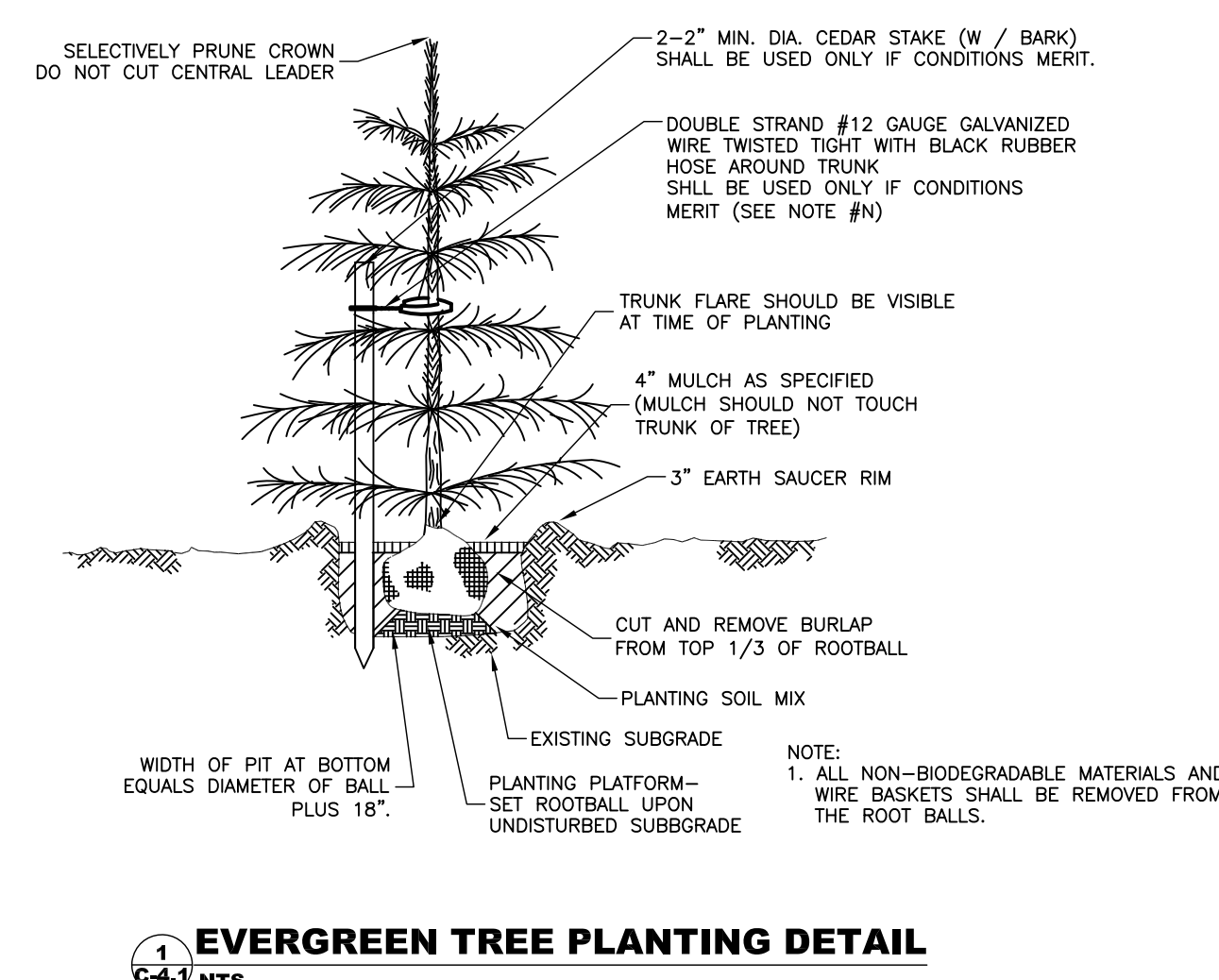
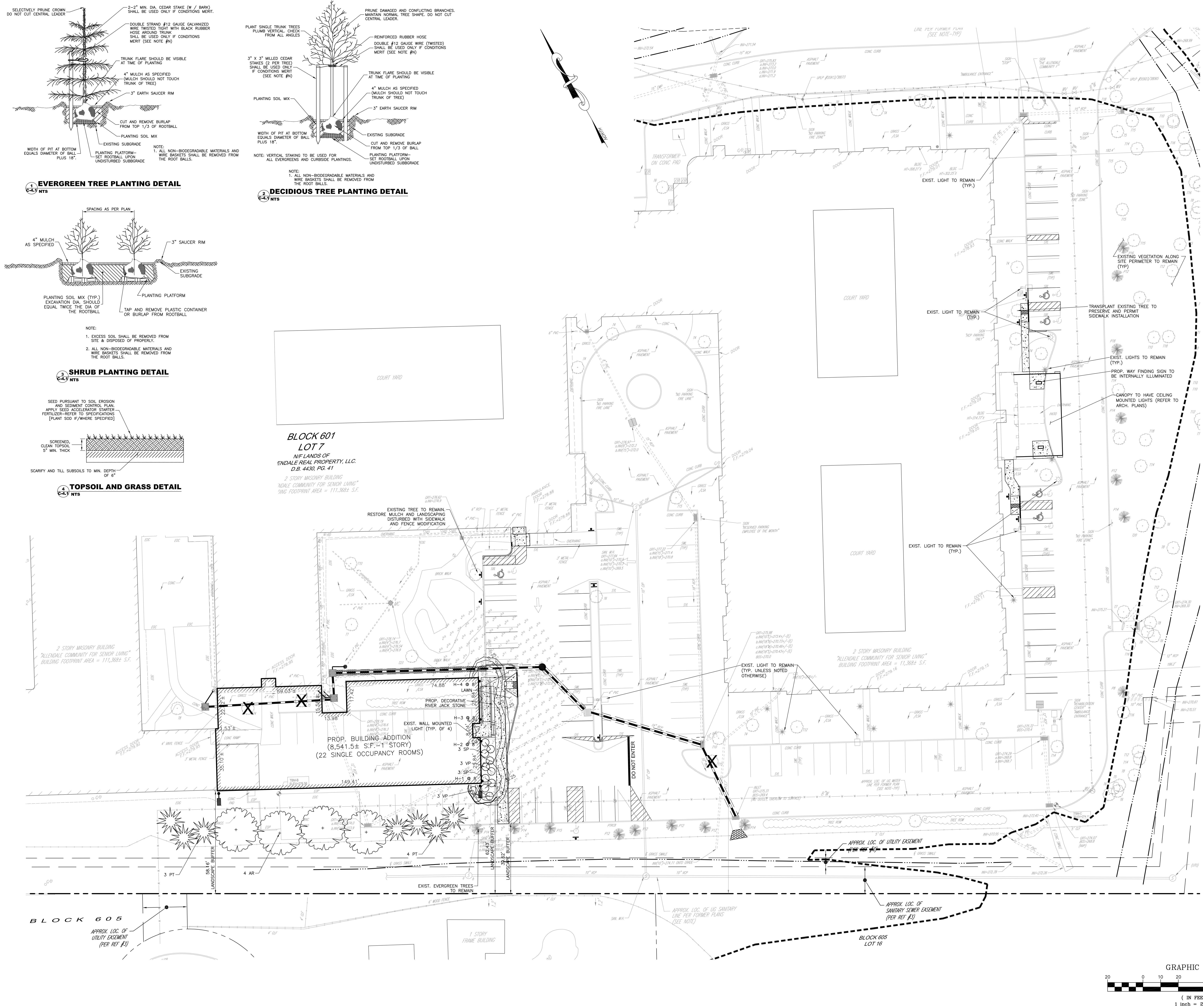
TEAL S. JEFFERIS, P.E., CME, CDT
NJ PROFESSIONAL ENGINEER LIC. # GE42689
PA PROFESSIONAL ENGINEER LIC. # PE076754
DE PROFESSIONAL ENGINEER LIC. # 11161

JEAF FILE No. 22-THCG-003 DRAWN BY: RAH
DATE: 11-29-22 CHECKED: TJS
DRAWING NO.

C-4.0

**LANDSCAPE AND
LIGHTING PLAN**





CONTRACTOR SHALL CONTACT NEW JERSEY STATE DIG SAFE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION	
NO.	DATE
1	03/12/23
2	03/12/23
3	03/12/23
4	03/12/23
5	03/12/23
6	03/12/23
7	03/12/23
8	03/12/23
9	03/12/23
10	03/12/23

1. REVISED TO ADD CANOPY AND REVISION UNIT COUNT
2. INITIAL ISSUE
3. REVISIONS/SUBMISSIONS

PROPOSED BUILDING ADDITION AND PARKING MODIFICATIONS

ALLENDALE REHABILITATION AND HEALTHCARE

ALLENDALE SENIOR LIVING & BLOCK 601, LOT 7

85 HARRETON ROAD - BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

JEFFERIS ENGINEERING ASSOCIATES, LLC

801 ORCHARD AVENUE
RUNNEMEDA, N.J. 08078
PHONE: 856.933.2005
FAX: 856.933.2016
WWW.JEFFERISEENGINEERING.COM

N.J. CERTIFICATE OF AUTHORIZATION #246A2892590

TEAL S. JEFFERIS, P.E., CME, CDT

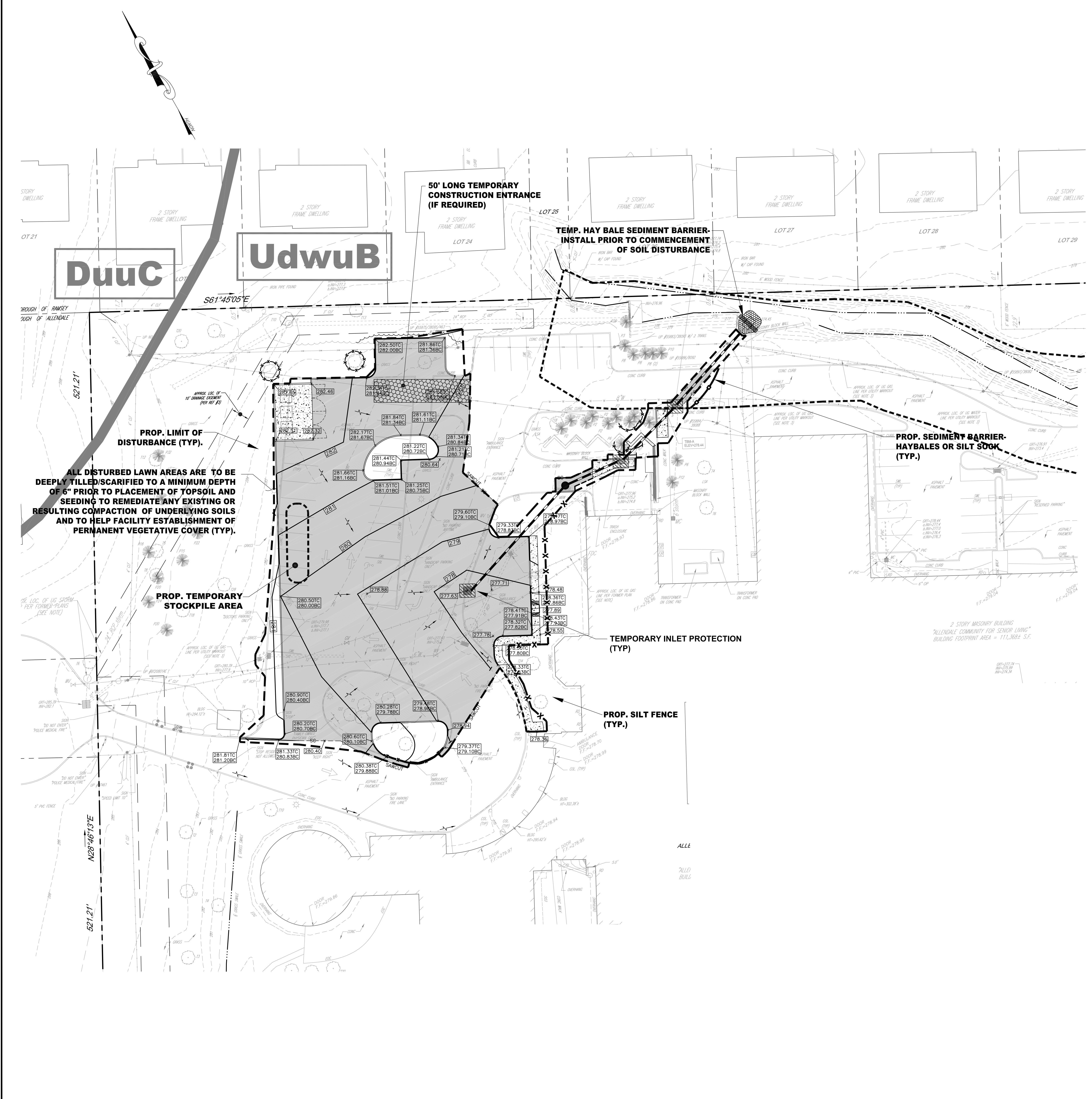
22-THCG-003
DATE: 11-29-22
DRAWING NO. C-4.1

SCALE: 1" = 20'

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft



SOIL CLASSIFICATION:

SOIL - Adair: *Timokwa muck, 0 to 2 % slopes*

TYPICAL SOIL PROFILE:
0-37 INCHES: MUCK
37-47 INCHES: VERY GRAVELLY LOAMY SAND
47-60 INCHES: GRAVELLY LOAMY VERY FINE SAND

HYDROLOGIC SOIL GROUP: B/D
HYDRO SOIL RATING: YES
GROUNDWATER LEVELS: ABOUT 0 INCHES
DEPTH TO RESTRICTIVE LAYER: MORE THAN 80 INCHES
SOIL DEPTH TO BEDROCK: NOT PROVIDED
DRAINAGE CLASS: VERY POORLY DRAINED (0.14-14.17 IN/HR)
AGRICULTURAL LAND CAPACITY CLASSIFICATION: 5W (NON IRRIGATED)
EROSION HAZARD: SLIGHT
FLOOD PLAIN SOIL: NOT LISTED
LIMITATION FOR FOUNDATION: BASEMENTS-VERY LIMITED
FREQUENCY OF FLOODING: NONE, FREQUENT
FREQUENCY OF PONDING: FREQUENT
AVAILABLE WATER SUPPLY: 0-60 INCHES

SOIL - DuuG: *Dunellen-Urban land complex, 8 to 15 % slopes*

TYPICAL SOIL PROFILE:
0-42 INCHES: SANDY LOAM
42-70 INCHES: STRATIFIED GRAVELLY SAND TO SAND TO LOAMY SAND

HYDROLOGIC SOIL GROUP: A
HYDRO SOIL RATING: NO
GROUNDWATER LEVELS: MORE THAN 80 INCHES
DEPTH TO RESTRICTIVE LAYER: MORE THAN 80 INCHES
SOIL DEPTH TO BEDROCK: NOT PROVIDED
DRAINAGE CLASS: WELL DRAINED (1.98-6.0 IN/HR)
RUNOFF CLASS: MEDIUM
AGRICULTURAL LAND CAPACITY CLASSIFICATION: 3E (NON IRRIGATED)
EROSION HAZARD: SLIGHT
FLOOD PLAIN SOIL: NOT LISTED
LIMITATION FOR FOUNDATION: BASEMENTS-SOMEWHAT LIMITED
FREQUENCY OF FLOODING: NONE
FREQUENCY OF PONDING: NONE
AVAILABLE WATER SUPPLY: 0-60 INCHES

SOIL - UdwuB: *Udolphanta wet substratum-Urban land complex*

TYPICAL SOIL PROFILE:
0-36 INCHES: SAND
36-60 INCHES: MUCK

HYDROLOGIC SOIL GROUP: D
HYDRO SOIL RATING: NO
GROUNDWATER LEVELS: ABOUT 18 TO 42 INCHES
DEPTH TO RESTRICTIVE LAYER: MORE THAN 80 INCHES
SOIL DEPTH TO BEDROCK: NOT PROVIDED
DRAINAGE CLASS: MODERATELY WELL DRAINED (0.57-1.98 IN/HR)
AGRICULTURAL LAND CAPACITY CLASSIFICATION: 8S (NON IRRIGATED)
EROSION HAZARD: SLIGHT
FLOOD PLAIN SOIL: NOT LISTED
LIMITATION FOR FOUNDATION: BASEMENTS-VERY LIMITED
FREQUENCY OF FLOODING: NONE
FREQUENCY OF PONDING: NOT LISTED
AVAILABLE WATER SUPPLY: NOT LISTED

*BASED UPON THE U.S.D.A. N.C.R.S. WEB SOIL SURVEY

GENERAL NOTES:

- REFER TO SOIL EROSION & SEDIMENT CONTROL DETAIL SHEET FOR ADDITIONAL NOTES, DETAILS, AND CONTROL DEVICES.
- REFER TO SHEET GRADING PLAN FOR GRADING NOTES.
- REFER TO GRADING AND UTILITY PLANS FOR STORM SYSTEM NOTES AND DESCRIPTION.

TOPSOIL NOTE:

CONTRACTOR TO IMPORT AND FURNISH TOPSOIL FROM OFFSITE SOURCE TO SUPPLEMENT EXISTING TOPSOIL TO PROVIDE MINIMUM THICKNESS OF FIVE (5) INCHES ACROSS THE RESTORED AREAS. TOPSOIL SHALL BE FRIABLE & LOAMY, SCREENED, FREE OF ROCK OR GRAVEL LARGER THAN 1/2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER; AND OF GOOD QUALITY. TOPSOIL SHALL PH RANGE OF 5.5 TO 7 AND A MINIMUM OF 4 PERCENT ORGANIC MATERIAL COMPOSITION.

SOIL REMOVAL NOTE:

1) NO TOPSOIL SHALL BE REMOVED FROM THE SITE. EXISTING TOPSOIL IN THE AREA OF DISTURBANCE SHALL BE STOCKPILED AND RE-DISTRIBUTED ON-SITE.

AREA OF TRACT

THE AREA OF THE TOTAL TRACT IS 11.041 Ac. ± AS REFERENCED FROM THE SURVEY.

AREA OF DISTURBANCE

AREA #1: PARKING LOT MODIFICATION: 26,158.0 ± S.F.
AREA #2: AREA OF PROP. BLDG. ADDITION: 16,781.7 ± S.F.
AREA #3: AREA OF SIDEWALK (EAST SIDE): 487.4 ± S.F.
43,427.1 ± S.F.

AN AREA OF APPROXIMATELY 0.094 ACRES (COMPOSED OF EXISTING AREAS TO BE DISTURBED OR IMPROVED AND CURRENTLY IMPROVED AREAS PROPOSED TO BE MODIFIED) IS PROPOSED TO BE DISTURBED.

LEGEND

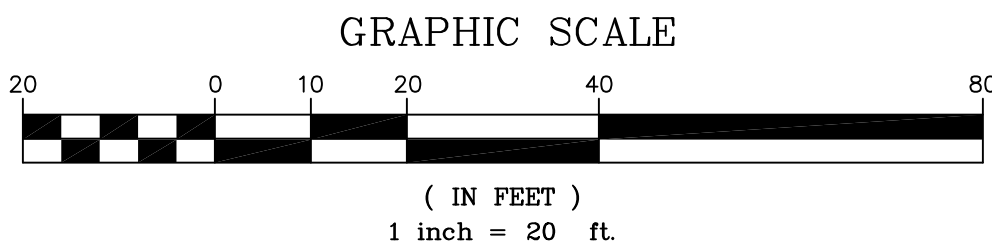
ComA

SILT FENCE (ALSO SERVES AS LIMIT OF DISTURBANCE)
SOIL TYPE

LIMIT OF DISTURBANCE
TEMPORARY TREE PROTECTION FENCE
TEMPORARY CONSTRUCTION FENCE

DENOTES PROPOSED STABILIZED CONSTRUCTION ENTRANCE

DENOTES PROPOSED INLET PROTECTION



CONTRACTOR SHALL CONTACT NEW JERSEY STATE DIG SAFE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION

NO.	DATE	REVISIONS/SUBMISSIONS
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0	03/1/2023	INITIAL ISSUE

PROPOSED BUILDING ADDITION AND PARKING MODIFICATIONS

ALLEDALE REHABILITATION AND HEALTHCARE

&

ALLEDALE SENIOR LIVING

85 HARETON ROAD - BLOCK 601, LOT 7
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

JEFFERIS ENGINEERING ASSOCIATES, LLC

801 ORCHARD AVENUE
RUNNEMEDA, N.J. 08078
PHONE: 856.933.2005
FAX: 856.933.2016
WWW.JEPPERISEENGINEERING.COM

N.J. CERTIFICATE OF AUTHORIZATION #246A2892590

TEAL S. JEFFERIS, P.E., CME, CDT

NJ PROFESSIONAL ENGINEER # 0424699
PA PROFESSIONAL ENGINEER # 0424699
DE PROFESSIONAL ENGINEER # 0424699

JE FILE No. 22-THCG-003 DRAWN BY: RAH

DATE: 11-29-22 CHECKED: TSJ

DRAWING NO.

C-5.0

SOIL EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 20' 12 OF 18

[illegible]

CONCRETE LIGHT POLE BASE DETAIL

TABLE 1: Pole Dimensions and Reinforcement

POLE LENGTH (ft.)	BASE BURIAL DEPTH (ft.)	REINFORCING ROD LENGTH (ft.)
10	5	8.5
19	7	11 + 8.5
23	7	11 + 8.5
29	7	11 + 8.5
32	7	11 + 8.5
42	8	11 + 7.5
50	8	11 + 7.5
55	8.5	11 + 8.0
60	9	11 + 8.5
65	9.5	11 + 9.0
70	10	11 + 9.5

NOTES:

- ALL DIMENSIONS ARE IN NOMINAL FEET OR INCHES.
- TOP OF FOUNDATION SHALL BE UNBROKEN SMOOTH & LEVEL.
- CLASS OF CONCRETE SHALL BE 3000 P.S.I.
- CONCRETE SHALL BE VIBROCAST.
- MINIMUM OF 12 SLEEVES REQUIRED FOR EACH CONC. FOUNDATION UNLESS OTHERWISE SHOWN.
- PROVIDE A 0.75" DIA. 10' STEEL COPPER COATED GROUND ROD ADJACENT TO POLES AS SPECIFIED ON PLAN AND CONNECT TO METAL POLE WITH BASE COPPER CONDUCTOR. CONTRACTOR TO VERIFY OPENING SIZE.
- POLE BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES.
- SUBJECT TO SOIL CONDITIONS, REFER TO SOL. REPORT.

Diagram Labels:

- 24" Dia.
- LIGHTING POLE
- POLE BASE COVER
- LOCK NUTS
- LEVELING NUTS
- CAST-IN-PLACE CONCRETE BASE-BRUSHED SURFACE FINISH
- 2" RIGID PVC CONDUIT SLEEVE 36" RADIUS (REFER TO ELECTRICAL)
- 0.75" DIA. CONDUIT SLEEVE (REFER TO ELECTRICAL)
- TOP OF CONVENTIONAL FIBER FORM AT 2" BELOW FIN. GRADE
- 2" MIN. COVER
- 8" - #6 REINF. RODS & #4 TIES
- 24" Dia.
- FIN. GRADE
- 1" FIBER EXPOSED HEIGHT TO 2" BELOW FIN. GRADE
- ADAPT RIGID PVC TO POLYETHYLENE PIPE WITH ADAPTER COUPLING (REFER TO ELECTRICAL)
- POLYETHYLENE PIPE (REFER TO ELECTRICAL)

1.) BOLT PATTERN TO BE COORDINATED WITH SPECIFIC POLE BASE REQUIREMENTS AND SPACING, AND POLE MANUFACTURER'S RECOMMENDATIONS.

2
2-4
NTS

Accessories

Options are available for the following models:

W4000R001E W4000 T5 4'x600mm/16" x 24" (only field)

W5000R001E W5000 T5 6'x600mm/18" x 24" (only field)

NOTES

1. Field units are available with sensor components.
2. F1-F4 not available with A400 and C400.
3. A400 and C400 are available with 120V and 277V.
4. T0201 only available with T500 and T1400.
5. T0201 and T0202 not available with C2000 or C2000C.
6. T0201 and T0202 not available with emergency battery backup or sensor components.
7. T0201 available in A400-C with sensor components.
8. E4000 option not available with sensor components.

Performance Data

Lumen Output

Lumen data is from laboratory tests performed in accordance with IESNA LM-79-06. Data is considered to be representative of the configurations shown, within the tolerances allowed by lighting laws. Contact factory for performance data on any configuration not shown here.

Reference Configuration	Type Name	Sku No.	T5 (C0000, T0000)						T8 (C0000C, T0000C)						8' (R0000, R1000)						56' (R0000, T0000)						A-Series (Control Strengths)					
			Power	Watts	W	W	W	W	Power	Watts	W	W	W	W	Power	Watts	W	W	W	W	Power	Watts	W	W	W	W	Power	Watts	W	W	W	W
F1	T5	128	400	3.4	4	4	4	4	400	3.4	4	4	4	4	128	396	4	4	4	4	400	3.4	4	4	4	4	128	397	4	4	4	4
		128	402	3.4	4	4	4	4	403	3.4	4	4	4	4	128	396	4	4	4	4	400	3.4	4	4	4	4	128	397	4	4	4	4
		128	404	3.4	4	4	4	4	405	3.4	4	4	4	4	128	396	4	4	4	4	400	3.4	4	4	4	4	128	397	4	4	4	4
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F1	T8	128	402	3.4	4	4	4	4	403	3.4	4	4	4	4	128	396	4	4	4	4	400	3.4	4	4	4	4	128	397	4	4	4	4
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		128	408	3.4	4	4	4	4	410	3.4	4	4	4	4	128	396	4	4	4	4	400	3.4	4	4	4	4	128	397	4	4	4	4
F2	T5	128	402	3.4	4	4	4	4	403	3.4	4	4	4	4	128	396	4	4	4	4	400	3.4	4	4	4	4	128	397	4	4	4	4
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		128	408	3.4	4	4	4	4	410	3.4	4	4	4	4	128	396	4	4	4	4	400	3.4	4	4	4	4						

PROF. LIGHT FIXTURE - REFER TO DETAIL

4" SQUARE STRAIGHT ALUMINUM POLE (LITHONIA LIGHTING SSA OR APPROVED EQUAL)

HANDHOLE

CONCRETE FOUNDATION BASE (REFER TO DETAIL)

FINISHED GRADE

12' TYP

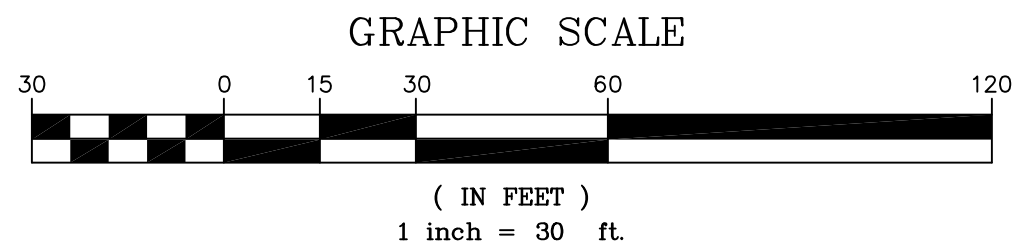
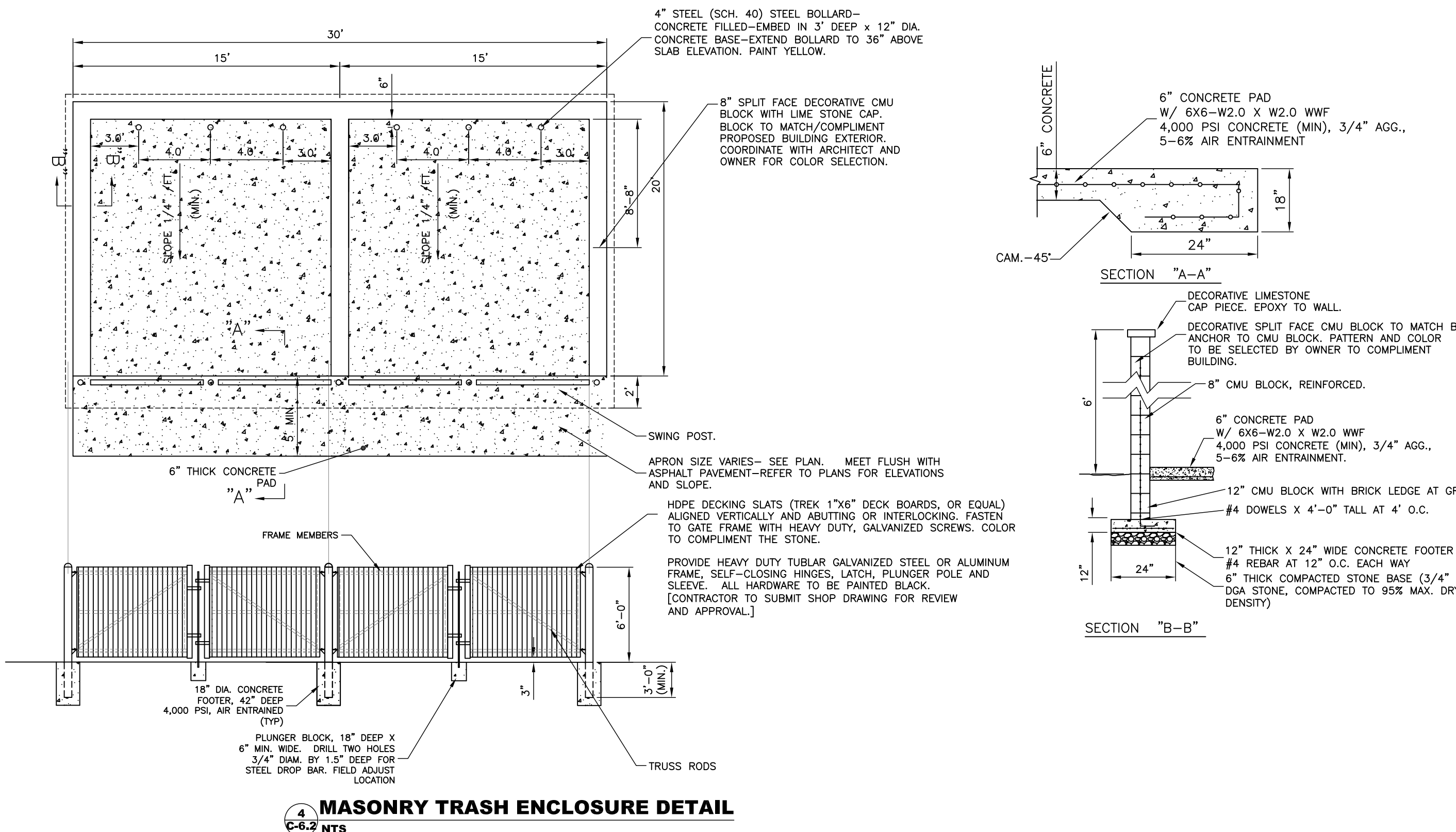
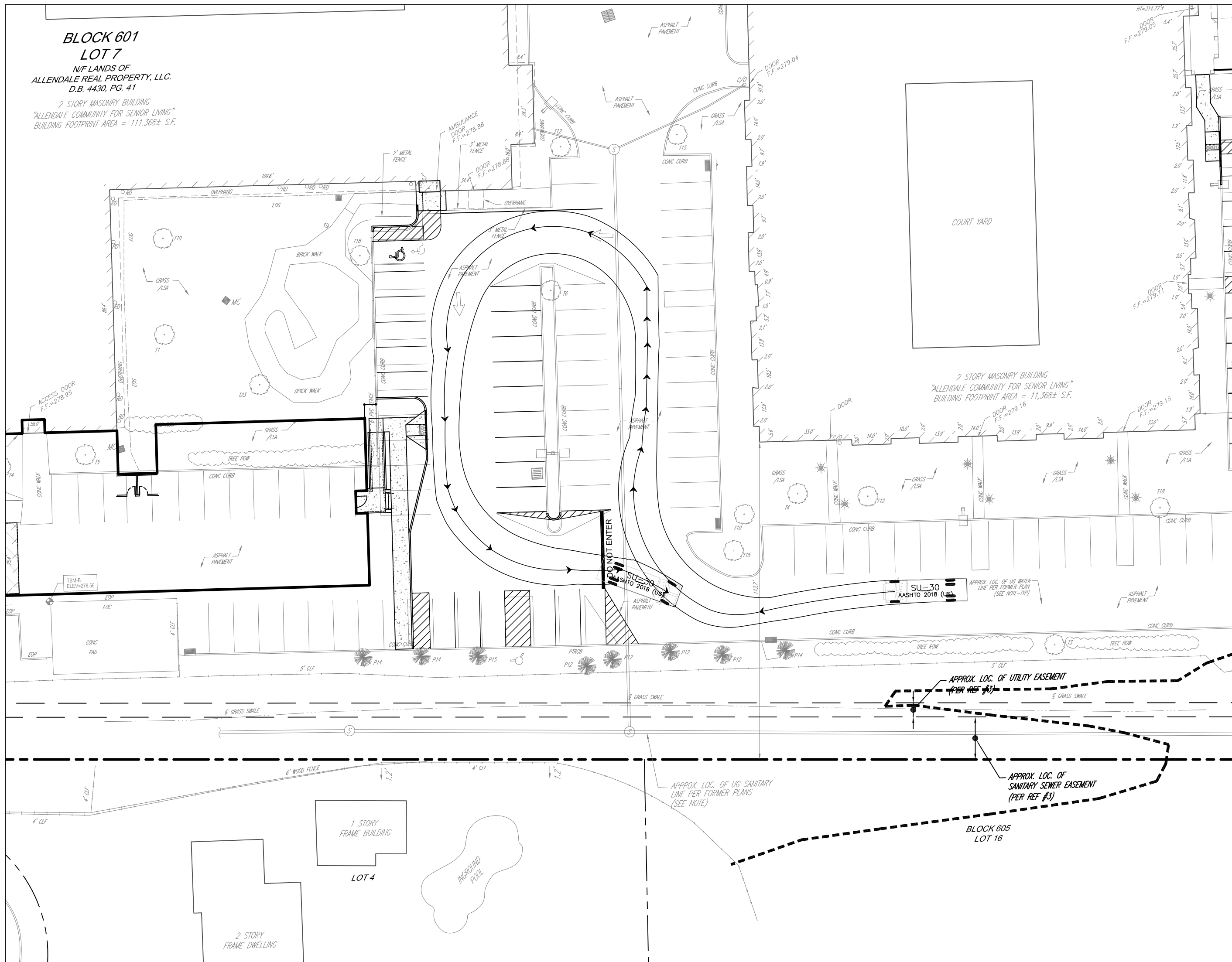
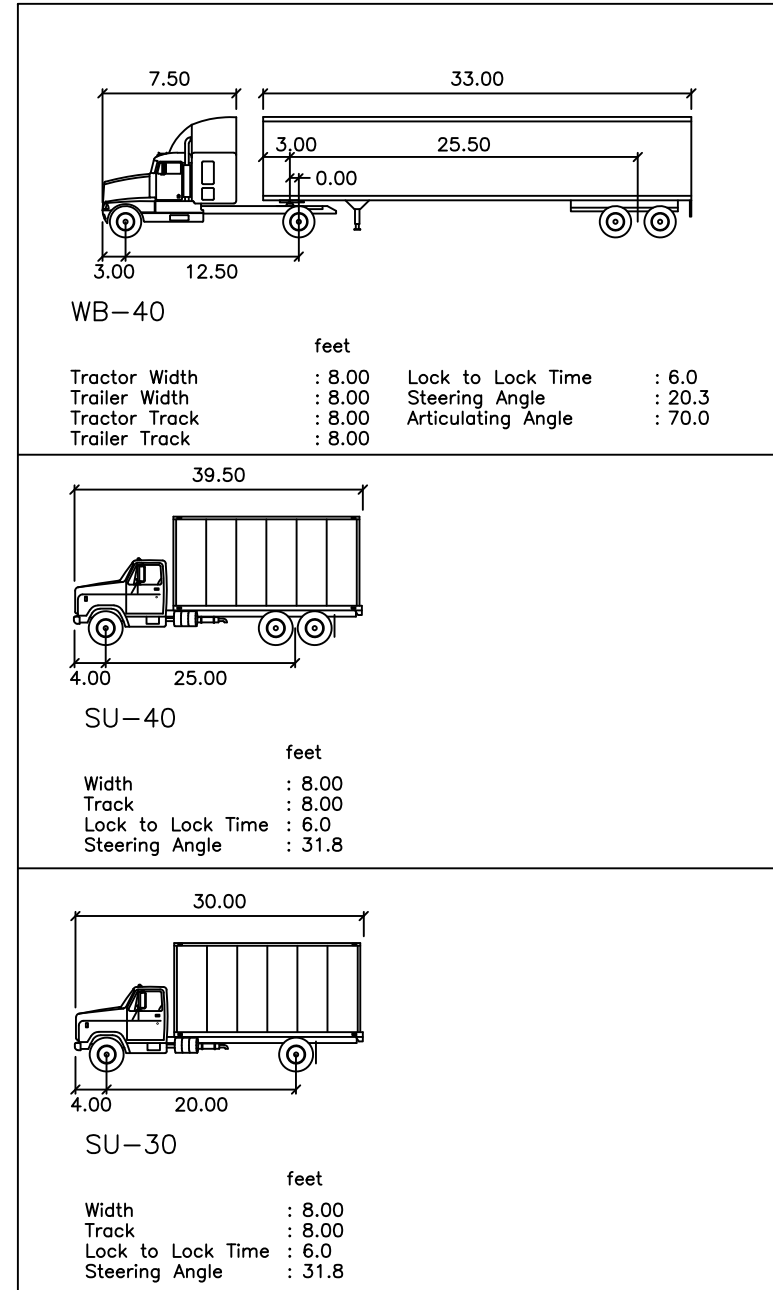
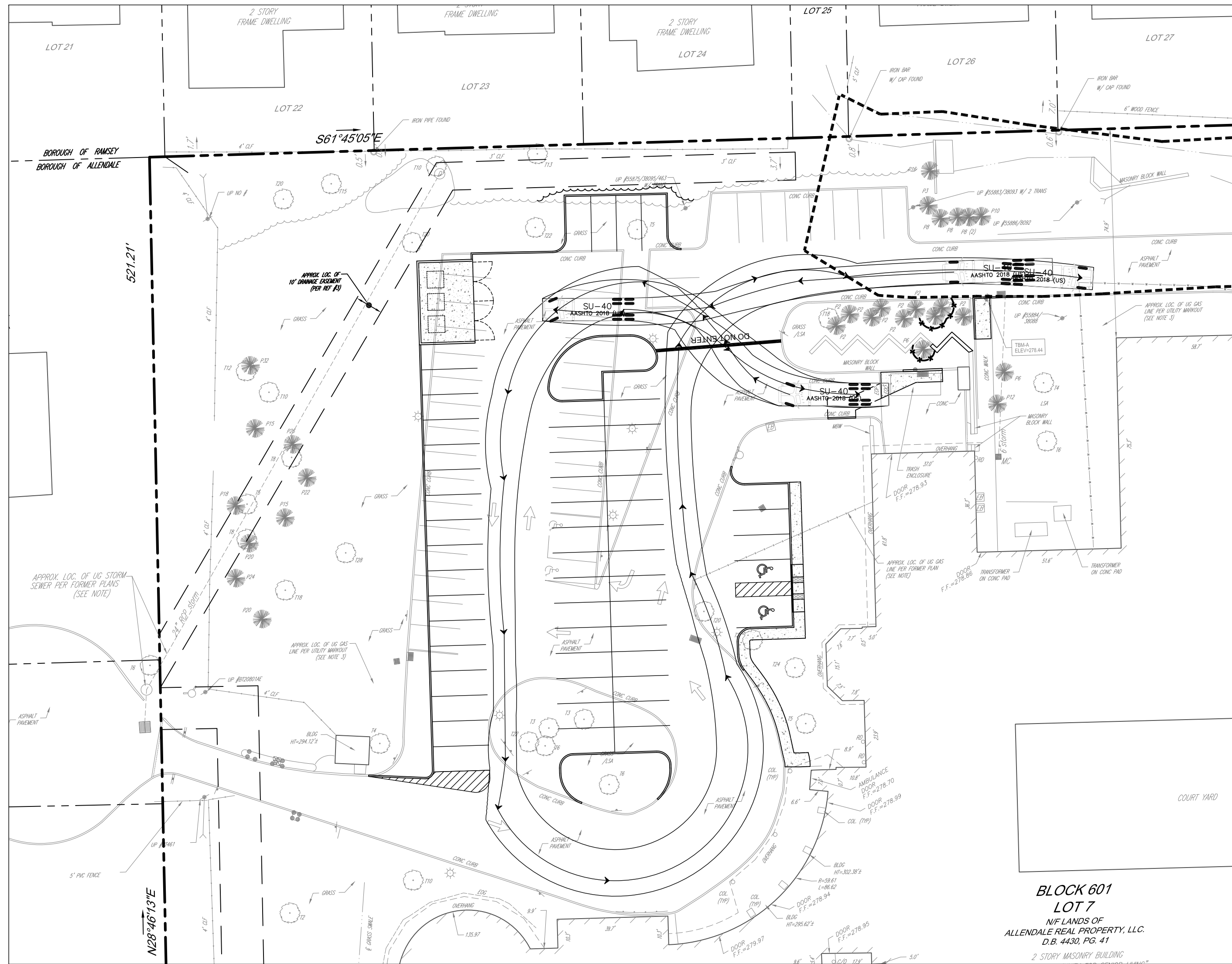
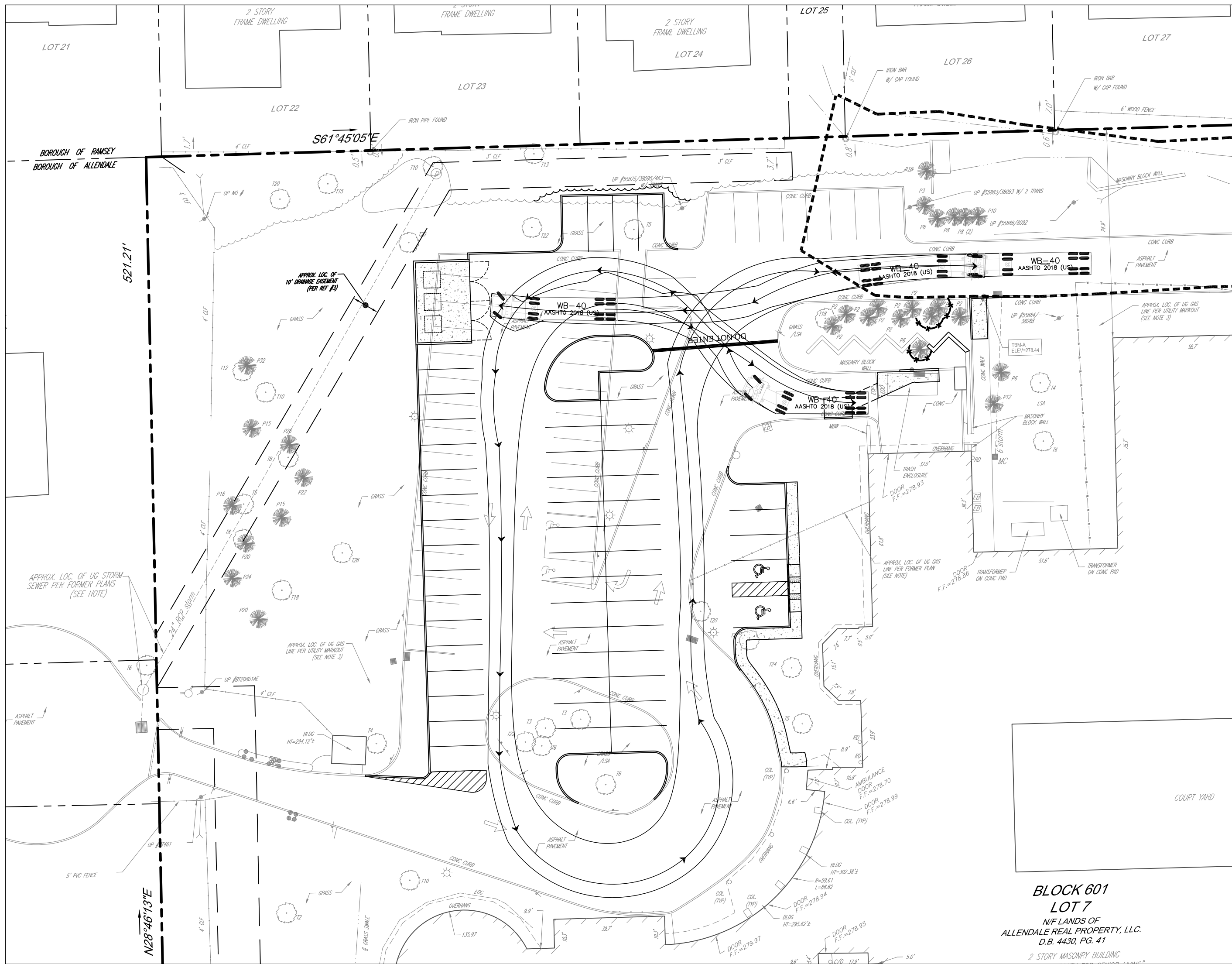
MOUNTING HEIGHT = AS INDICATED

NOTE:
ALL PROPOSED POLE AND WALL MOUNTED LIGHTS TO HAVE PHOTOCELL CONTROLS TO ACTIVATE AT DUSK AND TURN OFF AT DAWN

LIGHT FIXTURE & POLE DIAGRAM DETAIL

SECTION 6-5.1 (BUILDING MOUNTED LIGHTS)

J:\Projects\2022 Projects\22-THCG-003 Healthcare Contracting Group-Allendale Senior Living- Site Plan\dwg\22-THCG-003 SD2.dwg Scale: 1=1 Date/Time: January 12, 2024 1:55 p.m. CAD Operator: rhoglen



CONTRACTOR SHALL CONTACT NEW JERSEY STATE DIG SAFE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION			
NO.	DATE	REVISIONS/SUBMISSIONS	BY
1	03/1/2023	REVISED TO ADD CANOPY AND REVISED UNIT COUNT	
0	03/1/2023	INITIAL ISSUE	

PROPOSED BUILDING ADDITION AND PARKING MODIFICATIONS ALLENDALE REHABILITATION AND HEALTHCARE & ALLENDALE SENIOR LIVING 85 HARETON ROAD - BLOCK 601, LOT 7 BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

JEFFERIS ENGINEERING ASSOCIATES, LLC
801 ORCHARD AVENUE
RUNNEMED, N.J. 08078
PHONE: 856.933.2005
FAX: 856.933.2016
WWW.JEPPERISEENGINEERING.COM
N.J. CERTIFICATE OF AUTHORIZATION #246A28925900

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DE PROFESSIONAL ENGINEER, LIC. # 11181

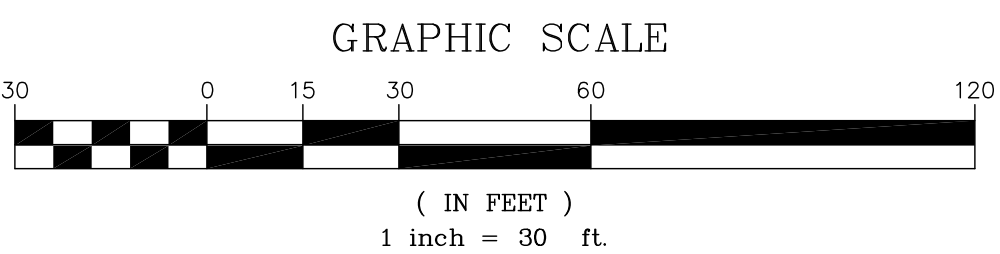
JEAF FILE NO. 22-THCG-003 DRAWN BY: RAH
DATE: 11-29-22 CHECKED: TSJ
DRAWING NO.

C-6.2
SITE WORK DETAILS



SLOPE LEGEND/AREAS OF SLOPES:

- < 10 % = 431,688.91± S.F.
- 10-15 % = 21,769.91± S.F.
- 15-20 % = 5,997.09± S.F.
- 20 % = 21,511.03± S.F.



CONTRACTOR SHALL CONTACT NEW JERSEY STATE DIG SAFE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION

NO.	REVISIONS/SUBMISSIONS	DATE
1	REVISED TO ADD CANOPY AND REVISION UNIT COUNT	10/31/2023
0	INITIAL ISSUE	05/31/2023

PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS
&
ALLENDALE REHABILITATION AND HEALTHCARE
ALLENDALE SENIOR LIVING
85 HARRETON ROAD - BLOCK 601, LOT 7
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

**JEFFERIS
ENGINEERING
ASSOCIATES, LLC**
801 ORCHARD AVENUE
RUNNEMEDE, N.J. 08078
PHONE: 856.933.2005
FAX: 856.933.2016
WWW.JEPPERISEENGINEERING.COM
N.J. CERTIFICATE OF AUTHORIZATION #246A2892500

TEAL S. JEFFERIS, P.E., CME, CDT
NJ PROFESSIONAL ENGINEER, L.C. # GE42699
PA PROFESSIONAL ENGINEER, L.C. # PE076754
DE PROFESSIONAL ENGINEER, L.C. # 11181

JE FILE NO. 22-THCG-003 DRAWN BY: RAH
DATE: 11-29-22 CHECKED: TSJ

DRAWING NO.

C-7.0

STEEP SLOPE EXHIBIT
PLAN

SCALE: 1" = 30' 18 OF 18

STORMWATER RUNOFF & MANAGEMENT CALCULATIONS

site location:

Proposed Building Addition & Minor Site Improvements
Allendale Rehabilitation and Healthcare
&
Allendale Senior Living
85 Harreton road
Block 601 Lot 7
Borough of Allendale, Bergen County, NJ

prepared for:

The Healthcare Contracting Group
1608 Route 88, Suite 103
Brick, NJ 08724

PREPARED BY:

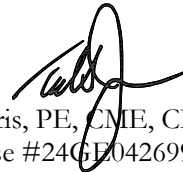


**JEFFERIS
ENGINEERING
ASSOCIATES, LLC**

801 ORCHARD AVENUE
RUNNEMEDE, NJ 08078
PHONE: 856-933-2005
FAX: 856-933-2016

WWW.JEPPERISENGINEERING.COM

*New Jersey Certificate of Authorization #24GA28092500
JEA File No. 22-THGC-001*



Teal S. Jefferis, PE, CME, CDT
NJ Professional Engineer License #24GE04269900

October 2023

TABLE OF CONTENTS

1. INTRODUCTION
2. BACKGROUND
3. PROPOSED CONDITIONS
4. METHODOLOGY
5. STORMWATER RUNOFF RATES
6. VOLUME AND RUNOFF RATE CONTROL
7. WATER QUALITY CONTROL
8. GROUNDWATER RECHARGE COMPLIANCE
9. CONVEYANCE PIPING
10. SUMMARY

FIGURES

FIGURE A - SOILS MAP

APPENDICES

APPENDIX A - PRE & POST DEVELOPMENT SURFACE COVERAGES & RUNOFF
CALCULATIONS & PLAN

1.0 INTRODUCTION:

Jefferis Engineering Associates, LLC. (JEA) has been retained to design site improvements associated with the proposed building addition and minor site improvements at the subject site. To complement the site improvement design and address the drainage requirements outlined in Township's Land Use Ordinance and the New Jersey Department of Environmental Protection (NJDEP), JEA has prepared this stormwater management report to summarize the design calculations associated with the stormwater runoff characteristics under pre- and post-development conditions, stormwater management area design, water quality control, groundwater recharge, and outlet protection measures.

This report is intended to document the proposed site improvements and stormwater management design associated with the Site Development Plans, dated October 2023, and contains associated calculations and documentation regarding such.

2.0 BACKGROUND:

The overall tract consists of approximately $11.04 \pm$ acres that is located to the east of the end of Harreton Road and west of N.J.S.H. Route 17. The property is accessed from Route 17 via a driveway extending through an access easement and contains a controlled emergency access driveway from Harreton Road. The site is bordered to the north, west and south by residential properties and to the east by commercial properties.

The property is currently improved with a 111,368 +/- s.f. building that operates as a nursing home and assisted living facility. The building has both one-story and two-story sections. The site is also improved with asphalt parking areas, curbing, sidewalks, drop-off areas, courtyards, landscaping, and lighting. The

The Allendale Brook extends across the northern and eastern property boundaries, flowing in a southerly direction. Pursuant to FEMA Flood Insurance Rate Maps (FIRMs), the floodway for the Allendale Brook extends across the northeastern and eastern portion of the property, along the stream channel.

The overall impervious coverage (inclusive of building, concrete, asphalt, and asphalt millings) associated with the existing site conditions at both lots is approximately 51.2+/-% (*) of the site area, while the remaining portions of the site are currently covered with grass or landscaping.

Runoff from the site currently drains via overland flow and conveyance through drainage swales and stormwater pipes directly into Allendale Brook.

No stormwater management facilities, other than the drainage swales and conveyance piping, exist at the site.

Pursuant to our review of the available aerial photographs, the subject site appears to have remained as it is currently for at least the past five (5) years. Refer to the Drainage Plan in the appendices.

3.0 PROPOSED CONDITIONS:

The Applicant proposes to construct a 8,541 +/- s.f. one-story building addition to the southern side of the existing building. The proposed addition will require partial demolition of a portion of the building and displace areas of existing asphalt pavement & parking.

To compliment the building addition and replace lost parking stalls, site improvements are proposed and will consist of reconfiguring the parking area in the northwestern corner of the site, reconfiguring the southern parking lot, installation of concrete sidewalks, minor expansion of curb and asphalt paving to accommodate parking modifications, ADA access curb ramp; lighting, and additional lighting.

The areas of the proposed improvements are limited to three (3) areas at the site:

1. Parking reconfiguration in northwestern portion of the site
2. Building addition and parking modifications in southern portion of the site
3. Sidewalk and canopy installation along eastern side of the building.

The overall impervious coverage associated with the proposed site conditions (both parcels) will be approximately 52.0+/-% (*) of the site area, while the remaining portions of the site will be covered with grass or landscaping.

Refer to the Drainage Plan in appendices.

AREAS OF DISTURBANCE:

Based upon the Evaluation of Pre and Post Development Areas included in appendices, the overall proposed development will involve the following areas of disturbance or coverage:

- Amount of new impervious surface coverage: + 3,616.8 +s.f. (0.08+ acres).
- Amount of new regulated motor vehicle surface coverage: - 5,166.9 +s.f. (-0.12+ acres).
- The total area of disturbance: 43,267 s.f. (0.99 + acres).

4.0 METHODOLOGY:

Given the minimal increase in impervious coverage, JEA performed the study via the *Rational Method*. This method was utilized to assess the incremental difference in discharge rates during a 2, 10, and 100 year storm event between pre and post development conditions. Upon completion of the study, the discharge rates for each pre- and post-development drainage area under the respective storm events were compared and evaluated.

Runoff coefficients and storm intensity data was referenced from the NJDEP Technical Manual for Land Use Regulations/NJRSIS (NJAC 5:21) and the NJDEP Stormwater BMP Manual. The area of the tract containing the proposed site improvements contained Udorthents wet substratum-Urban Land Complex, which are classified as HSG D soils by the USDA Soil Survey and runoff curve numbers for such were utilized where applicable.

As the proposed improvements involve less than 1.0 acre of disturbance and less than 0.25 acres of new impervious surfaces or regulated motor vehicle surface area, the proposed improvements are NOT classified as a “major development” pursuant to the NJDEP Stormwater Regulations (N.J.A.C. 7:8). As such, the project is NOT required to comply with the rate/volume reduction, water quality treatment, and/or groundwater recharge requirements outlined in N.J.A.C. 7:8.

5.0 STORMWATER RUNOFF RATES:

The following is a summary table of the peak pre and post development runoff rates for the entire property under the respective storm events:

Summary Table #1

Peak Stormwater Runoff Rates for Pre & Post Development Conditions
for the Entire Site
(Rational Method)

Area	Storm Events (yr)			Comments
	2	10	100	
Predevelopment conditions	46.41	62.79	81.90	Entire site
Post-development conditions	46.55	62.98	82.15	Entire site
Difference	+0.14	+0.19	+0.25	negligible increase

The post development runoff rates were calculated to be negligibly higher than the pre-development runoff rates for the overall site, as anticipated with the slight increase in impervious surface coverage. Given this, the use of stormwater management measures to manage runoff under post-development condition was deemed unnecessary and not warranted.

6.0 VOLUME & RUNOFF RATE CONTROL

This section describes the measures to control volume and runoff rate under the post-development conditions. As noted above, the proposed conditions will result in a negligible increase in stormwater runoff rates and further control or management of the runoff was not deemed warranted or necessary. Since the proposed improvements are NOT classified as a “major development” under N.J.A.C 7:8, compliance with the NJDEP runoff rate reduction requirements stipulated under N.J.A.C 7.8 was NOT required to be demonstrated.

7.0 WATER QUALITY CONTROL

This section describes the measures to provide water quality control under the post-development conditions. Pursuant to N.J.A.C. 7:8-5.5, “major developments” involving the construction of greater than or equal to 0.25 acres of new impervious cover shall include stormwater management measures that are designed to reduce the post-construction load of Total Suspended Solids (TSS) from the water quality design storm by eight (80) percent, expressed as an annual average.

Since the proposed improvements are not considered a “major development”, compliance with the NJDEP Water Quality treatment requirements/measures was not required or warranted.

8.0 GROUNDWATER RECHARGE COMPLIANCE

Pursuant to the requirements of the N.J.A.C. 7:8-5.4, the proposed land development that meets the classification as a “major development” must provide non-structural and/or structural stormwater management measures that prevent the loss of groundwater recharge at the site. The Rule specifies that the proposed development must comply with either of the following two groundwater recharge approaches: 1.) maintain 100% of the site’s average annual pre-development groundwater recharge volume after development; or 2.) infiltrate 100% of the difference between the site’s pre- and post-development 2-year runoff volumes. Furthermore, according to N.J.A.C. 7:8-5.4(a)2ii, groundwater recharge performance standards shall not be applied to projects that qualify as urban redevelopment, which include projects located in areas defined by the State Development and Redevelopment Plan as Metropolitan Planning Areas (PA1) or Designated Centers, with the exception of the development of unimproved areas where woody vegetation has established.

Since the proposed improvements are not classified as a “major development” under N.J.A.C. 7:8 and is located in a Metropolitan State Planning Areas (PA1), compliance with the NJDEP groundwater recharge requirements was not required or deemed necessary.

9.0 CONVEYANCE PIPE DESIGN

The proposed improvements involve the reconfiguration and rerouting of existing stormwater piping at the site and include the following:

Area #1: In the area of the proposed building addition, existing stormwater conveyance piping is proposed to be rerouted around the proposed building addition and reconnection to the existing stormwater conveyance piping. The building addition will create a small courtyard which previously drained via overland surface flow. With such, new stormwater collection device is proposed to capture that runoff and convey via piping under the proposed building addition to a series of new collection devices. New stormwater piping is proposed to extend along the building addition and then replace existing stormwater piping under the southern parking area and then terminate at an existing inlet located on the southern side of the parking lot.

After further investigation, the existing stormwater conveyance piping in the southern parking lot was found to terminate in the inlet along the southern side of the parking area, with no positive outfall. With such, the existing stormwater piping conveys runoff to that inlet, where accumulated runoff then discharges up through the grate and then overland across a concrete apron into the existing grass swale located along the southern property line. Due to existing surface elevations through the grass swale and throughout the southeastern portion of the site, there does not appear to be any available location for a positive discharge for this existing stormwater piping. Therefore, this manner of operation for the piping will need to remain. To enhance and enable dissipation of water remaining in the pipe system, the proposed conditions reflect the replacement of the existing solid wall reinforced concrete piping with perforated HDPE piping set in a stone bed to enable remnant water left in the pipe system the ability to drain out from the pipe into the surrounding soils.

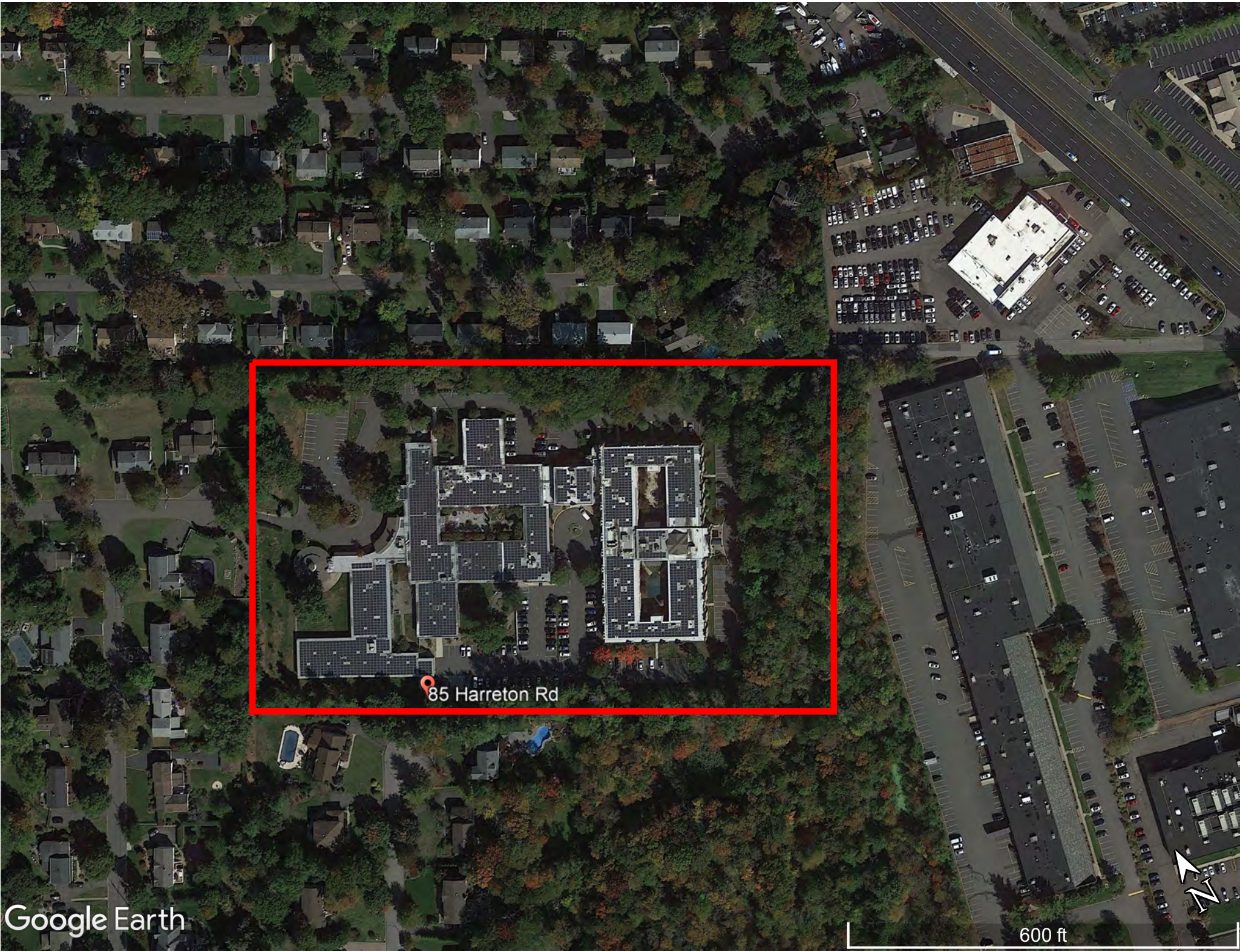
Area #2: In the area of the proposed parking lot modifications in the northwestern portion of the site, the existing stormwater conveyance piping was found to be undersized for the required capacity needed to convey the 25 year storm runoff from the sump condition present in the parking area. With the parking reconfiguration, the stormwater collection devices in the parking lot were relocated and the stormwater conveyance piping that extends to an existing headwall along the northern property line is proposed to be replaced with new piping that is appropriately sized to convey the runoff from the 25 year runoff. In designing this piping, the contributing area from both onsite and offsite properties to the existing/proposed stormwater system was calculated and utilized in the designing the capacity of this new piping.

The proposed piping was designed to capture and convey the runoff from the 25 year storm event. See attached calculations.

10.0 SUMMARY

In summary, the proposed site improvements are NOT classified as a “major development” pursuant to N.J.A.C. 7:8 and are therefore NOT required to comply with the runoff rate, water quality treatment, and/or groundwater recharge requirements stipulated under N.J.A.C. 7:8. The proposed site improvements will slightly increase the total impervious surface coverage at the site and will result in a negligible increase in the overall stormwater runoff discharged from the site. Based upon this evaluation, our office believes that the post-development stormwater drainage conditions will not have an adverse impact upon existing regional storm sewer or downstream facilities. Supporting calculations are included in the appendices herein.

**FIGURE A- AERIAL PHOTOGRAPH
SOILS MAP,
AND
STATE PLANNING AREA MAP**



85 Harreton Rd

Google Earth

600 ft

Esri Community Maps Contributors, New Jersey Office of GIS, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA | NJDEP | NJDEP, Bureau of Energy and Sustainability

Soil Map—Bergen County, New Jersey



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Bergen County, New Jersey

Survey Area Data: Version 19, Aug 29, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 31, 2022—Oct 27, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AdrAt	Timakwa muck, 0 to 2 percent slopes, frequently flooded	0.6	3.3%
DuuC	Dunellen-Urban land complex, 8 to 15 percent slopes	0.7	3.8%
UdwB	Udorthents, wet substratum, 0 to 8 percent slopes	1.8	9.3%
UdwuB	Udorthents, wet substratum-Urban land complex	16.3	83.7%
Totals for Area of Interest		19.5	100.0%

Bergen County, New Jersey

UdwuB—Udorthents, wet substratum-Urban land complex

Map Unit Setting

National map unit symbol: 1kgz3

Elevation: 0 to 570 feet

Mean annual precipitation: 30 to 64 inches

Mean annual air temperature: 46 to 79 degrees F

Frost-free period: 131 to 178 days

Farmland classification: Not prime farmland

Map Unit Composition

Udorthents, wet substratum, and similar soils: 68 percent

Urban land: 30 percent

Minor components: 2 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Udorthents, Wet Substratum

Setting

Landform: Flats

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Loamy lateral spread deposits

Typical profile

A - 0 to 36 inches: sand

2O - 36 to 60 inches: muck

Properties and qualities

Slope: 0 to 8 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Moderately well drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 18 to 42 inches

Frequency of flooding: None

Frequency of ponding: None

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 3w

Hydrologic Soil Group: D

Hydric soil rating: No

Description of Urban Land

Setting

Landform: Tidal marshes

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Surface covered by pavement, concrete, buildings, and other structures underlain by disturbed and natural soil material

Typical profile

C - 0 to 60 inches: variable

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8s

Hydric soil rating: Unranked

Minor Components

Pawcatuck, very frequently flooded

Percent of map unit: 1 percent

Landform: Tidal marshes

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: Yes

Transquaking, very frequently flooded

Percent of map unit: 1 percent

Landform: Tidal marshes

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Bergen County, New Jersey

Survey Area Data: Version 19, Aug 29, 2022



**APPENDIX A - PRE & POST-DEVELOPMENT SURFACE COVERAGES
&
RUNOFF CALCULATIONS
&
DRAINAGE PLAN**

Proposed Building Addition
Allendale Senior Living
85 Route 17
Borough of Allendale, Bergen Co., NJ

Date: 10/31/2023
File No: 22-THCG-003



Evaluation of Pre and Post Development Drainage Areas

(area is noted in s.f.)

Project Area #1: Northern Corner of Site (Parking Area)

Area	Building	Impervious (Non-Roadway-- concrete-s/w, stone)	Impervious (Roadway-- concrete, asphalt, stone)	Grass/Lawn		Total Areas (sf)	Total Area (acres)	HSG Classification	Comments
Pre-Development Areas									
Area #1	121.60	2,208.51	31,817.92	48,204.88		82,352.91	1.89		limited to project area only
POST-Development Areas									
Area #1	121.60	2,628.27	36,517.05	43,085.99		82,352.91	1.89		limited to project area only
DIFFERENCE									
0.00									
419.76									
4,699.13									
-5,118.89									
0.00									

Amount of New Impervious Surfaces (Overall):	5,118.89	sf	~	0.12	ac
Amount of New Building Area	0.00	sf	~	0.00	ac
Amount of New Impervious Surfaces (Roadway):	4,699.13	sf	~	0.11	ac

Project Area #2: Southern Corner of Site (Bldg. Addition)

Area	Building	Impervious (Non-Roadway-- concrete-s/w, stone)	Impervious (Roadway-- concrete, asphalt, stone)	Grass/Lawn		Total Areas (sf)	Total Area (acres)	HSG Classification	Comments
Pre-Development Areas									
Area #2	13,935.60	7,353.92	31,070.04	29,304.74		81,664.30	1.87		limited to project area only
POST-Development Areas									
Area #2	21,871.70	7,468.35	21,203.99	31,120.26		81,664.30	1.87		limited to project area only
DIFFERENCE									
7,936.10									
114.43									
-9,866.05									
1,815.52									
0.00									

Amount of New Impervious Surfaces (Overall):	-1,815.52	sf	~	-0.04	ac
Amount of New Building Area	7,936.10	sf	~	0.18	ac
Amount of New Impervious Surfaces (Roadway):	-9,866.05	sf	~	-0.23	ac

Project Area #3: Eastern Portion of Site (Sidewalk Addition)

Area	Building	Impervious (Non-Roadway-- concrete-s/w, stone)	Impervious (Roadway-- concrete, asphalt, stone)	Grass/Lawn		Total Areas (sf)	Total Area (acres)	HSG Classification	Comments
Pre-Development Areas									
Area #3	0.00	0.00	0.00	313.46		313.46	0.01		limited to project area only
POST-Development Areas									
Area #3	0.00	313.46	0.00	0.00		313.46	0.01		limited to project area only
DIFFERENCE									
0.00									
313.46									
0.00									
-313.46									
0.00									

Amount of New Impervious Surfaces (Overall):	313.46	sf	~	0.01	ac
Amount of New Building Area	0.00	sf	~	0.00	ac
Amount of New Impervious Surfaces (Roadway):	0.00	sf	~	0.00	ac

Overall Project Area Evaluation (Areas #1, 2, and 3)

Area	Building	Impervious (Non-Roadway-- concrete-s/w, stone)	Impervious (Roadway-- concrete, asphalt, stone)	Grass/Lawn		Total Areas (sf)	Total Area (acres)	HSG Classification	Comments
Pre-Development Areas									
Total for Areas #1, 2, and 3	14,057.20	9,562.43	62,887.96	77,823.08		164,330.67	3.77		limited to project area only
POST-Development Areas									
Total for Areas #1, 2, and 3	21,993.30	10,410.08	57,721.04	74,206.25		164,330.67	3.77		limited to project area only
DIFFERENCE									
7,936.10									
847.65									
-5,166.92									
-3,616.83									
0.00									

Amount of New Impervious Surfaces (Overall):	3,616.83	sf	~	0.08	ac
Amount of New Building Area	7,936.10	sf	~	0.18	ac
Amount of New Impervious Surfaces (Roadway):	-5,166.92	sf	~	-0.12	ac

Overall Site Surface Coverage Evaluation

Area	Building	Impervious	Grass/Lawn			Total Areas (sf)	Total Area (acres)	HSG Classification	Comments
Pre-Development Areas									
Entire Site	111,490.00	134,870.10	234,606.90			480,967.00	11.04		entire site
Post Development Adjustments:									
7,936.10									
-4,319.27									
-3,616.83									
Post-Development Areas									
Entire Site	119,426.10	130,550.83	230,990.07			480,967.00	11.04		entire site

Impervious Surface Coverage									
Pre Development:		0.512	~	51.22%					
Post Development:		0.520	~	51.97%					

Building Coverage

Pre Development:	0.232	~	23.18%
Post Development:	0.248	~	24.83%

Note:

As proposed disturbance does not exceed 1.0 acres but amount of new impervious is greater than 0.25 ac, the proposed improvements are considered a "major development" pursuant to N.J.A.C. 7:8, which requires compliance with associated stormwater regulations regarding runoff quantity pursuant to NJAC 7:8-5.4(a)3. Since the net increase in impervious coverage is greater than 0.25 acres, compliance with the water quality treatment requirements in NJAC 7:8-5.5 is not required. Since the site is located within a State Planning Area 1, compliance with groundwater recharge standards of NJAC 7:8-5.4(a)2 will not be required.

Soils throughout the site and area of improvements are identified as Udorthents wet substratum-Urban Land Complex, which are classified as HSG D soils by the USDA Soil Survey.

Runoff Evaluation via Rational Method

Soils: Whippany-Urban Land Complex, which are classified as HSG C soils by the USDA Soil Survey.

Runoff Coefficients:	(ref. NJDEP Technical Manual for Land Use Regulation/ NJAC 5:21)		
Impervious	0.99	(HSG-D paving (HSG-C paving, roofs)	
Grass/Pervious	0.65	(HSG-D grass, (HSG-C grass, good condition)	
Wooded (thin stand)	0.45	(HSG-C woods (HSG-C woods, good cover)	

Area in acres	Impervious	Grass	Total
Predevelopment	5.66	5.39	11.04
Post-development	5.74	5.30	11.04

Runoff Calculation (evaluation of Weighted CN values)

Weighted Cn:	"= Sum (Subarea x CN) / total Area"		
Cn (weighted-pre)=	0.82	#DIV/0!	
Cn (weighted-post)=	0.83	#DIV/0!	

Time of Concentration: 6 mins (assume shortest TC due to size of lot-conservative)

Rainfall Intensity Data (I):	(NJDEP Stormwater BMP Manual)		
2 yr	5.1	in/hr	in/hr
10 yr	6.9	in/hr	in/hr
100 yr	9	in/hr	in/hr

Rational Method Equation: $Q = C_n \times I \times A$

Runoff Rates:

	Pre-Development Q (cfs)	Post-Development Q (cfs)	Difference Q (cfs)	Comments
Storm				
2 yr	46.41	46.55	0.14	Slight/negligible increase
10 yr	62.79	62.98	0.19	Slight/negligible increase
100 yr	81.90	82.15	0.25	Slight/negligible increase

Summary:

The evaluation of stormwater runoff calculated using the Rational Method, as noted above, indicates that the proposed conditions will result in a very slight or negligible increase in overall stormwater runoff from the site. As such, no additional stormwater management controls (beyond existing) were deemed warranted.

Drainage Areas for Proposed Pipe Design

(area is noted in s.f.)

Project Area #1: Northern Corner of Site (Parking Area)

Area		Impervious (Bldg, asphalt, concrete stone)	Pervious (grass, landscaping, wooded)			Total Areas (sf)	Total Area (acres)	HSG Classification	Comments
Post-Development Conditions									
PT-1		24,157.50	25,382.40			49,539.90	1.14	D	
PT-2		6,211.40	5,519.80			11,731.20	0.27	D	
PT-3		6,278.30	11,041.23			17,319.53	0.40	D	

Project Area #2: Southern Corner of Site (Bldg. Addition)

Area		Impervious (Bldg, asphalt, concrete stone)	Pervious (grass, landscaping, wooded)			Total Areas (sf)	Total Area (acres)	HSG Classification	Comments
Post-Development Conditions									
PT-4		6,139.40	3,402.60			9,542.00	0.22	D	
PT-5		13,683.30	6,610.70			20,294.00	0.47	D	



JE
ASSOCIATES, LLC

Calculations to determine the type of inlet required based on grate flow capacity

[illegible]

1. All flows calculated using the Modified Rational Method
2. Intensity referenced from N.J.R.S.I.S.
3. Following Runoff Coefficients were utilized and referenced from N.R.S.I.S.

Cover	Soil Group D
Impervious	0.99
Grass	0.65

4. Capacity of Type E inlets was referenced from Campbell Foundry Data utilizing a grate style #3425 (NJDOT bicycle-safe grate-per NJAC 5:21-7.4). and assuming an allowable head 2". (7.5 cfs)

Capacity of Type A inlet with trench drain was referenced from Campbell Foundry Data utilizing a grate style #3405 (NJDOT bicycle-safe grate-per NJAC 5:21-7.4). and assuming an allowable head 1". (2.8 cfs)

Capacity of Type B inlet with trench drain was referenced from Campbell Foundry Data utilizing a grate style #3405 (NJDOT bicycle-safe grate-per NJAC 5:21-7.4). and assuming an allowable head 2". (3.3 cfs)

(Note *1- CB#6 serves as junction box structure and may receive some flow from PT-5. CB#6 was designed to capture entire flow of PT-5 conservatively.)

PIPE DESIGN CALCULATIONS

Proposed Building Expansion-Allendale Senior Rehabilitation
85 Harreton Road
Block 601 Lot 7
Borough of Allendale, Bergen Co., NJ
Date: October 31, 2023
File No: 22-THGC-003

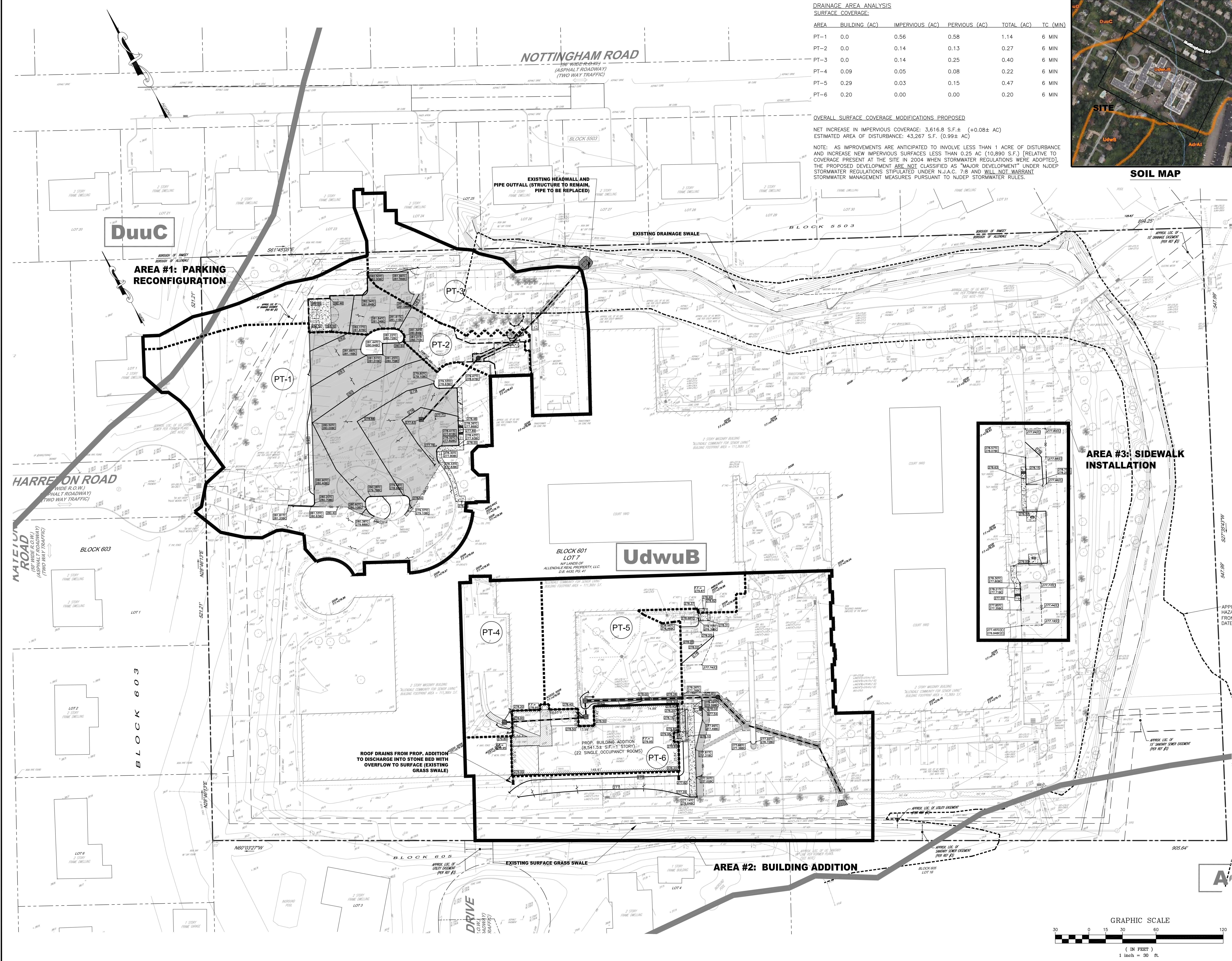


Storm Sewer Tabulation

Calculations to verify pipe size given required capacity, length, and slope (based on storm intensity of 25 years)

Runoff Information														Existing Pipe Design																	
Existing/ Proposed	Pipe No.	From Structure	To Structure	Subareas	Area	Incremental Area			Total Area (ac)	Time of Concentrations			Intensity (25 yr.)	Cum. Runoff in pipe	Pipe Length	Pipe Material	Pipe Dia.	Slope	Full Capacity	Full Velocity	Partial Velocity	Req. Capacity	Capacity Ratio	Comments							
					s.f.	From Inlet	Runoff Coeff.	C*A		Inlet t _c	Pipe t _c	Longest t _c													in/hr	cfs	cfs				
												acres											min.		min.				ft		in
Parking Area																															
P	1	Prop. CB#1	STMH#1	PT-1		1.14	0.82	0.93	0.93	6.0	0.0	6	7.90	7.33	72	RCP	24	0.20%	10.1	3.2	2.3	7.33	1.38	24" elliptical-RCP CL. V							
P	2	STMH#1	Ex. CB#1				-	-	-	-	-	-	-	7.33	30	RCP	24	0.20%	10.1	3.2	2.3	7.33	1.38	24" elliptical-RCP CL. V							
P	3	Ex. CB#1	Ex. CB#2	PT-2		0.27	0.83	0.22	1.15	6.0	0.0	6	7.90	9.10	38	RCP	24	0.40%	14.3	4.6	2.9	9.10	1.58	CL.V.							
P	4	Ex. CB#2	Ex. HDWL	PT-3		0.40	0.77	0.31	1.46	6.0	0.0	6	7.90	11.52	51	RCP	24	0.55%	16.8	5.4	3.7	11.52	1.46	CL.V.							
Building Addition Area																															
P	5	CB#4	CB#5	PT-4		0.22	0.87	0.19	0.19	6.0	0.0	6	7.90	1.50	70	RCP	15	0.20%	2.9	2.4	1.2	1.50	1.93	Includes RWC flow (3,775 s.f. roof area) in court yard. Extends under prop. Building addition							
P	6	CB#5	CB#6	PT-5		0.47	0.88	0.41	0.60	6.0	0.0	6	7.90	4.74	12	HDPE	15	1.00%	6.5	5.3	3.9	4.74	1.37								
P	7	CB#6	STMH#1	PT-5		-	-	-	-	-	-	-	-	4.74	116	Perf. HDPE	15	0.70%	5.4	4.4	3.9	4.74	1.14								
P	8	STMH#1	CB#7	PT-5		-	-	-	-	-	-	-	-	4.74	33	Perf. HDPE	15	0.70%	5.4	4.4	3.9	4.74	1.14								
Existing Pipe to be replaced	9	CB#7	Ex. Inlet	PT-5 and existing area		-	-	-	-	-	-	-	-	4.74	66	Perf. HDPE	18	1.24%	11.7	6.6	2.7	4.74	2.47	Replace existing pipe with perforated HDPE in stone bed, same size and slope							
Existing Pipe to be replaced	10	Ex.Inlet	Ex. Inlet	PT-5 and existing area		-	-	-	-	-	-	-	-	4.74	44	Perf. HDPE	18	2.30%	16.0	9.0	2.7	4.74	3.37	Replace existing pipe with perforated HDPE in stone bed, same size and slope							

Notes:
-Pipe capacity calculated utilizing Manning's Equation and assuming use of n=0.013.



DRAINAGE AREA ANALYSIS
SURFACE COVERAGE:

AREA	BUILDING (AC)	IMPERVIOUS (AC)	PERVIOUS (AC)	TOTAL (AC)	TC (MIN)
PT-1	0.0	0.56	0.58	1.14	6 MIN
PT-2	0.0	0.14	0.13	0.27	6 MIN
PT-3	0.0	0.14	0.25	0.40	6 MIN
PT-4	0.09	0.05	0.08	0.22	6 MIN
PT-5	0.29	0.03	0.15	0.47	6 MIN
PT-6	0.20	0.00	0.00	0.20	6 MIN

OVERALL SURFACE COVERAGE MODIFICATIONS PROPOSED

NET INCREASE IN IMPERVIOUS COVERAGE: 3,616.8 S.F.± (+0.08± AC)
ESTIMATED AREA OF DISTURBANCE: 43,267 S.F. (0.99± AC)

NOTE: AS IMPROVEMENTS ARE ANTICIPATED TO INVOLVE LESS THAN 1 ACRE OF DISTURBANCE AND INCREASE NEW IMPERVIOUS SURFACES LESS THAN 0.25 AC (10,890 S.F.) [RELATIVE TO COVERAGE PRESENT AT THE SITE IN 2004 WHEN STORMWATER REGULATIONS WERE ADOPTED], THE PROPOSED DEVELOPMENT ARE NOT CLASSIFIED AS "MAJOR DEVELOPMENT" UNDER NJDEP STORMWATER REGULATIONS STIPULATED UNDER N.J.A.C. 7:8 AND WILL NOT WARRANT STORMWATER MANAGEMENT MEASURES PURSUANT TO NJDEP STORMWATER RULES.



**Know what's below
Call before you dig.**

CONTRACTOR SHALL CONTACT NEW JERSEY STATE DISA
PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

REVISION	
NO.	DESCRIPTION
1	REVISED TO ADD CANOPY AND REVISION UNIT COUNT
0	INITIAL ISSUE
1	REVISIONS/SUBMISSIONS
10/1/2023	DATE

**PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS**

ALLENDALE REHABILITATION AND HEALTHCARE

ALLENDALE SENIOR LIVING
BLOCK 601, LOT 7
85 HARRETON ROAD -
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

JE **JEFFERIS**
ENGINEERING
ASSOCIATES, LLC

801 ORCHARD AVENUE
RUNNEMEDE, N.J. 08078
PHONE: 856-933-2005
FAX: 856-933-2016
WWW.JEPPERISEENGINEERING.COM
N.J. CERTIFICATE OF AUTHORIZATION #246A2892590

TEAL S. JEFFERIS, P.E., CME, CDT

NJ PROFESSIONAL ENGINEER L.I.C. # GE42699
PA PROFESSIONAL ENGINEER L.I.C. # PE076754
DE PROFESSIONAL ENGINEER L.I.C. # 11181

JE FILE NO. 22-THC-003 DRAWN BY: RAH

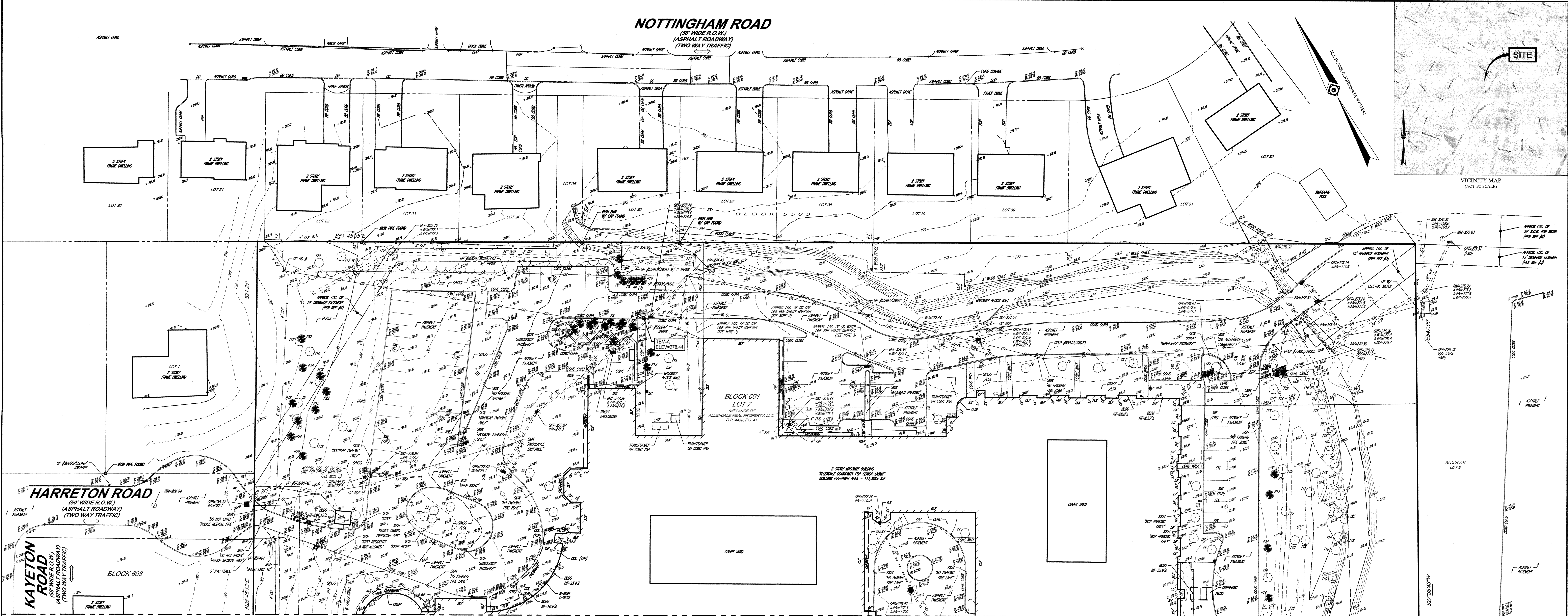
DATE: 11-29-22 CHECKED: TSJ

DRAWING NO.

C-10.0

**DRAINAGE AREA
PLAN**

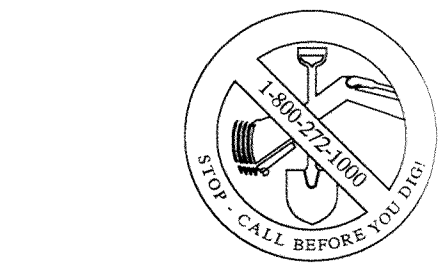
SCALE: 1" = 30' 2 OF 9



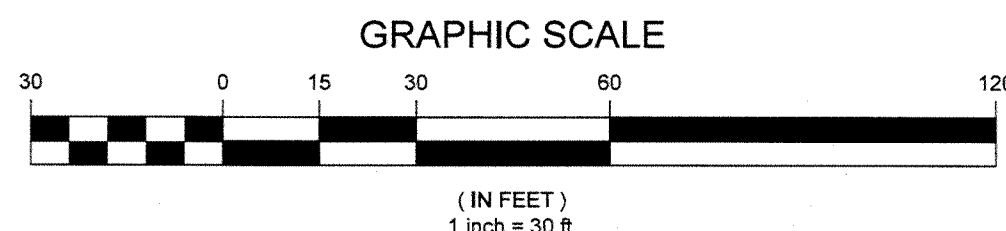
- LEGEND**
- ON — OVERHEAD WIRES
 - C — APPROX. LOC. UNDERGROUND NATURAL GAS LINE
 - W — APPROX. LOC. UNDERGROUND WATER LINE
 - C — SUBSURFACE UTILITY QUALITY LEVEL C
 - D — DEPRESSION CURBS
 - H — HYDRANT
 - V — WATER VALVE
 - G — GAS VALVE
 - M — GAS METER
 - E — ELECTRIC METER
 - B — ELECTRIC BOX
 - C — CABLE BOX
 - S — SANITARY/SEWER MANHOLE
 - D — DRAINAGE/STORM MANHOLE
 - C — CATCH BASINS
 - C — CLEAN OUT
 - R — ROOF DRAIN
 - U — UTILITY POLE
 - H — HANDICAPPED
 - A — PAINTED ARROWS
 - M — METAL COVERS
 - S — SIGN
 - D — DOUBLE SIGN
 - B — BOLLARD
 - R — METAL GUIDE RAIL
 - A — AREA LIGHT
 - L — LAMP
 - T — DECIDUOUS TREE & TRUNK SIZE
 - C — CONIFEROUS TREE & TRUNK SIZE
 - F — CHAIN LINK FENCE
 - C — DEPRESSED CURBS
 - E — EDGE OF CONC.
 - P — EDGE OF PAVEMENT
 - G — EDGE OF GRAVEL
 - L — LANDSCAPED AREA
 - M — MASONRY BLOCK WALL
 - T — TYPICAL
 - S — SOLID WHITE LINE
 - Y — SOLID YELLOW LINE
 - B — SOLID BLUE LINE
 - H — HEIGHT
 - B — BUILDING
 - T — UNKNOWN TERMINUS

NOTES:

- PROPERTY KNOWN AS LOT 7, BLOCK 601, AS SHOWN ON THE OFFICIAL TAX MAP OF BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY.
- AREA = 480,967 SQUARE FEET OR 11.041 ACRES.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBESTOS PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:
 - QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY, NOT FIELD VERIFIED.
 - QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING, INCLUDES MARK-OUT BY OTHERS.
 - QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING, INCLUDES MARK-OUT BY CONTROL POINT ASSOCIATES, INC.
 - QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- ALL FOUR TYPES MAY NOT BE PRESENT ON THE SURVEY.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT. A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
 - TEMPORARY BENCHMARK SET
 - TBM-A: MAG NAIL SET IN CONC. CURBS, ELEVATION= 278.44' (SHEET 1)
 - TBM-B: MAG NAIL SET IN ASPHALT, ELEVATION= 278.56' (SHEET 2)
 - TBM-C: MAG NAIL SET IN ASPHALT, ELEVATION= 274.11' (SHEET 2)
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C. 14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1 (d).



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

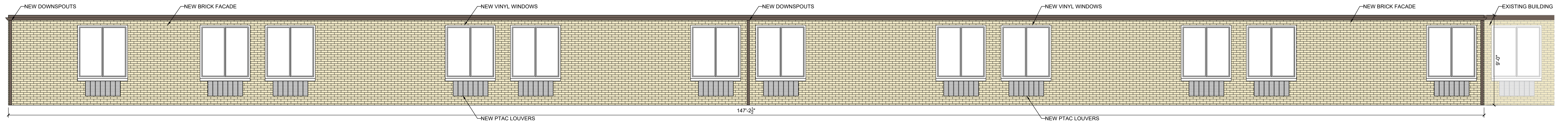
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION

DONALD P. SWEENEY
NEW JERSEY PROFESSIONAL LAND SURVEYOR NO. 24642
NEW JERSEY CERTIFICATE OF AUTHORIZATION #246427938900

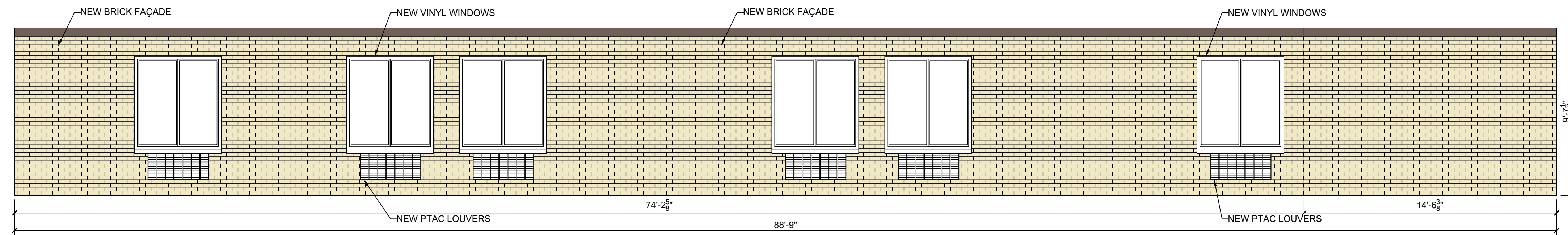
REFERENCES:

- THE OFFICIAL TAX ASSESSOR'S MAP OF BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY, SHEET #8.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BERGEN COUNTY, NEW JERSEY, (ALL JURISDICTIONS), PANEL 86 OF 332", MAP NUMBER 3403C0086, EFFECTIVE DATE: AUGUST 28, 2019.
- MAP ENTITLED "TANSPS LAND TITLE SURVEY, LOT 7 BLOCK 601, BOROUGH OF ALLENDALE, COUNTY OF BERGEN, NEW JERSEY" PREPARED BY MORGAN ENGINEERING & SURVEYING, JOB #20-08856, DATE 9/28/20.
- MAP ENTITLED "RAMSEY COUNTRY CLUB ESTATES, SECTION NO. 1, SITUATED IN THE BOROUGH OF RAMSEY AND BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J., OWNED AND DEVELOPED BY NATIONAL HOUSE AND FARMS ASSN., INC., 230 WEST 41ST STREET, NEW YORK, NY" SAID MAP BEING RECORDED AS FILED MAP 3025 IN THE BERGEN COUNTY CLERK'S OFFICE ON 3-18-1941.
- MAP ENTITLED "SUBDIVISION PLAT OF CRESCENT HILLS, SECTION NO. 1, PROPERTY OF DIVANOR, INC., IN THE BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J." SAID MAP BEING RECORDED AS FILE PLAN NO. 5139 IN THE BERGEN COUNTY CLERK'S OFFICE ON 6-12-1967.
- MAP ENTITLED "SUBDIVISION PLAT OF CRESCENT HILLS, SECTION NO. 2, PROPERTY OF DIVANOR, INC., IN THE BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J." SAID MAP BEING RECORDED AS FILE PLAN NO. 5595 IN THE BERGEN COUNTY CLERK'S OFFICE ON 10-6-1960.
- MAP ENTITLED "TMA, SUBDIVISION OF ANS ESTATES, ALLENDALE, BERGEN CO., N.J." SAID MAP BEING RECORDED AS FILE PLAN 7908 IN THE BERGEN COUNTY CLERK'S OFFICE ON 12-15-1990.

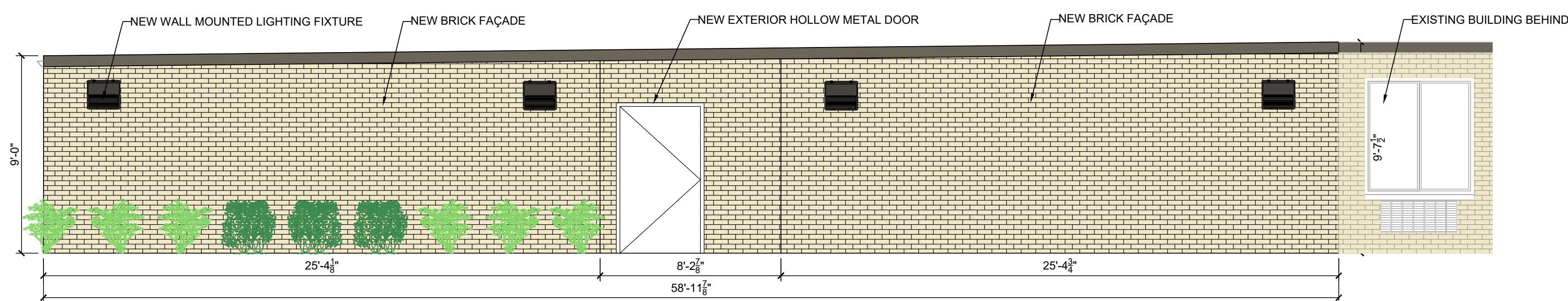
1	REVISED WITH ADDITIONAL FINISHED FLOOR ELEVATIONS	DO	AW	SFM	1-25-2023
NO.	DESCRIPTION OF REVISION	RELG. CREW	DRAWN	APPROVED	DATE
FIELD DATE 10-14-2022	BOUNDARY & TOPOGRAPHIC SURVEY				
FIELD BOOK NO. -	BLOCK 601, LOT 7				
FIELD BOOK PG. -	85 HARRETON ROAD				
	BOROUGH OF ALLENDALE, BERGEN COUNTY				
	STATE OF NEW JERSEY				
FIELD CREW D.G.M.A.D.	CONTROL POINT ASSOCIATES, INC.				
DRAWN M.A.D.G.D.B.	1300 ROUTE 73, SUITE 211 MT. LAUREL, NJ 08054 609.857.2900 • 609.668.9355 FAX WWW.CONTROLPOINTNJ.COM				
REVIEWED A.D.H.	APPROVED S.F.M.	DATE 11-18-2022	SCALE 1" = 30'	FILE NO. 05-220307-00	DWG. NO. 1 OF 2



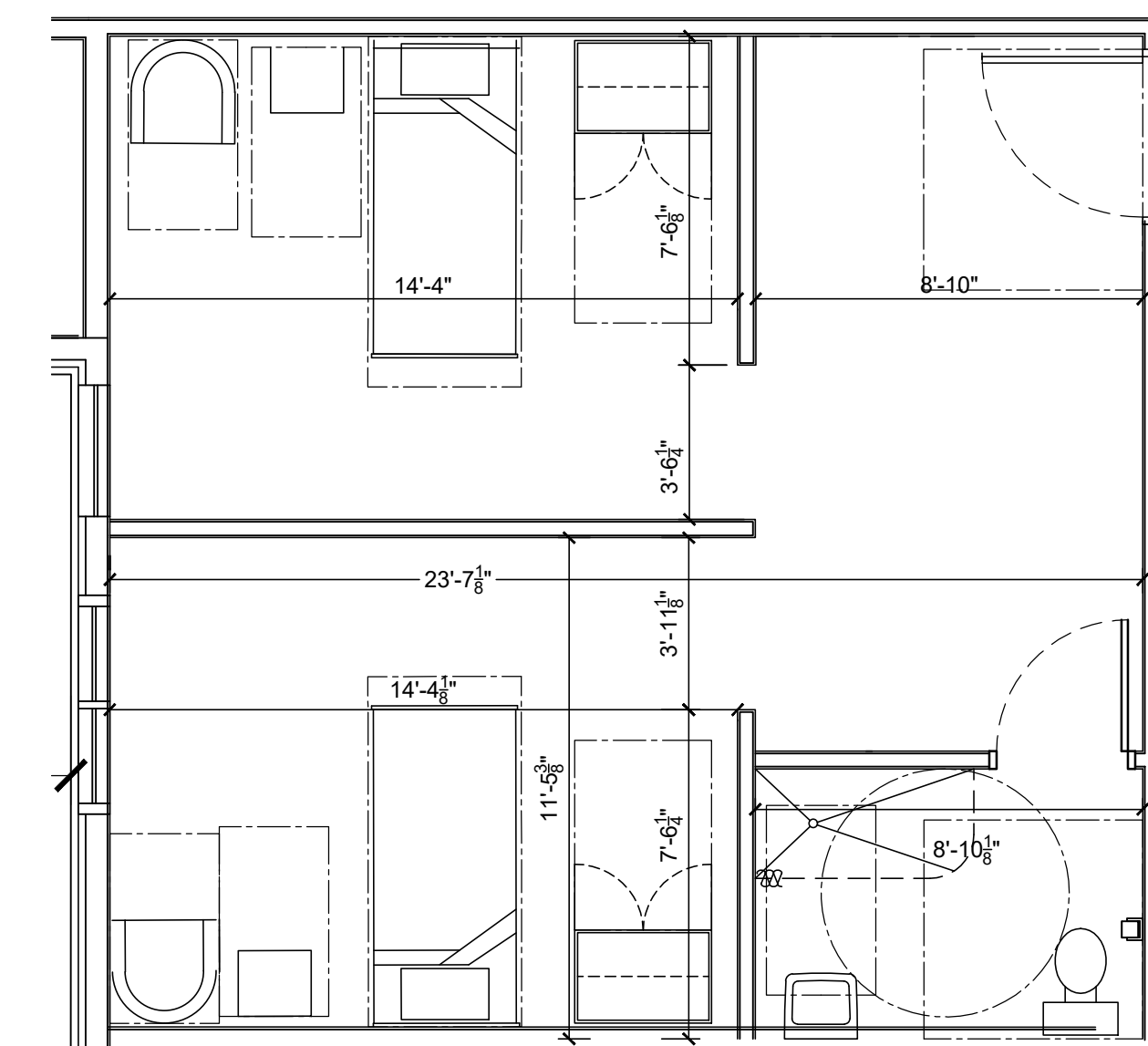
1 ELEVATION
1/4" = 1'-0"



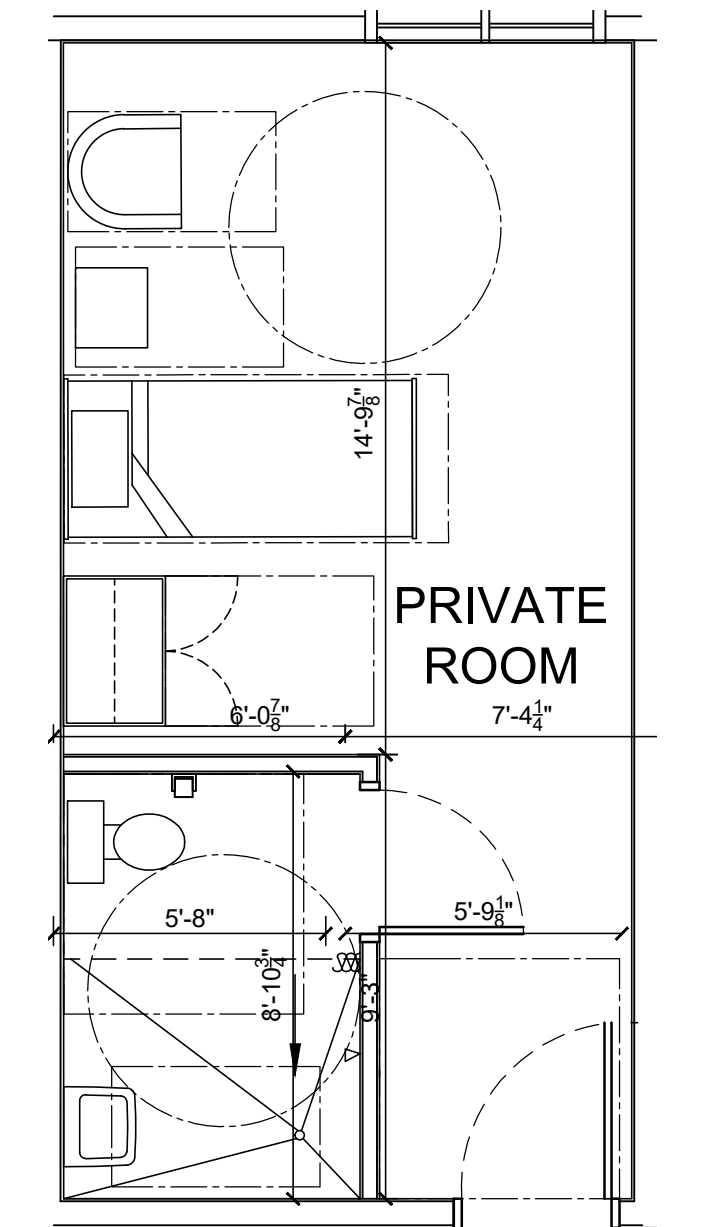
2 ELEVATION
1/4" = 1'-0"



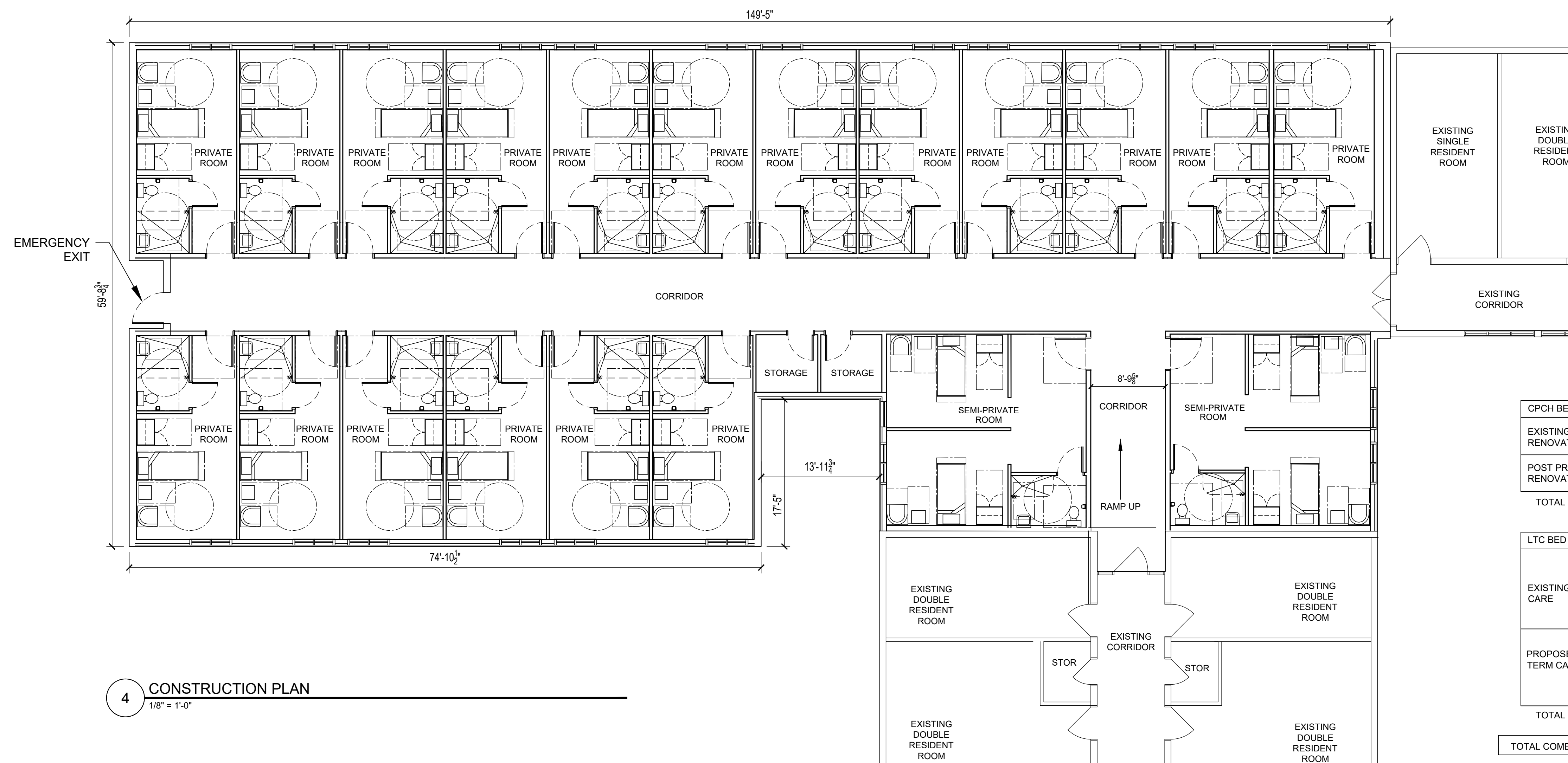
3 ELEVATION
1/4" = 1'-0"



5 DIMENSION PLAN SEMI-PRIVATE ROOM (TYPICAL)
1/4" = 1'-0"



6 DIMENSION PLAN SINGLE ROOM (TYPICAL)
1/4" = 1'-0"

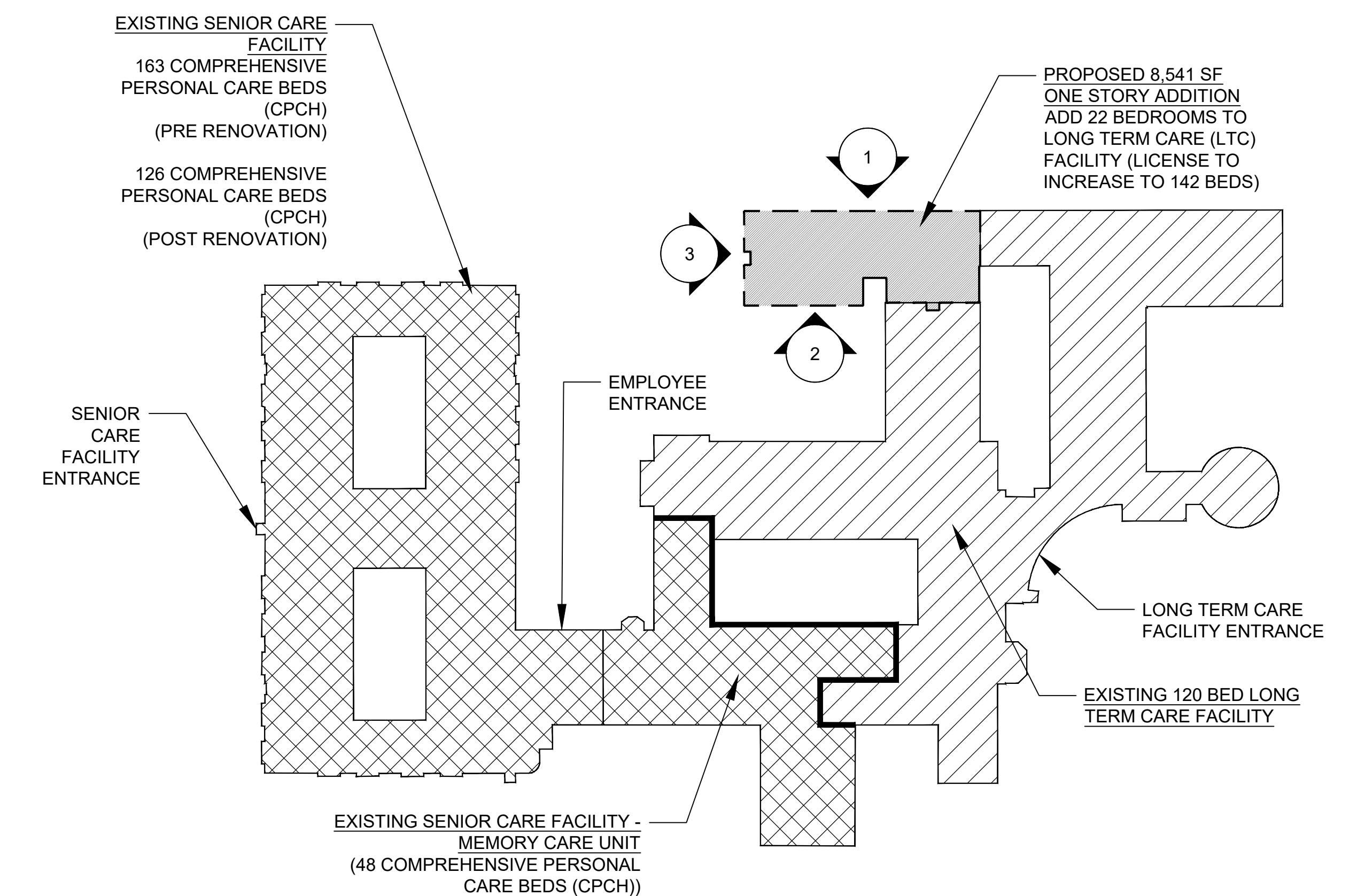


4 CONSTRUCTION PLAN
1/8" = 1'-0"

CPCH BED ALLOCATION TABLE	
EXISTING PRE-CPCH RENOVATION	211 CPCH BEDS
POST PRE-CPCH RENOVATION	174 CPCH BEDS
TOTAL PROPOSED: 174 CPCH BEDS	

LTC BED ALLOCATION TABLE	
EXISTING LONG TERM CARE	120 BEDS
(6) 1 BED ROOMS (52) 2 BED ROOMS (2) 3 BED ROOMS (1) 4 BED ROOMS	
PROPOSED LONG TERM CARE	142 BEDS
(24) 1 BED ROOMS (54) 2 BED ROOMS (2) 3 BED ROOMS (1) 4 BED ROOMS	
TOTAL PROPOSED: 142 LTC BEDS	

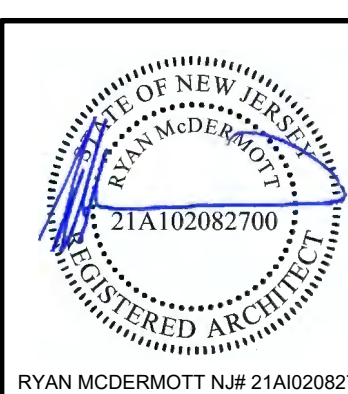
TOTAL COMBINED BEDS: 316 TOTAL BEDS



KEY PLAN
1/64" = 1'-0"

BROMMER
ARCHITECTS

723 ELECTRONIC DRIVE, SUITE 300, HORSHAM PA 19044
P: 215 657 4010 F: 215 657 4340



PROPOSED NEW ADDITION AT:
**ALLENDALE REHABILITATION
AND HEALTHCARE CENTER**
85 HARRETON ROAD
ALLENDALE, NJ 07401

CLIENT

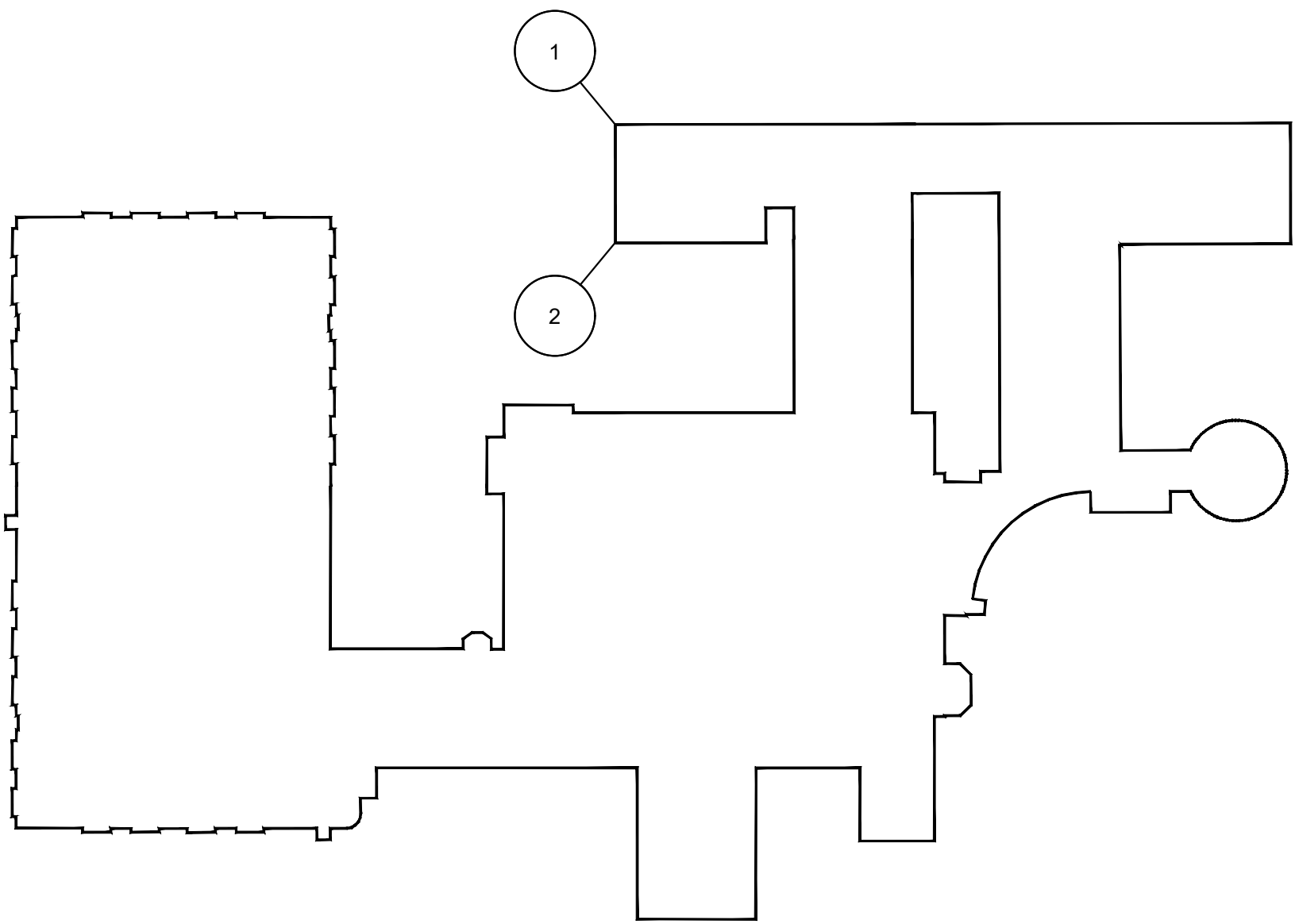
ISSUANCE:		
MARKER	TITLE	DATE
	PLANNING BOARD SUBMISSION	1/19/24

ISSUANCE CONT.		
MARKER	TITLE	DATE

DRAWING NUMBER	
FLOOR PLAN AND ELEVATIONS	
DATE:	02.14.2023
DRAWN BY:	RM/NP
COMM. NO.	21-0145
DCA NO.	

DRAWING TITLE:

A1

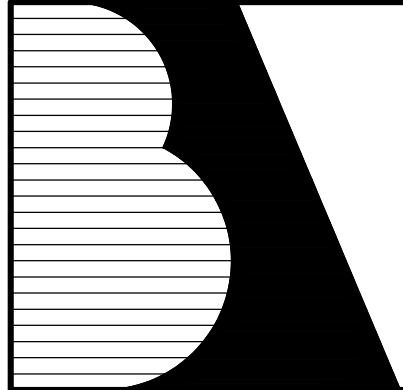


PROPOSED ADDITION RENDERING
NOT TO SCALE

CIVIL ENGINEER

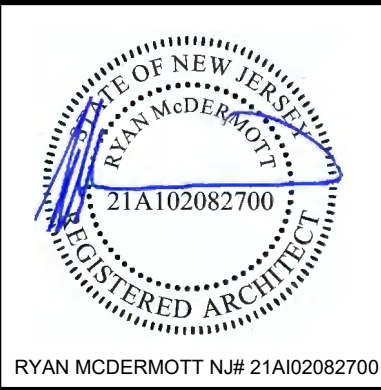
STRUCTURAL ENGINEER

M/P/E ENGINEER



**BROMMER
ARCHITECTS**

723 ELECTRONIC DRIVE, SUITE 300, HORSHAM PA 19044
P: 215 657 4010 F: 215 657 4340



PROPOSED NEW ADDITION AT:
**ALLENDALE REHABILITATION
AND HEALTHCARE CENTER**

85 HARRETON ROAD
ALLENDALE, NJ 07401

CLIENT

ISSUANCE		
MARKER	TITLE	DATE
	PLANNING BOARD SUBMISSION	3/31/23

ISSUANCE CONT.		
MARKER	TITLE	DATE

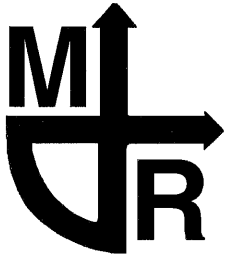
DRAWING NUMBER:
PROPOSED ADDITION RENDERING

DATE: 02.14.2023
DRAWN BY: RM/NP
COMM. NO. 21-014B

DCA NO.

DRAWING TITLE:

A2



McDonough & Rea Associates, Inc.

Traffic and Transportation Consulting

Kevin P. McDonough (1953-1994)
John H. Rea, P.E.
Jay S. Troutman, Jr., P.E.
Scott T. Kennel

January 16, 2024

Borough of Allendale Land Use Board
500 W. Crescent Avenue
Allendale, NJ 07401

Re: Allendale Rehabilitation & Healthcare & Senior Living Center
85 Harreton Road
Lot 7 in Block 601
Borough Allendale, Bergen County
MRA File No. 23-223

Dear Board Members:

McDonough & Rea Associates (MRA) has been asked to provide the Allendale Land Use Board with a *Traffic & Parking Analysis* for plans to construct a building addition, convert 2-bedroom units to private units and reconfigure the parking lot to support the 316 bed *Allendale Rehabilitation and Healthcare Center (ARHC)* facility located on the noted property. The property is located off the southbound lanes of New Jersey State Route 17. Plans prepared by Jefferis Engineering Associates (JEA) and Brommer Architects (BA) show a proposed building addition to expand the *skilled nursing facility* and modifications to the existing parking areas. It is our understanding that the site is approved for 331 beds as a non-conforming use and is undergoing renovations to modernize the *assisted living facility* rooms, resulting, at the conclusion of all construction, in the reduction of the number of beds to 316. Due to the ongoing renovations, there were 294 beds available for occupancy during the summer of 2023 when MRA conducted counts.

SCOPE OF STUDY

In order to prepare our *Traffic & Parking Analysis*, MRA conducted the following tasks:

1. Made a field visit to the site to establish existing roadway and traffic conditions and parking practices within the existing parking lot for *ARHC*.
2. Placed an automatic traffic recorder (ATR) across the access roadway to *ARHC* in order to inventory existing daily and peak hour traffic volumes generated by the facility.

Please reply to:

- ☒ 1431 Lakewood Road, Suite C, Manasquan, NJ 08736 • (732) 528-7076 • Fax (732) 528-6673
☐ 105 Elm Street, Lower Level, Westfield, NJ 07090 • (908) 789-7180 • Fax (908) 789-7181



McDonough & Rea Associates, Inc.

Traffic and Transportation Consulting

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Borough of Allendale Land Use Board

-2-

January 16, 2024

3. Conducted parking counts within the various parking areas serving *ARHC* on a weekday and Saturday in order to inventory existing parking demand.
4. Analyzed the additional traffic/parking demand that will be generated between the 294 available bed as of the time of MRA's counts and the proposed condition with 316 beds at the conclusion of all construction.

The following report sets forth our findings.

EXISTING CONDITIONS

The *ARHC* is located at 85 Harreton Road which is located off the southbound lanes of New Jersey State Route 17 in the Borough of Allendale. Access to the property is provided from the southbound lanes of Route 17. In addition, the site is served by an emergency only access to/from Harreton Road. Parking areas surrounding the existing building total 170 parking stalls which is an existing non-conforming condition, whereas 243 stalls were required based on the approved 331 beds. Changes to the parking areas will maintain the existing parking count at 170 spaces with 231 parking spaces required based on the proposed reduced bed count of 316.

The existing and proposed *ARHC* bed count is as follows:

UNIT TYPE	EXISTING	PROPOSED
Skilled Nursing Facility	120 beds	142 beds
Memory Care	48 beds	48 beds
Assisted Living	163 beds	126 beds
Total	331 beds	316 beds

EXISTING TRAFFIC VOLUMES

An ATR was placed across the Route 17 access to *ARHC* and recorded hourly and daily traffic volumes over an 11-day period from Monday, July 31, 2023 through Thursday, August 10, 2023, with over 238 hours of continuous traffic volume data collected. Copies of the raw traffic count data are appended to this report. In general, an analysis of the traffic count data revealed the following:



McDonough & Rea Associates, Inc.

Traffic and Transportation Consulting

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105 Elm Street, Lower Level, Westfield, NJ 07090 • (908) 789-7180 • Fax (908) 789-7181

Borough of Allendale Land Use Board

-3-

January 16, 2024

- The site generates approximately 610 2-way (inbound and outbound) vehicles during a typical weekday over 24 hours.
- The 24-hour traffic generated by the facility on a weekend is lower (approximately 390 vehicles on a Saturday and 420 vehicles on a Sunday).
- Peak hours at the facility typically occurred during the middle of a weekday and the peak hour traffic generation is generally in the 50-70 vehicle range (total in 2 directions).
- The weekend peak hour volumes are generally lower (40-50 vehicles).

The existing site generated traffic volumes are consistent with studies MRA has conducted at other healthcare facilities throughout the State of New Jersey.

IMPACT OF EXPANSION ON EXISTING TRAFFIC VOLUMES

The building addition and modernization of existing rooms will represent an increase of 22 beds above the 294 available during the MRA collection program, or approximately 10 percent. Therefore, based on the additional new beds with the building addition, MRA anticipates that daily and peak hour traffic volumes will likely increase in the 10 percent range, from its observed counts, which will be insignificant in terms of impact on the Route 17 access and the adjacent roadway system.

PARKING ANALYSIS

Detailed parking counts were conducted, in August and October 2023, within the parking areas surrounding the ARHC on a weekday and on a Saturday with the raw parking counts appended to this report. Overall peak parking occurred on a weekday, during the middle of the day (between 11:00 AM and 4:00 PM) and totaled 88 parked vehicles, at the 3:00 PM shift change, within the 170 spaces provided at ARHC. An additional parking count was conducted on October 25, 2023 at the 3:00 PM shift change, with 107 vehicles parked on site.



McDonough & Rea Associates, Inc.

Traffic and Transportation Consulting

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105 Elm Street, Lower Level, Westfield, NJ 07090 • (908) 789-7180 • Fax (908) 789-7181

Borough of Allendale Land Use Board

-4-

January 16, 2024

IMPACT OF ADDITIONAL BEDS ON PARKING

The peak parking demand of 107 vehicles works out to 0.36 parked vehicles per bed which is consistent with Institute of Transportation Engineers (ITE) parking data of 0.36 spaces per bed. With the building addition and modernization of existing rooms, the facility would yield 316 beds or an increase of 22 beds from the 294 beds. At 100% occupancy, which is extremely unlikely, we anticipate a need for no more than 120 parking spaces based on the ITE rate and the site recorded parking rate. Also, it is our understanding that the employee population with 316 beds will be generally consistent with the current employee population and less than the population required for 331 beds. Therefore, the maximum staffing for 316 beds would be accommodated with the 170 parking spaces even in consideration of shift changes.

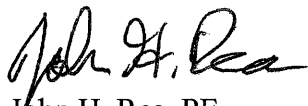
The projected parking demand is expected to be substantially less than the parking ordinance requirement of 231 parking spaces and less than the proposed supply of 170 parking spaces.

CONCLUSIONS


It is concluded, based on MRA's analysis of the existing traffic and parking demands generated by ARHC, that the building addition can be approved and operate compatibly with future traffic and parking conditions in and around the site. The amount of new traffic generated by the new addition will be insignificant in terms of its impact to the adjacent roadway network. The 170 parking spaces will be more than adequate to accommodate the parking demands generated by the proposed 316 beds.

We hope the foregoing information is helpful.

Very truly yours,



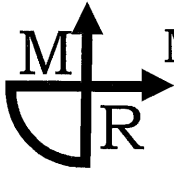
John H. Rea, PE
Principal



Scott T. Kennel
Sr. Associate

cc: Teal S. Jefferis, PE
Dina Napolitano
Michael Rubin, Esq.

APPENDIX



McDONOUGH & REA ASSOCIATES

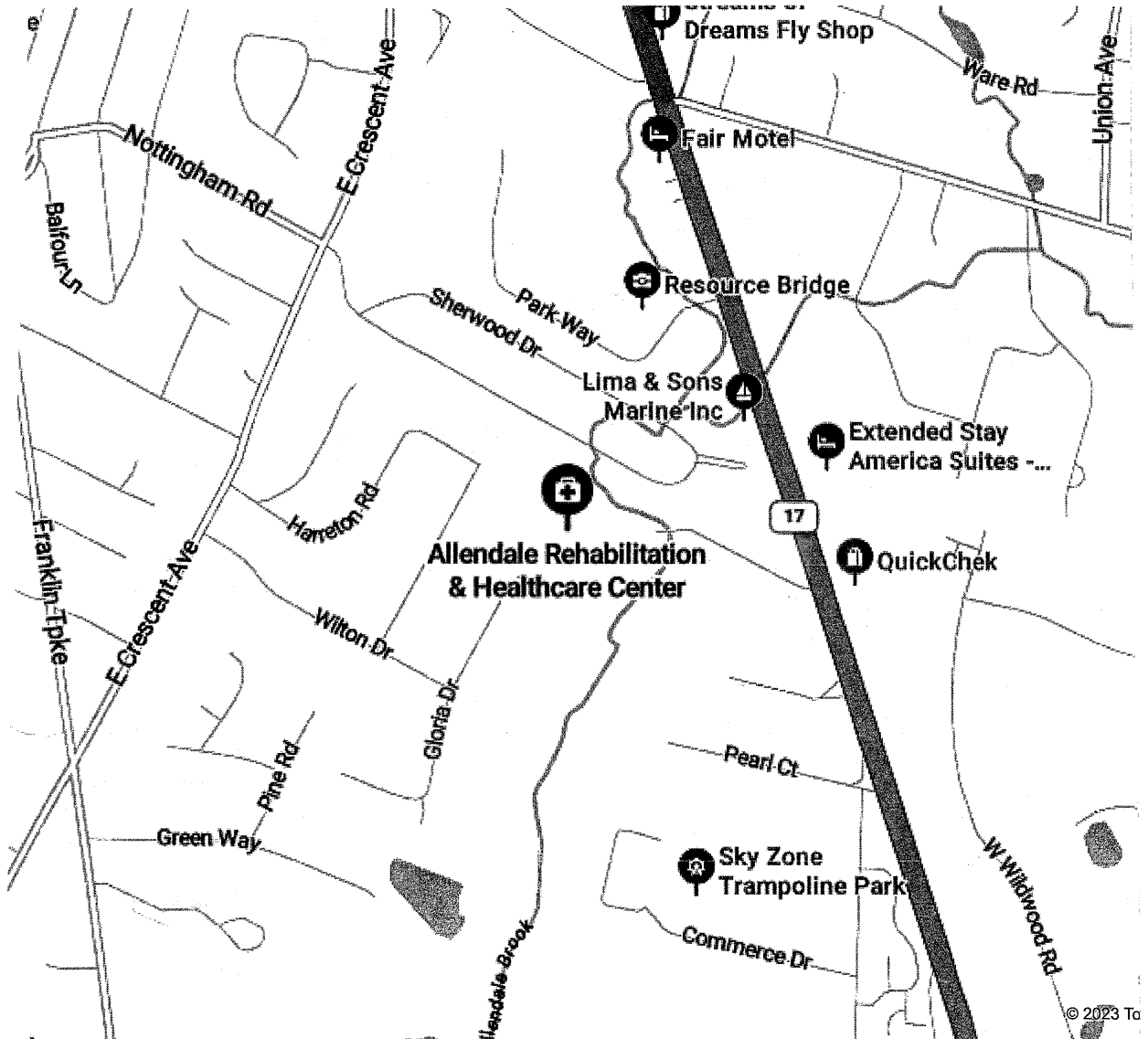
TRAFFIC AND TRANSPORTATION CONSULTING

FIGURE 1

JOB NO.
23-223

DATE:
JAN 2024

ALLENDALE REHABILITATION & HEALTHCARE CENTER - ALLENDALE BOROUGH, BERGEN CO.
SITE LOCATION MAP



SITE IMPROVEMENT PLANS

PROPOSED BUILDING ADDITION AND PARKING MODIFICATIONS

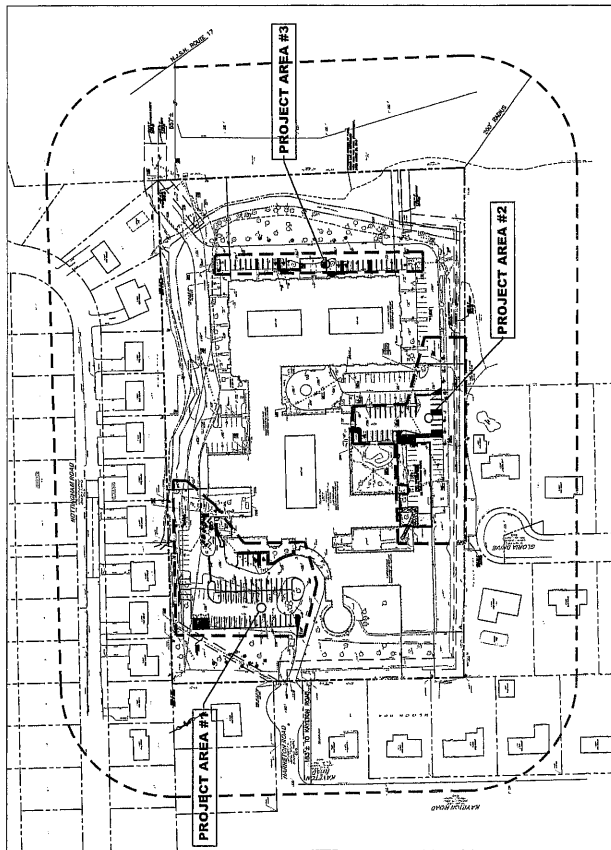
ALLENDALE REHABILITATION AND HEALTHCARE CENTER

AND

ALLENDALE SENIOR LIVING

**BLOCK 601 - LOT 7
85 HARRETON ROAD**

BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY



OVERALL SITE KEY MAP

[illegible][illegible]

PLANNING BOARD: _____
 THIS SITE PLAN APPLICATION WAS APPROVED AT A MEETING OF
 LAND USE BOARD OF THE BOROUGH OF ALLENDALE,
 BERGEN COUNTY, NJ HELD ON: _____
 APPROVED: _____
 DATE OF BOARD APPROVAL: _____

BOARD CHAIR	(DATE)
BOARD SECRETARY	(DATE)
BOARD ENGINEER	(DATE)
BOARDSHIP CLERK	(DATE)

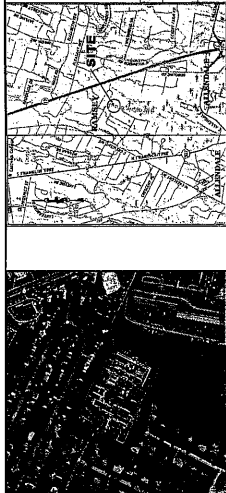
APPLICANT:
ALEXANDER OPERATOR LLC d/b/a ALEXANDER REHABILITATION AND HEALTHCARE
ALEXANDER ASSISTED LIVING LLC d/b/a ALEXANDER SENIOR LIVING
1608 ROUTE 88, SUITE 103
BRICK, NJ 08723

OWNER:
ALEXANDER REAL PROPERTY, LLC
ALEXANDER REAL ESTATE LLC
1608 ROUTE 88, SUITE 103
BRICK, NJ 08723

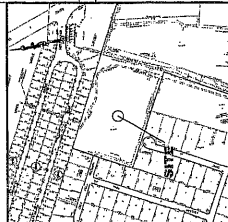
LAND USE APPROVALS REQUIRED:

THE FOLLOWING IS A SUMMARY OF THE LAND USE APPROVALS ANTICIPATED TO BE REQUIRED FOR THE PROPOSED IMPROVEMENTS:

- 1. BOROUGH OF ALLENDALE PLANNING BOARD
- 2. BERGEN COUNTY PLANNING BOARD



ZONING MAP



TAX MAP

[illegible]

PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS
ALLTENDALE REHABILITATION AND HEALTHCARE
&
ALLTENDALE SENIOR LIVING
85 HARBETON ROAD -
BLOCK 601, LOT 7
BOROUGH OF ALLTENDALE, BERKEN COUNTY, N.J.

**JEFFERIS
ENGINEERING
ASSOCIATES, LLC**
301 GUYLAND AVENUE
MUNNEKADE, N.J. 08078
PHONE: 856-933-1055
FAX: 856-933-3046
WWW.JEFFERISENGINEERING.COM

TEAL S. OFFENSE #1, ONE CDT
 30 PROFESSIONAL FUNDING, 1.00, 0.00000
 PA OFFER LEGAL FEE \$1,000.00
 OF FROM COURT FUNDING \$1,000.00

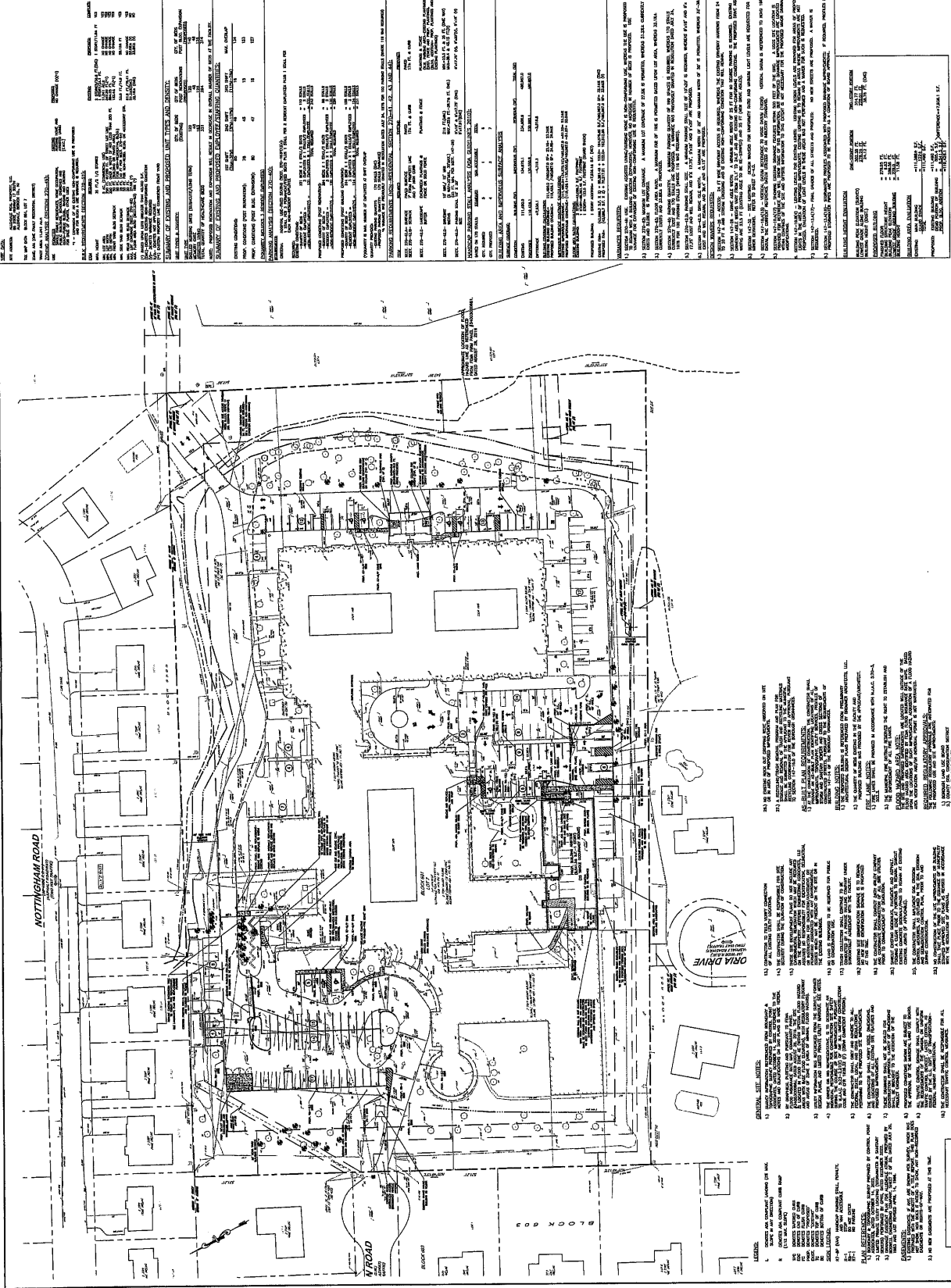
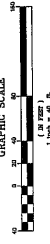


PROPOSED BUILDING ADDITION AND PARKING MODIFICATIONS ALLENDALE SENIOR LIVING & ALLENDALE REHABILITATION AND HEALTHCARE 85 HARTFORD ROAD BLOCK 601, LOT 7 BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

JEFFERIS
ENGINEERING
ASSOCIATES, LLC
1000 ROUTE 17
SUITE 200
ROCKAWAY, NJ 07866
TEL: 201-981-1100
FAX: 201-981-1101
WWW.JEFFERIS-ENGINEERING.COM

JEFFERIS ENGINEERING ASSOCIATES, LLC
1000 ROUTE 17
SUITE 200
ROCKAWAY, NJ 07866
TEL: 201-981-1100
FAX: 201-981-1101
WWW.JEFFERIS-ENGINEERING.COM

C-2.0
SITE IMPROVEMENT
PLAN
(OVERALL)



NOTTINGHAM ROAD
BLOCK 601
LOT 7

LEGEND

- 1. EXISTING BUILDING
- 2. PROPOSED BUILDING ADDITION
- 3. EXISTING PARKING
- 4. PROPOSED PARKING
- 5. EXISTING DRIVEWAY
- 6. PROPOSED DRIVEWAY
- 7. EXISTING SIDEWALK
- 8. PROPOSED SIDEWALK
- 9. EXISTING CURB
- 10. PROPOSED CURB
- 11. EXISTING STREET LIGHT
- 12. PROPOSED STREET LIGHT
- 13. EXISTING TREE
- 14. PROPOSED TREE
- 15. EXISTING FENCE
- 16. PROPOSED FENCE
- 17. EXISTING SIGN
- 18. PROPOSED SIGN
- 19. EXISTING UTILITY
- 20. PROPOSED UTILITY
- 21. EXISTING EROSION CONTROL
- 22. PROPOSED EROSION CONTROL
- 23. EXISTING LANDSCAPE
- 24. PROPOSED LANDSCAPE
- 25. EXISTING SITE
- 26. PROPOSED SITE

NOTES

- 1. ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NJ DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE NJ DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP) REGULATIONS.
- 2. THE PROPOSED WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND SHALL NOT CAUSE UNNECESSARY DISRUPTION TO THE SURROUNDING AREA.
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NOTES:
1. SEE SHEET C-2.1 FOR SITE PLAN.
2. SEE SHEET C-2.2 FOR LANDSCAPE PLAN.
3. SEE SHEET C-2.3 FOR TRAFFIC STUDY.
4. SEE SHEET C-2.4 FOR UTILITIES PLAN.
5. SEE SHEET C-2.5 FOR EROSION CONTROL PLAN.
6. SEE SHEET C-2.6 FOR FLOOD HAZARD STUDY.
7. SEE SHEET C-2.7 FOR HISTORIC PRESERVATION STUDY.
8. SEE SHEET C-2.8 FOR ENVIRONMENTAL IMPACT STATEMENT.
9. SEE SHEET C-2.9 FOR PUBLIC PARTICIPATION REPORT.
10. SEE SHEET C-2.10 FOR FINAL REPORT.

REVISIONS

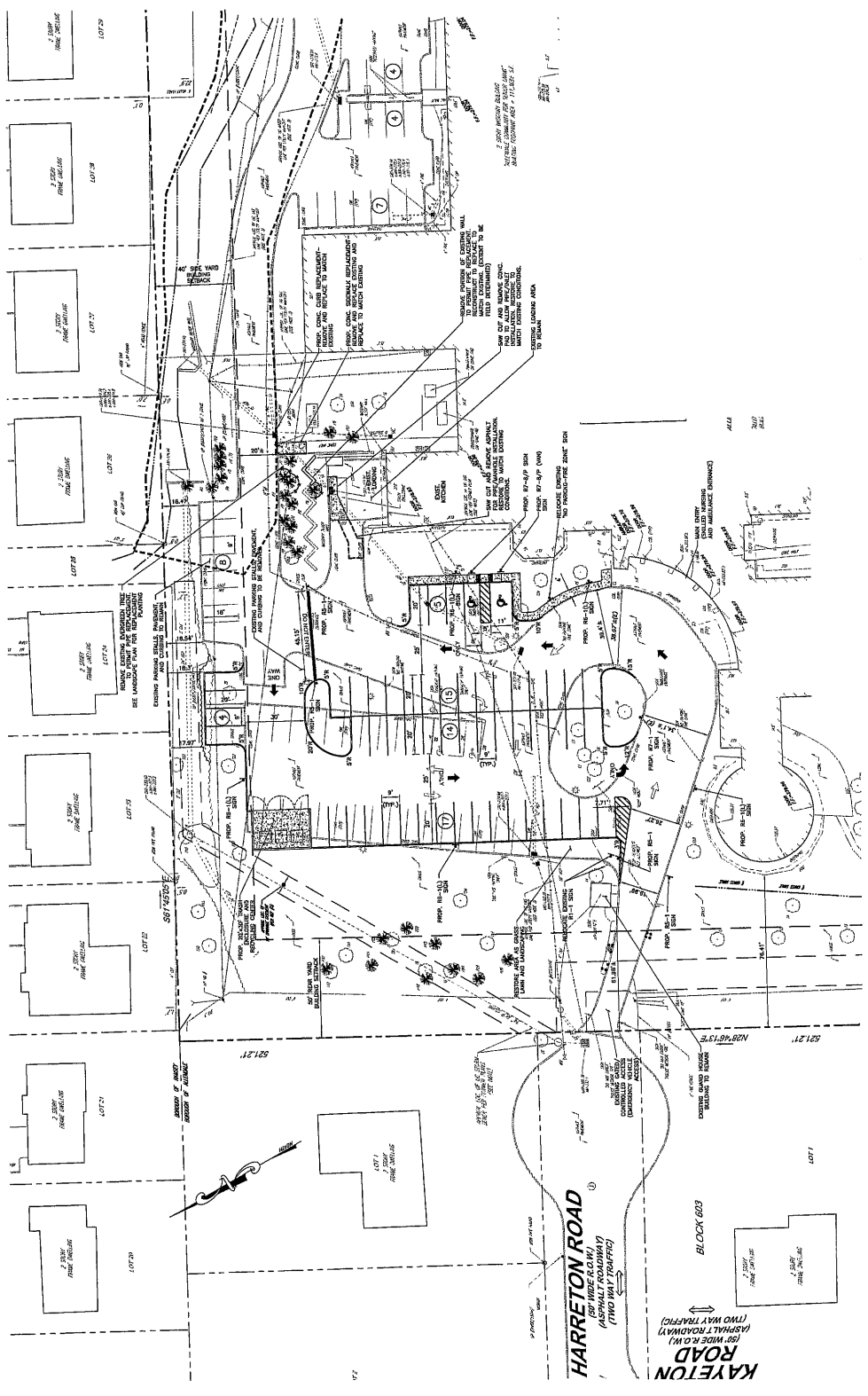
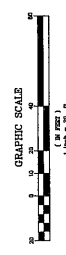
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2	REVISION TO ADD PARKING AND ACCESSORY BUILDINGS	10/1/10
3	REVISION TO ADD LANDSCAPE PLAN	10/1/10
4	REVISION TO ADD TRAFFIC STUDY	10/1/10
5	REVISION TO ADD UTILITIES PLAN	10/1/10
6	REVISION TO ADD EROSION CONTROL PLAN	10/1/10
7	REVISION TO ADD FLOOD HAZARD STUDY	10/1/10
8	REVISION TO ADD HISTORIC PRESERVATION STUDY	10/1/10
9	REVISION TO ADD ENVIRONMENTAL IMPACT STATEMENT	10/1/10
10	REVISION TO ADD PUBLIC PARTICIPATION REPORT	10/1/10
11	REVISION TO ADD FINAL REPORT	10/1/10

PROPOSED BUILDING ADDITION
&
AND PARKING MODIFICATIONS
AT
ALLENDALE SENIOR LIVING
85 HARRETON ROAD -
BLOCK 601, LOT 7
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.

JEFFERS
ENGINEERING
ASSOCIATES, LLC
10000 ROUTE 1
BUNGEVILLE, NJ 07001
TEL: 908.234.1234
FAX: 908.234.1235
WWW.JEPPERS-ENGINEERING.COM

THOMAS J. JEFFERS, P.E., C.E., C.O.D.
REGISTERED PROFESSIONAL ENGINEER
IN THE STATE OF NEW JERSEY
NO. 123456789
EXPIRATION DATE 12/31/2015

C-2.1
SITE PLAN
(ENLARGED)



NOTES:
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Know what's below
Call before you dig
800-4-A-DAWG
www.4adawg.com

REVISION

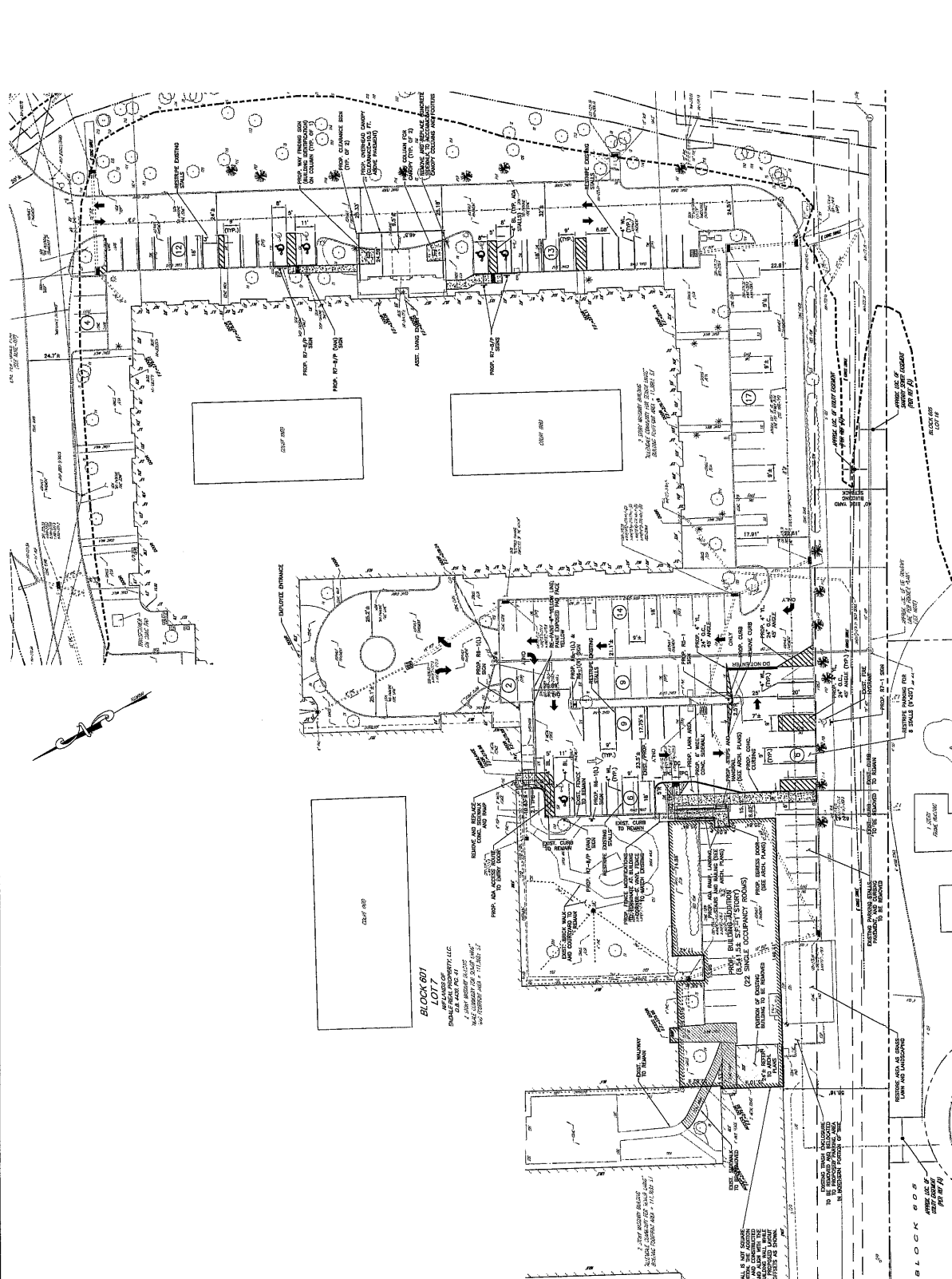
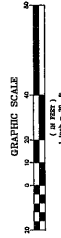
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PROPOSED BUILDING ADDITION
AND PARKING MODIFICATIONS
AT ALLENDALE SENIOR LIVING
&
ALLENDALE REHABILITATION AND HEALTHCARE
85 HARKETON ROAD
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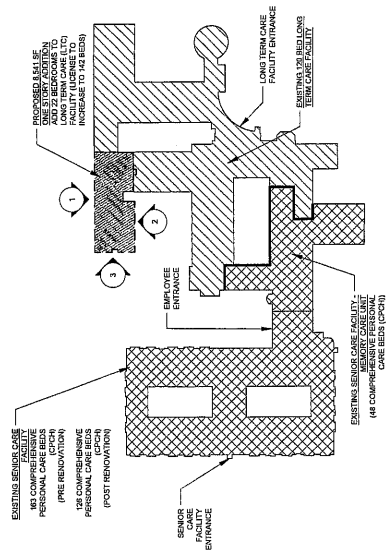
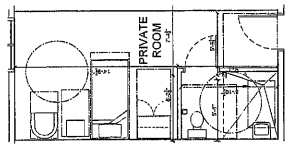
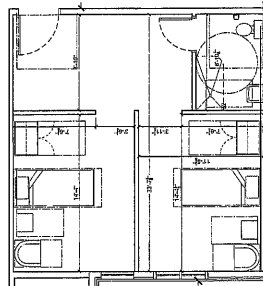
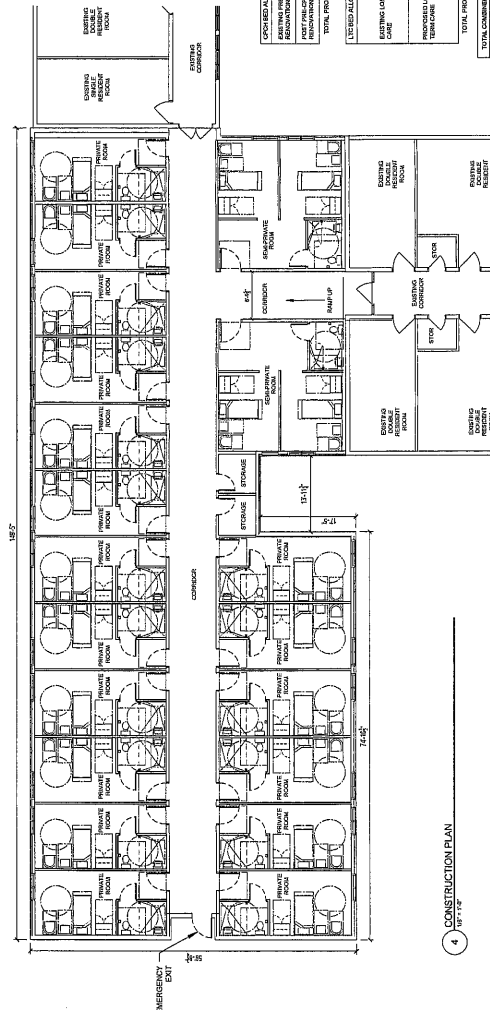
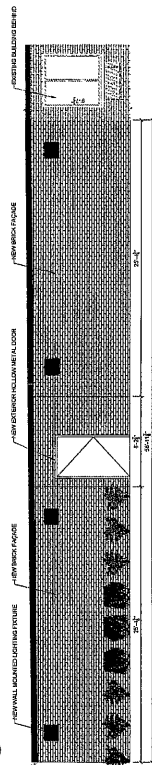
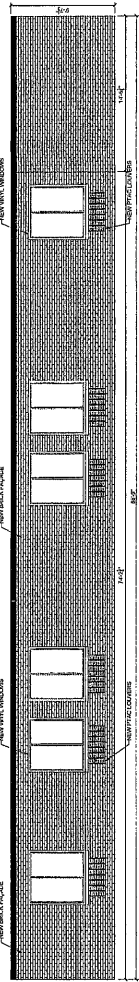
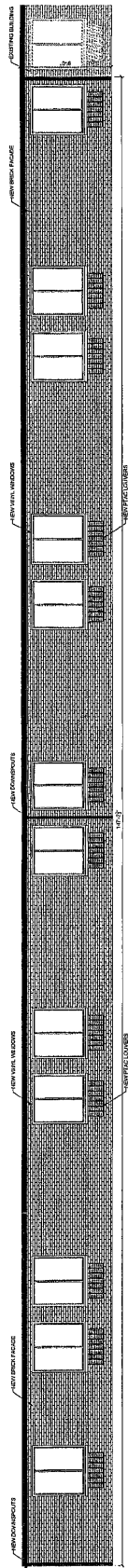
JEFFERS
ENGINEERING
ASSOCIATES, LLC
1000 ROUTE 100
SUITE 200
ALLENDALE, N.J. 07009
PHONE: 201-938-7000
FAX: 201-938-7001
WWW.JEPPERS-ENGINEERING.COM

STATE OF NEW JERSEY
DEPARTMENT OF TREASURY
DIVISION OF REVENUE
OFFICE OF TAX SERVICES
1000 BANKERS BUILDING
NEWARK, N.J. 07102
PHONE: 973-486-2000
FAX: 973-486-2001
WWW.DOR.NJ.GOV

C-2.2
SITE PLAN
(ENLARGED)



BLOCK 601
LOT 7
ALLENDALE SENIOR LIVING
&
ALLENDALE REHABILITATION AND HEALTHCARE
85 HARKETON ROAD
BLOCK 601, LOT 7
BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.



CPCB BED ALLOCATION TABLE	
EXISTING FIRE CPCB RENOVATION	311 CPCB BEDS
POST FIRE CPCB RENOVATION	174 CPCB BEDS
TOTAL PROPOSED:	174 CPCB BEDS

LTC BED ALLOCATION TABLE	
EXISTING LONG TERM CARE	130 BEDS
PROPOSED LONG TERM CARE	(1) 1 BED ROOMS (2) 3 BED ROOMS (3) 4 BED ROOMS
TOTAL PROPOSED:	142 LTC BEDS

**ALLENDALE REHABILITATION
AND HEALTHCARE CENTER**
85 HARRETTON ROAD
ALLENDALE, NJ 07401

BROMMER
ARCHITECTS

775 ELECTRONIC DRIVE, SUITE 115, OAKLAND, CA 94612
916.861.4070

DCA NO.	DATE.	02-14-2013
	DISAPEN BY	RM/NJP
	DCASH NO	21-0148
	FLOOR PLAN AND ELEVATIONS	

[illegible]

CLIENT

**ALLENDALE REHABILITATION
AND HEALTHCARE CENTER**
85 HARRETTON ROAD
ALLENDALE, NJ 07401

Downloaded At: 11:53 11 September 2009

**BROMMIER
ARCHITECTS**

795 ELECTRONIC DRIVE, SUITE 100, WILSONVILLE, OR 97150
P. 503.264.8070

11

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Tri-State Traffic Data, Inc.

610-466-1469

TSTDData.com

Road: Allendale Rehab Driveway
 Location: 115 ft W of Acura Driveway
 Counter: 40579

Site Code: 1

Station ID:

A to B EB

Latitude: 41° 2.6750 North

Longitude: 74° 7.0213 West

Start Time	Monday, July 31, 2023	Tuesday, August 1, 2023	Wednesday, August 2, 2023	Thursday, August 3, 2023	Friday, August 4, 2023	Saturday, August 5, 2023	Sunday, August 6, 2023	Week Average
	EB	EB	EB	EB	EB	EB	EB	EB
	WB	WB	WB	WB	WB	WB	WB	WB
12:00 AM	*	1	1	7	2	2	1	2
01:00	*	1	1	0	0	0	0	0
02:00	*	2	0	1	1	0	0	1
03:00	*	1	0	0	0	1	0	0
04:00	*	0	0	1	0	0	0	0
05:00	*	1	3	2	3	2	1	2
06:00	*	3	3	9	3	5	3	4
07:00	*	12	17	14	18	13	11	14
08:00	*	7	8	9	5	6	6	7
09:00	*	11	8	8	8	4	5	7
10:00	*	21	12	13	10	6	10	12
11:00	21	17	23	13	20	13	8	16
12:00 PM	20	22	19	21	22	14	14	19
01:00	20	17	20	32	16	10	21	17
02:00	22	28	33	25	23	18	23	20
03:00	37	33	27	40	47	28	24	25
04:00	24	30	28	29	23	10	30	19
05:00	27	33	37	39	32	13	9	27
06:00	12	17	13	19	18	12	9	14
07:00	26	14	21	15	14	5	14	16
08:00	16	8	13	11	7	15	5	11
09:00	3	4	2	6	6	3	2	3
10:00	5	9	1	6	5	3	3	5
11:00	18	18	20	17	11	16	12	16
Total	251	315	310	335	294	199	211	280
Day	425	627	622	666	584	393	418	557
AM Peak	11:00	10:00	11:00	10:00	11:00	07:00	07:00	11:00
Vol.	21	21	23	15	20	13	11	16
PM Peak	15:00	15:00	17:00	15:00	15:00	15:00	16:00	15:00
Vol.	37	33	37	40	47	28	30	34

Tri-State Traffic Data, Inc.
610-466-1469
TSTData.com

Road: Allendale Rehab Driveway
Location: 115 ft W of Acura Driveway
Counter: 40579

Site Code: 1
Station ID:
A to B EB
Latitude: 41° 2.6750 North
Longitude: 74° 7.0213 West

Start Time	Monday, August 7, 2023		Tuesday, August 8, 2023		Wednesday, August 9, 2023		Thursday, August 10, 2023		Friday, August 11, 2023		Saturday, August 12, 2023		Sunday, August 13, 2023		Week Average	
	EB	WB	EB	WB	EB	WB	EB	WB	EB	WB	EB	WB	EB	WB	EB	WB
12:00 AM	1	1	3	1	3	1	5	2	*	*	*	*	*	*	3	1
01:00	0	0	0	0	1	1	0	0	*	*	*	*	*	*	0	0
02:00	1	1	1	1	0	0	0	0	*	*	*	*	*	*	0	0
03:00	0	0	1	1	0	0	0	0	*	*	*	*	*	*	0	0
04:00	0	2	0	2	0	2	0	2	*	*	*	*	*	*	0	2
05:00	2	7	0	7	4	11	3	7	*	*	*	*	*	*	2	8
06:00	9	17	7	21	6	16	6	24	*	*	*	*	*	*	7	20
07:00	10	32	18	38	12	26	17	40	*	*	*	*	*	*	14	34
08:00	7	26	8	31	5	26	12	34	*	*	*	*	*	*	8	29
09:00	6	26	11	27	4	26	*	*	*	*	*	*	*	*	7	26
10:00	12	11	11	12	11	16	*	*	*	*	*	*	*	*	11	13
11:00	14	18	19	30	20	14	*	*	*	*	*	*	*	*	18	21
12:00 PM	16	27	27	28	14	21	*	*	*	*	*	*	*	*	19	25
01:00	26	18	32	23	20	21	*	*	*	*	*	*	*	*	26	21
02:00	25	24	23	26	33	26	*	*	*	*	*	*	*	*	27	25
03:00	40	26	34	24	37	19	*	*	*	*	*	*	*	*	37	23
04:00	23	9	32	14	23	13	*	*	*	*	*	*	*	*	26	12
05:00	27	9	30	5	25	8	*	*	*	*	*	*	*	*	27	7
06:00	10	6	20	14	11	8	*	*	*	*	*	*	*	*	14	9
07:00	19	4	12	5	18	8	*	*	*	*	*	*	*	*	16	6
08:00	11	2	9	0	11	2	*	*	*	*	*	*	*	*	10	1
09:00	1	1	8	1	2	1	*	*	*	*	*	*	*	*	4	1
10:00	6	6	5	8	5	8	*	*	*	*	*	*	*	*	5	7
11:00	14	7	18	7	15	9	*	*	*	*	*	*	*	*	16	8
Total Day	280	280	329	326	280	283	43	109	0	0	0	0	0	0	297	299
AM Peak Vol.	11:00 14	07:00 32	11:00 19	07:00 38	11:00 20	07:00 26	07:00 17	07:00 40	-	-	-	-	-	-	11:00 18	07:00 34
PM Peak Vol.	15:00 40	12:00 27	15:00 34	12:00 28	15:00 37	14:00 26	-	-	-	-	-	-	-	-	15:00 37	12:00 25

Comb. Total	985	1282	1185	818	584	393	418	1153
ADT	ADT 572	AADT 572						

Date: Saturday August 12, 2023

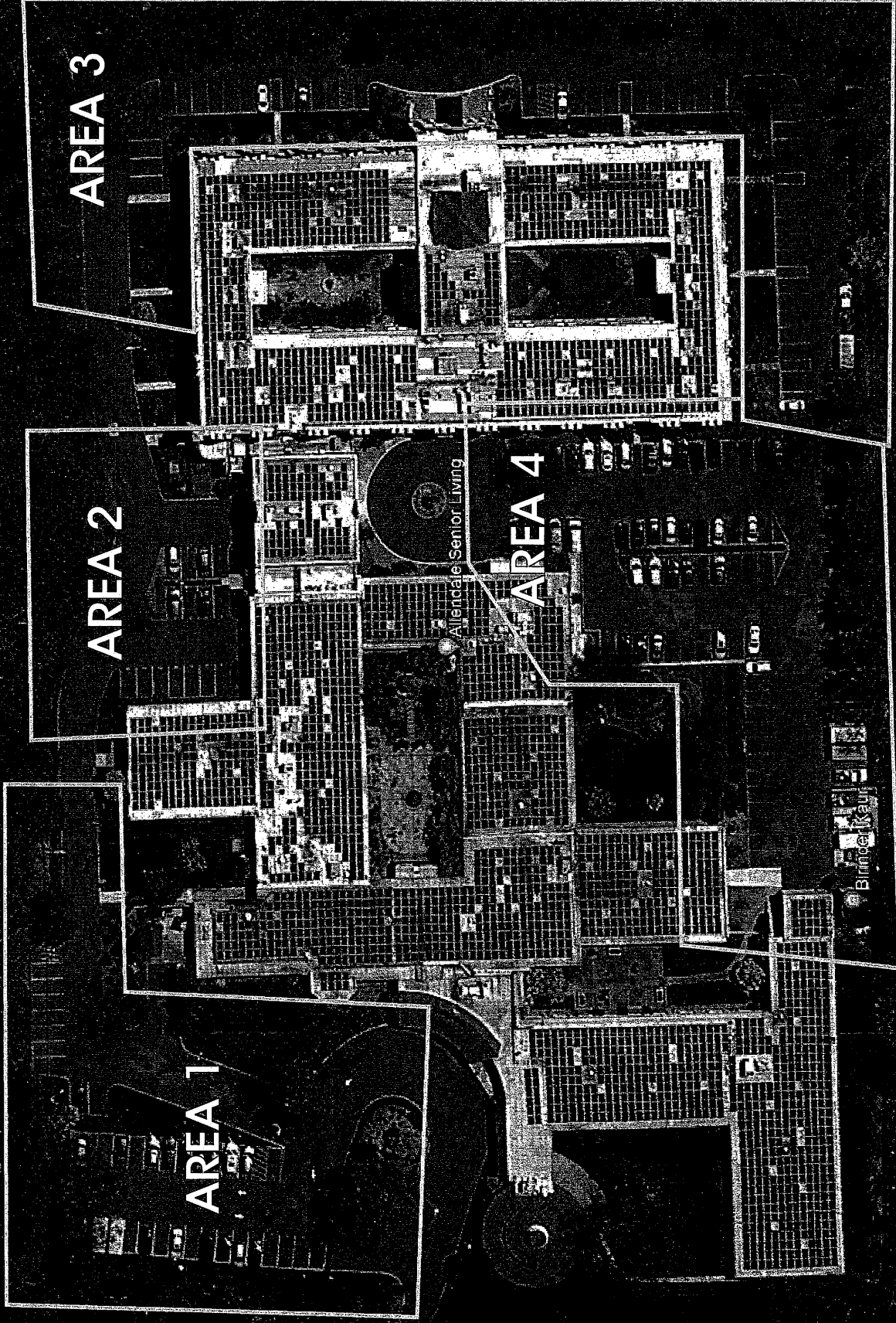
[illegible]

Date: Monday August 14, 2023

[illegible]

Write a description for your map.

Allendale Senior Liv
Birinder Kaur



Google Earth

MRA JOB 23-223 ALLENDALE REHAB PARKING
ALLENDALE BOROUGH, BERGEN COUNTY

ALLENDALE LAND USE BOARD
APPLICATION CHECK LIST

NAME **Kenneth Magro** BLOCK **101** LOT **7**

ADDRESS **345 Hillside Ave, Allendale, NJ 07401**

ZONE TYPE OF VARIANCE **Driveway greater than 35'**

BRIEF DESCRIPTION OF APPLICATION **Remove and replace existing driveway
and add 456 sq feet additional paved area**

SPECIFIC VARIANCE(S) REQUIRED

Proposed footprint will exceed 35' width in one area

ADMINISTRATIVE REQUIREMENTS	STATUS
-----------------------------	--------

- | | |
|---------------------------------|-------|
| 1. Application form complete | _____ |
| 2. Fee paid | _____ |
| 3. Denial by Building Inspector | _____ |
| 4. Affidavit of Service | _____ |
| 5. Proof of Publication | _____ |
| 6. Taxes Current | _____ |
| 7. Plot Plan | _____ |
| 8. Maps | _____ |
| 9. Photographs | _____ |
| 10. Email address | _____ |
| 11. Miscellaneous | _____ |

Date

Applicant's Signature

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of **Kenneth Magro**
shows that on or about the **17th** day of **April**, 20**24**
an application to the Zoning Official for the purpose of (describe intended
action) **Remove and replace driveway, expanding the footprint in one area**
to 50' wide. 456 sq ft of additional paved area is proposed.

on the premises located at (street address) **345 Hillside Ave, Allendale, NJ 07401**
Block **101** Lot **7**

as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that
after due consideration the Zoning Enforcement Officer did on the **17th** day of **April**, 20**24**
decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement
Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of
appeal with said Officer, together with the required fee of **\$500**, and requests that
action of the Zoning Enforcement Officer be reversed or modified as the facts may be
determined, and applicant further requests that a day be fixed for hearing on this appeal and
states that the proper notice will be given to all owners of property situated within two hundred
(200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

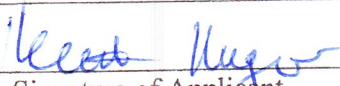
TO THE LAND USE BOARD:

An application is hereby made for a (**Hardship**) (Floor Area Ratio) (Use) variance from the terms
of Article(s) and Section(s) _____

_____ of the Zoning Ordinance so as to
permit **a portion of the driveway to exceed 35' to allow cars to turn around**
in the driveway to avoid needing to backing out onto Hillside Ave.

*** Please see additional hardship pages included in the package**

X


Signature of Applicant

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 7 Block(s) 101
Street Address 345 Hillside Ave, Allendale, NJ 07401
Applicant Kenneth Magro Address Same
Owner Kenneth & Joyce Magro Address 345 Hillside Ave, Allendale, NJ 07401
Lessee N/A Address _____
Last Previous Occupancy _____
Size of Lot .682 acre
Floor area ratio calculation _____
Percentage of lot occupied by building(s) 5.1%
Height of building(s) _____ stories _____ feet _____
Set back from front property line _____ ft. From side (if corner lot) _____ ft.
Zoning requirements – Frontage _____, side yards _____, set-back _____, rear yard _____
“Prevailing set-back” of adjoining buildings within one block _____
Has there been any previous appeal involving these premises? No
If so, state character of appeal and date of disposition _____

Proposed use: Remove, replace driveway, propose expanding by 456 sq ft
A portion of which will exceed 35' wide

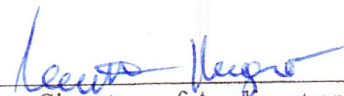
This application for a use variance includes an application for subdivision N/A, site plan N/A, conditional use N/A approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) Fifteen (15) copies of all application documents
- (c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified “location map” and clearly indicate such buildings and their approximate location, together with “prevailing set-back” dimensions.
- (d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

Date: **X** 3/27/24

X 
Signature of Applicant or Agent

BOROUGH OF ALLENDALE

LAND USE BOARD

DATE _____

NOTICE OF HEARING TO PROPERTY OWNERS

(Cross out inapplicable sections)

TO WHOM IT MAY CONCERN:

In compliance with the Zoning Ordinance of the Borough of Allendale, NJ, notice is hereby served upon you to the effect that (I) (We) **Kenneth & Joyce Magro** hereby propose to (give detailed information) **Remove and replace driveway expanding the paved area by 456 sq ft adding room for cars to turn around**

Location **345 Hillside Ave, Allendale, NJ 07401**

The Zoning Officer of the Borough of Allendale, Bergen County, New Jersey, refused this request by reason of its being in violation of Section **Code is for maximum driveway width of 35'**

of the Zoning Ordinance, from which decision (I) (We) hereby appeal. (I)(We) have applied to the Land Use Board for a (hardship), (floor area ratio), (use) variance, (together with subdivision _____, site plan _____, conditional use _____ approval), and from any other variances or waivers that the Board may deem necessary.

Any person or persons affected by this (appeal) (application) may have an opportunity to be heard at the meeting to be held **April 17th**, 20 **24** at 7:30pm in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401.

All documents relating to this application may be inspected by the public between the hours of 9 a.m. and 4:30 p.m. in the office of the Borough Clerk in the Allendale Municipal Building, 500 West Crescent Avenue, Allendale, New Jersey 07401.

x Kenneth Magro
Signature

Note: This Notice must be personally Served or sent by certified or registered mail at least 10 days before the day of the hearing, and proof of service given to the Land Use Administrator.

AFFADAVIT OF PROOF OF SERVICE

LAND USE BOARD

OF

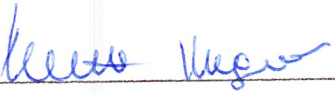
BOROUGH OF ALLENDALE

PROOF OF SERVICE OF NOTICES REQUESTED BY STATUTE MUST BE
FILED AND VERIFIED WITH BOARD SECRETARY AT LEAST 10 DAYS PRIOR TO MEETING
OR CASE WILL NOT BE HEARD.

STATE OF NEW JERSEY)

COUNTY OF BERGEN) SS.

Kenneth Magro, of full age, being duly sworn according to law, deposes and
says, that (s)he resides at **345 Hillside Ave** in the municipality
of **Allendale**, County of **Bergen**, and State of **New Jersey**,
and that (s)he is (are) the applicant(s) in a proceeding before the Land Use Board of Allendale, New
Jersey, being an appeal or application under the Zoning Ordinance, which relates to premises at
345 Hillside Ave, Allendale, NJ, and that on _____, 20____ (s)he gave written
notice of the hearing on this application to each and all of the persons upon whom service must be made,
in the required form and according to the attached lists, and in the manner indicated thereon.

x 
Applicant's Signature

Sworn to and subscribed before me
this **17th** day of **April**,
20**24**.

NOTICE TO APPLICANT: Attach list of all persons served.

NEWSPAPER NOTICE

LAND USE BOARD
BOROUGH OF ALLENDALE
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Land Use Board of the Borough of Allendale will hold a public hearing on **April 17th**, 20**24**, at 7:30 p.m. in the Allendale Municipal Building, 500

West Crescent Avenue, 2nd Floor, Allendale, New Jersey 07401 on the application of **Kenneth & Joyce Magro** (Applicant) at

345 Hillside Ave, Allendale, NJ 07401 (Address)

Block No. **101**, Lot No. **7** for a (**hardship**, floor area ratio, use) variance from Section _____

_____ of the zoning ordinance of the Borough of Allendale, and for any other variances or waivers that the Board may deem necessary, for the purpose of _____

Removing, replacing and expanding driveway adding an additional proposed

456st feet of paved area, with one portion expanded to 50' wide.

See included hardship attachments including photos

Name and Address of Applicant
Kenneth Magro
345 Hillside Ave, Allendale NJ

Sample Legal Notice

To be published in *The Record* or *The Ridgewood News* at least ten (10) days prior to the scheduled hearing date.

Original notice cut from newspaper must be given to Board Secretary along with all forms.

Hardship Explanation / Driveway Variance Application for 345 Hillside Ave, Allendale

Homeowners: Ken & Joyce Magro / Land Use Board Meeting 4/17/24

Why are we applying for this variance to exceed the 35' Width?

Ultimately it is a safety issue

- **Topology and Safety Challenges:** (see photos)
 - County Road 85 aka: Hillside Avenue is a busy “double yellow line” County Road
 - Our house is just beyond a blind curve near the intersection of Hillside Ave and Linda Drive
 - There are four vehicles in our household; 2 parked in garage and 2 in the driveway (see photos)
 - To exit our driveway, we either need to turn around in the driveway or back out onto Hillside Ave a safety issue
 - With the 35' width restriction it is difficult for any of the 4 cars to turn around to exit; it is also a challenge for the garaged cars to exit / enter the garage with the two other cars in the driveway near the garage (see photos)
- **Traffic Safety:** On days when Northern Highlands is in session, at ~2:45 pm, **14-16 busses** exit the East Elbrook rear entrance, turn left and pass our house where it's not uncommon for the them to back up from the Forest Road traffic light beyond our house. It is virtually impossible to back out of driveway especially if we want to head north on Hillside Ave towards Ramsey. This is made more dangerous when students or parents exit the school's front entrance and turn north, passing our house in the opposite direction sometimes at high speed. (Think of the classic arcade game Frogger!)
- **Limited sightlines backing out due to elevation and fence:** (see photos) The driveway has an approximate 4 foot elevation change

rising towards the apron along with a PVC fence on both sides of the apron. This also significantly impedes sightlines when backing out. (see photos)

- **Stopgap measures:**

- As a stopgap we added an area of crushed stone (see photos) with the expectation that when we replaced our driveway, part of the crushed stone area would be replaced with asphalt
- The crushed stone is failing and visually seems out of place with other homes / landscapes in the area (weeds, aging railroad ties, mismatched stone)
- In warm summer months the stones stick to car tires and end up scattered up and down the driveway
- In winter months, using a snowblower or shovels on the crushed stone is a challenge and potentially dangerous

- **Other Factors:**

- **First Responder:** We have a first responder in the house who can be called in to work at any hour for emergencies; being able to exit the driveway quickly and safely is paramount
- **Mitigation:** The home at 365 Hillside is closest to our proposed expansion. They have just one set of windows on that side of the house and have a 3' elevation advantage, a berm and 14 Green Giant arborvitae (currently ~ 8-10' tall) planted as a screen to most of our driveway area



Backing out onto Hillside Ave is a safety hazard.



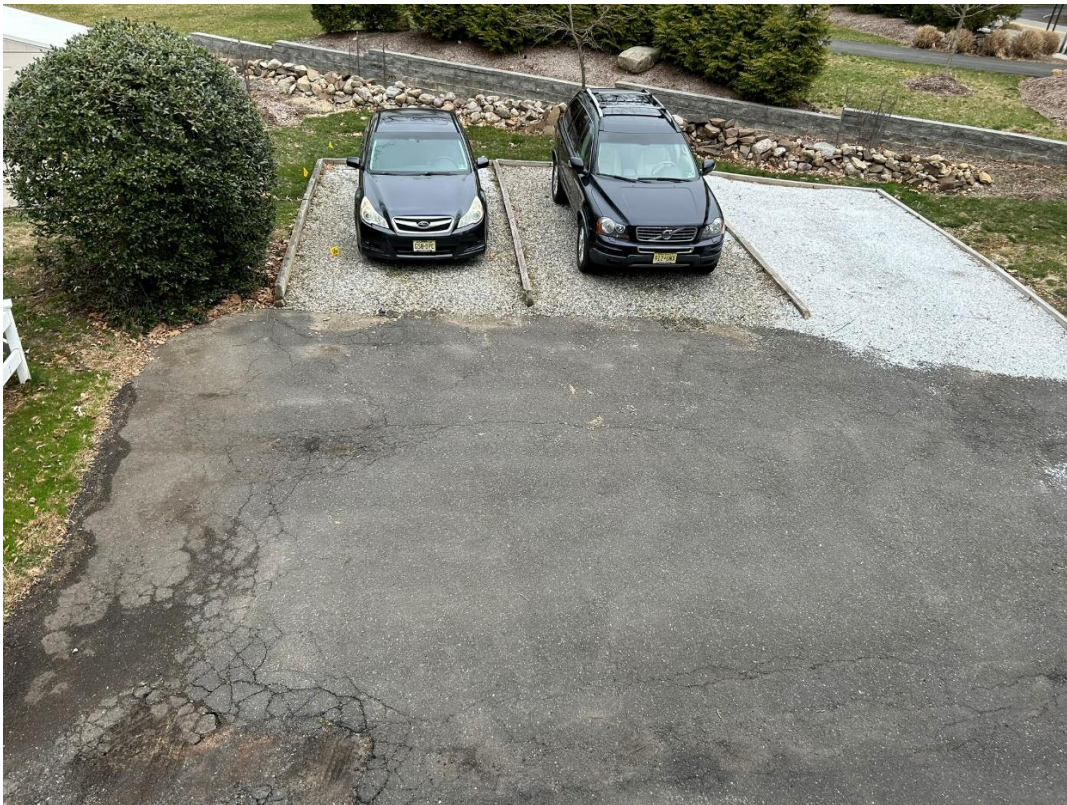
We have 4 cars, two garaged and two in the driveway. It is a challenge for any of the cars to turn around to avoid having to back out onto County Road 85 aka: Hillside Ave



Also with 2 cars parked in the narrow driveway it is a challenge for the garaged cars to pull into or out of the garage.

To mitigate the safety issues, as a temporary solution until it was time to replace the entire driveway, we added a gravel area. That area is deteriorating, is not visually appealing, is difficult for snow removal and in hot weather gravel sticks to car tires and scatter up and down the paved area.

We are proposing removing the entire gravel area and paving only the area where the two cars are shown in this photo. The rest of the gravel area (where the mismatched white gravel currently seen) will be replaced with turf grass and landscaping. (See the site survey)





There is a change of grade at the top of the driveway to the bottom.



If forced to back out onto Hillside Avenue the grade and the fence on both sides of the apron limit the field of view of oncoming traffic creating a safety hazard.



These photos are taken from the side yard of 365 Hillside Ave, the property immediately north of our house at 345 Hillside. The photos are looking south into the driveway area where the expansion is proposed.

As you can see there is ample screening including ~14 Green Giant aborvatae trees planted on top of a berm. And the entire property at 365 is elevated approximately 3 feet above our property at 345.

The end result is plenty of screening should there be concerns about the view.



k_magz@hotmail.com

From: Do Not Reply <noreply@govpilot.com>
Sent: Monday, October 16, 2023 7:25 AM
To: amaccbros@yahoo.com; kmagro@outlook.com
Subject: Status: Driveway Zoning Permit



**Borough of Allendale
Driveway Zoning Permit**

Reference # DZ-2023-00019

Application Date: 10/3/2023 10:08:00 AM

Dear A. Macchione Brothers, Inc,

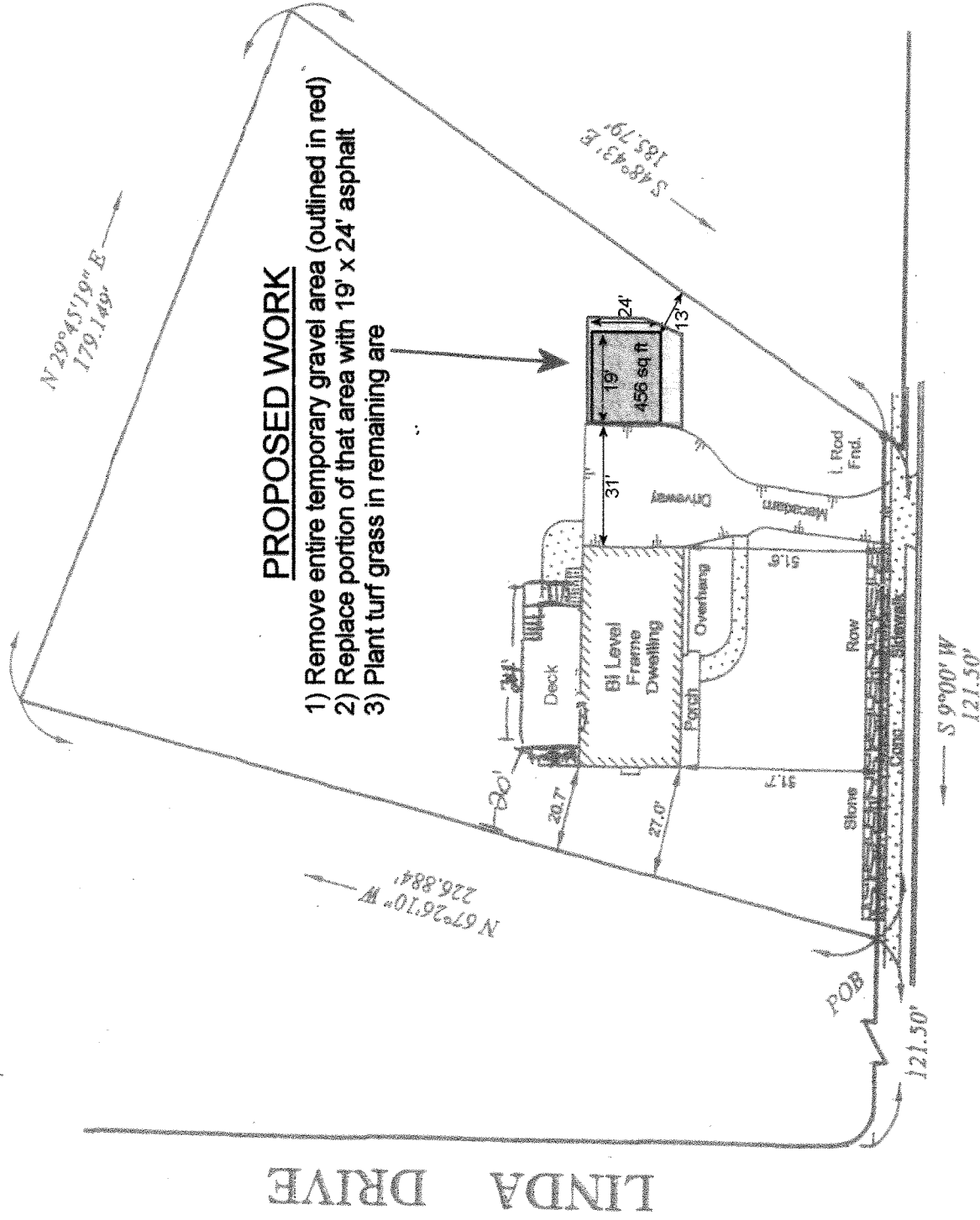
Your Driveway Zoning Permit has been denied.

No further action is required.

This is an automated email notification, please do not reply. If you have any questions about your application please call us on (201) 818-4400 ext. 201 and quote the reference number stated above.

Sincerely,

Anthony Hackett
Building Department



Subject to encumbrances and restrictions that affect subject property. Boundary lines are to be determined by corner markers as set only. Certificates are not transferable to subsequent owners or additional institutions. Underground utilities, if any, are not shown hereon. Pursuant to N.J.A.C. 13-40.5.1(g), the ultimate user has directed that corner markers not be set. Subject to an accurate title search.

		CERTIFIED TO
Kenneth Margolis and Joyce Margo, h/w ; World Savings, its successors and/or assigns ; Fidelity National Title Insurance Company of New York Superior Title Services, Inc. ; STS - 3370 Alfred A. Siss, Jr., Esq.		
WELLS ASSOCIATES LAND SURVEYING 15 Walker Drive, Ringwood, N.J. 07456 Tel. (973) 962-1444		
ARTHUR J. WELLS, Professional Land Surveyor No. _____ License No. 31184		
May 9, 2012		

March 26, 2024
09:39 AM

Borough of Allendale
Tax Account Detail Inquiry

Page No: 1

BLQ: 101. 7. Tax Year: 2024 to 2024
Owner Name: MAGRO, JOYCE & KENNETH Property Location: 345 HILLSIDE AVE

Tax Year: 2024		Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:		3,556.89	3,556.88	0.00	0.00	7,113.77
Payments:		3,556.89	0.00	0.00	0.00	3,556.89
Balance:		0.00	3,556.88	0.00	0.00	3,556.88

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2024 Prin Balance
		Description								
		Original Billed								
01/22/24	1	Payment	001	23586	CK	10147	22 COUNTER	3,556.89	0.00	3,556.88
		23853								

Total Principal Balance for Tax Years in Range: 3,556.88

February 15th, 2024

Tyler Yaccarino
Councilman, Borough of Allendale
Chairman, Facilities/Parks/Recreation
tyleryaccarino@allendalenj.gov

RE: Crestwood Lake, Allendale, NJ 07401
New Proposal: Architectural & Engineering Services

Dear Mr. Yaccarino,

Thank you for the opportunity for Konstruct Engineering, PLLC (KONstruct) to submit a proposal to provide architectural and engineering services in relation to the proposed new concession stand located at Crestwood Lake, within Allendale, NJ. We are excited to be given this opportunity to continue with the project and be involved within our own community.

With expertise in architecture, engineering, and consulting services, you can be sure that KONstruct will work diligently on your proposed project. KONstruct takes a holistic approach by integrating design, engineering, and finances into our deliverables and methodology. Feel free to visit our website www.konstructae.com to learn more.

BACKGROUND & PROJECT UNDERSTANDING

Previously Konstruct provided services for Phase I of this project to determine a basis-of-design and programing requirements. The following is a summary of the approved design upon which the final architectural and engineering drawings will be derived from. During discussions, minor modifications to the programing were made to include the following not captured within the below images:

- Increase in footprint of concession stand via. reduction in footprint of the lifeguard room.
- Full window glazing at the life guard wall facing the lakefront
- Relocation of lifeguard access door to under the roof structure.
- Location of propane tanks adjacent to mechanical/storage room.
- Possible removal of exterior shower stall structure
- Possible inclusion of overhang structure

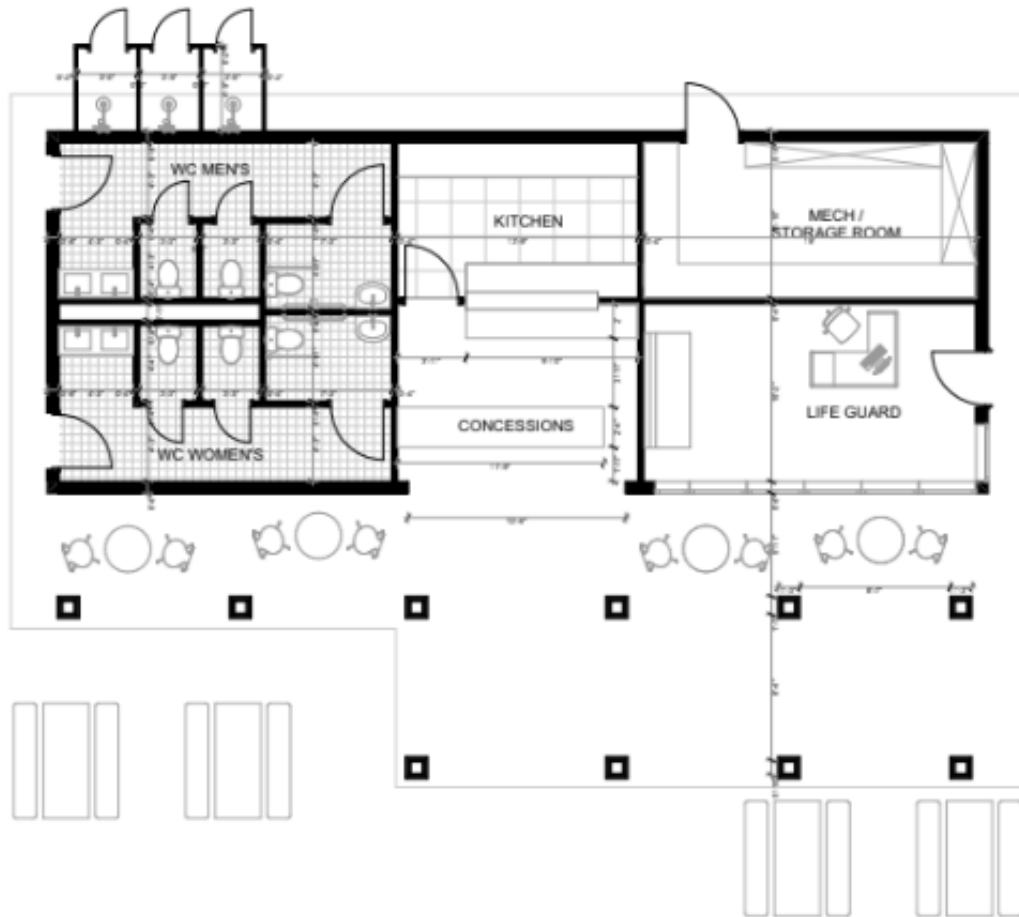


CONCEPT RENDERING



SCHEMATIC SITE PLAN

Plan Scale 3/16"



SCHEMATIC FLOOR PLAN

SCOPE OF WORK

PHASE II – DESIGN AND ENGINEERING, CONSTRUCTION DOCUMENTS

ARCHITECTURAL SCOPE OF WORK:

1. Administrative, construction notes & architectural specifications
2. Revised exterior & interior renderings of final building design
3. Selection of architectural finishes such as tile, paint, millwork, etc.
4. Finalization of architectural floor plans and layouts
5. Design cross sectional elevations
6. Design exterior elevations
7. Architectural sections and details
8. Identification of all required special inspections
9. COMcheck analysis for walls/floor/roof systems as required.
10. Interior & exterior lighting design inclusive of fixture selection
11. Drafting of plans, sections, details, notes, schedules for drawing set deliverable

MECHANICAL ENGINEERING SCOPE OF WORK:

1. Calculate the index and ventilation requirements
2. Load calculations
3. Design kitchen exhaust system
4. Design bathroom exhaust system
5. Design any required fresh-air-intake requirements.
6. Design cooling systems as needed.
7. Prescriptive energy compliance via Com-Check or similar means.
8. Identification of all required special inspections
9. Drafting of plans, sections, details, notes, schedules for drawing set deliverable

ELECTRICAL ENGINEERING SCOPE OF WORK:

1. Load calculation and analysis
2. Electrical infrastructure upgrades as needed (panels, feeders, conduits).
3. Power design, schedules, riser diagrams, etc.
4. Prescriptive energy compliance via Com-Check or similar means.
5. Drafting of plans, sections, details, notes, schedules for drawing set deliverable

PLUMBING ENGINEERING SCOPE OF WORK:

1. Design sanitary & ventilation plumbing system
2. Design hot & cold plumbing systems
3. Design storm water disposal system
4. Design of fire protection system as needed
5. Prescriptive energy compliance via Com-Check or similar means.
6. Documentation of riser diagrams as needed
7. Identification of all required special inspections
8. Drafting of plans, sections, details, notes, schedules for drawing set deliverable

STRUCTURAL & FOUNDATION ENGINEERING SCOPE OF WORK:

1. Gravity and lateral analysis inclusive of wind and seismic forces
2. Design load bearing partition walls as needed
3. Design reinforcement for load bearing partition walls as needed.
4. Design lintels for proposed windows, doors and wall openings.
5. Design floor & roof framing system
6. Design foundation system in conjunction with above grade structural system
7. Design footings & associated isolated foundation systems in association with structural system
8. Identification of all required special inspections
9. Drafting of plans, sections, details, notes, schedules for drawing set deliverable

CIVIL ENGINEERING SCOPE OF WORK:

1. Grading plans
2. Site plans
3. Design of any required stormwater management systems or evaluation of reuse of existing pending existing information obtained.
4. Identification of all required special inspections
5. Drafting of plans, sections, details, notes, schedules for drawing set deliverable

PHASE III - CONTRACT ADMINISTRATION SERVICES

1. Responding to Plan Examination comments and drawing revision for compliance.
2. Ownership review of drawings & associated page turns/design explanations
3. Coordination with ownership, and other cost estimation consultants, to help confirm systems and materials are properly reflected in the estimate.
4. Respond to contractor questions, and official RFI answers
5. Issue addenda and clarifications as required
6. Shop drawing and submittal review
7. Coordinate with awarded contractor on an as-needed basis
8. Monthly construction meetings via. virtual or phone methods.
9. Up to (5) in-person total meetings are included, inclusive of:
 - Review of drawings & associated page turns with design explanations
 - Project management meetings
 - construction site visits
10. Review of special inspection reports (by others if required) for project compliance and approval.
11. Punchlist documentation

ESTIMATED PROJECT TIMELINE

Konstruct requires a 30-day MINIMUM design timeline to produce signed and sealed drawing sets. For a project of this scale, the signed and sealed drawing set will be utilized for bidding, permitting, and construction purposes.

Sample Project Schedule

Allendale Municipal Meeting	2/22/2024
Estimated Contract Execution & Bid Advertising	3/1/2024
Signed & Sealed Permit/Bid/Construction Documents	4/1/2024
Start of Bidding Process	5/1/2024
Award of Contract	6/1/2024
Construction Start (estimated)	9/1/2024
Construction Completion (estimated)	4/1/2025
CofO	5/1/2025

COMPENSATION

Compensation to Konstruct Engineering, PLLC for the above services shall be on a fixed-fee basis of **TWENTY-FOUR THOUSAND FIVE HUNDRED DOLLARS (\$24,500.00)**, plus expenses as noted below. Billing shall be rendered either a milestone completion or monthly basis in conjunction with the level of work completed.

PROPOSED SERVICES (Milestone)	Fixed- Fee Amount	PAYMENT SCHEDULE
Retainer	\$ 5,000	Invoiced at signing of proposal
Design Development Set (progress set)	\$ 6,000	Invoiced at Progress Set deliverable.
100% Construction Set	\$ 6,000	Due at submission of Signed/Sealed drawings
Contract Administration (bidding)	\$ 1,500	Invoiced at Bid award
Contract Administration (construction)	\$ 6,000	Invoiced Monthly
Total Fixed-Fee	\$ 24,500	

Expenses	Cost + 5%	Due at Milestone Deliverable
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Payment is due within fourteen (14) days of date of invoice. If payment is not received within thirty (30) days of date of invoice, Konstruct Engineering, PLLC reserves the right to stop work. If payment is not received within thirty (30) days of date of invoice, Konstruct Engineering, PLLC reserves the right to charge the maximum state allotted interest on a monthly basis. This contract is not transferable without prior approval by KONstruct Engineering, PLLC. If transferred, all terms and conditions are subject to change.

ASSUMPTIONS, CLARIFICATIONS & EXCLUSIONS

1. Demolition drawings and scope of work to be provided by others. Owner to provide drawings to KONstruct once obtained.
2. Relocation of the existing volleyball court is not included within the scope of services of this proposal.
3. Kitchen and catering equipment shall be provided to Konstruct via. owner's kitchen consultant. Konstruct will coordinate with concession vendor is anticipated during the design process.
4. Owner to provide survey of property prior to start of Schematic Phase. Survey to include information, but not limited to: property boundaries, existing structure boundaries and dimensions, utility location, types, descriptions, etc. If a survey is not provided, KONstruct will locate the structure as best as possible but can not be responsible for any field deviations.
5. Geotechnical services are to be contracted directly between the owner and geotechnical engineer. Geotechnical investigations, borings, test-pits or subsurface exploration is not included within the proposed scope of work. It is recommended that Owner provide geotechnical engineering report to KONstruct prior to schematic phase. In the event that the Owner authorizes KONstruct to begin prior to providing the report, it shall be understood that any design changes, caused by new information obtained, shall not be the responsibility of KONstruct. If the report is provided after the approval of Design Development drawings, and significant work is required, KONstruct reserves the right to request additional service fees. If no report is provided, KONstruct reserves the right to design the foundation as see fit and can not be responsible for any future settlement issues.
6. All construction inspections inclusive of special inspections shall be completed by the building department or others. It is assumed that any required Third-Party Special Inspections required by the Building Code will be completed by an independent inspector provided by the owner.
7. Pre-construction surveys, if required, shall be provided by either the contractor or owner.

8. Additional renderings can be offered at a rate of \$500 per iteration.
9. Specifications shall be issued on the drawings.
10. Cabinetry design and documentation is excluded from the scope of work. We will show general layouts of kitchen design on plan. Final detailed design is assumed to be conducted by cabinet installer or owner's consultant. If required, KONstruct can provide this as an additional service.
11. Hydrant flow tests or similar tests to be provided by owner for KONstruct to obtain design pressure of water at street location. If hydrant flow tests are not provided, we will assume the incoming water supply can support the required demand pressure, all to be confirmed in the field at a future date during construction.
12. Site safety plans, demolition plans, and asbestos reports are all excluded from the scope of work and the responsibility of the owner if required.
13. Landscaping design is excluded from services and if required assumed to be by others.
14. Post-occupancy evaluation and reporting is excluded from services.
15. Any & all tenant related services and activities are excluded from services.
16. Telecommunications and data design are excluded from services.
17. Any and all building/system commissioning services are excluded from services.
18. Furniture, furnishings, and equipment design are excluded from services.
19. Multiple bid packages are excluded from services.
20. Gaseous fire protection systems are not anticipated and excluded from services.
21. Dimensionally coordinated mechanical/electrical/plumbing and/or shop drawings are the responsibility of the contractor.
22. Lighting photometric calculations for normal and emergency lighting is not anticipated and excluded from services.
23. Electrical utility application for new or upgraded service to property is excluded. It is anticipated at the existing power supply shall be reused.
24. Lighting dimming control systems are not anticipated and excluded from services.
25. AV/Security/Low voltage system design beyond feeder to main system panel is not anticipated and excluded from services.
26. Sustainable Project Services including but not limited to LEED, WELL, etc. certifications are excluded from services.
27. As-Built Record documentation is not included within the scope of work. It is assumed the contractor will provide electronic as-built documents for our review and approval. If this service is to be required, a separate proposal for services can be provided upon ownership request.
28. Any required test-pits or investigative/exploratory removal services are to be provided by others.
29. All approvals from utility companies to be conducted by owner. KONstruct will provide owner with requested information as needed.
30. KONstruct shall not be responsible for contractor means and methods or job site safety.
31. Vibration, Optical, and Crack monitoring of adjacent buildings are not included and shall be provided by the owner at the owner's expense if required.
32. All construction work or construction site supervision is excluded from KONstruct's scope of work and responsibility.
33. All expediting on behalf of plumbing contractors, electrical contractors and other related contractors are excluded from the scope of work.
34. Any work stoppage caused by the contractor shall be the owners responsibility. The owner shall be responsible for rectifying any non-compliance to complying condition and receive approvals to restart work.
35. After Hour Work Variance Permit and applications to be done by others.

36. Cost estimating services are not included. We will coordinate with an owner-appointed cost estimator to help make sure scope items are properly reflected in the cost estimate.
37. Additional construction site visits beyond those quantified above are not included – KONstruct can perform additional visits as requested at a rate of \$ 500.00 per man visit.
38. The owner/contractor to notify KONstruct of any discrepancies in the plans, including field conditions, construction details, and or specifications prior to the commencement of any work.
39. The building shall be sufficiently braced at all times during the course of construction to satisfy rain, snow, construction live loads, live loads, and seismic or wind loads.
40. The contractor shall monitor all excavation and adhere to required safety and construction standards.
41. This contract excludes any and all required site safety requirements, as they are provided by others.
42. Any and all environmental engineering or filing are specifically excluded from the scope of work.
43. E-designation removal (Phase I & Phase II) are excluded from the scope of work.
44. It is assumed that the property is not within a flood plain. If so, KONstruct reserves the right to renegotiate fees.
45. Relocation and/or removal of hydrant, utility poles, etc. are not included in the scope of work.
46. Energy analysis shall be completed via COMcheck, or tabular methods. Energy modeling in alternative forms are excluded from the scope of work.
47. Exterior wall systems beyond load bearing or non-load bearing window wall systems are not included in the scope of work. This project specifically excludes curtain wall or intricate façade designs.
48. Pre-Engineered systems such as curtain walls, concrete pan steel riser stair designs, or prefabricated handrails will be designed by the contractor's engineer based on performance requirements provided in the contract documents.
49. Fast-track/early issue of foundation and framing plans, if needed, can be provided as an additional service.
50. The entire project is to be documented in AutoCAD and/or Revit software at KONstruct's sole direction. Drawings and deliverables will be in black & white, two-dimensional (2D) format.
51. KONstruct is not responsible for filing documents with any municipal agencies. KONstruct will coordinate and complete forms as provided by client to help assist client in obtaining necessary completed forms required for filing.
52. All municipal agencies, utility fees, building department, etc. and agency filings fees, permit fees, microfilm fees, etc. to be paid by owner.
53. All Landmark or historic filings are specifically excluded from this proposal.
54. All DOB, Fire Department, DEP, and or other government agencies Filing Fees are to be prepared/paid by others.
55. Any Parks department filing is to be by others.
56. All filing with Department of Transportation is excluded from the scope of work.
57. Attendance at any municipality meeting including but not limited to planning board, etc. are assumed to be conducted by the client/owner and are excluded from the scope of work. If required, KONstruct can provide additional services to attend such meetings at a fixed-fee of \$1,000 per meeting.
58. Mailing, couriers, blueprinting, printing, duplication, and other administrative expenses to be invoiced separately at cost + 5% administration and handling fee.
59. All deliverables assumed to be PDF electronic files. Any printing is excluded, but can be billed at cost + 5% administrative and handling fee.
60. All work not included within the scope of work is specifically excluded.

61. Proposal pricing valid for 30 days from proposal date.
62. Additional work for significant changes after approval of the Design Development drawings is not included, but can be provided as an additional service.
63. This contract in no way represents a guarantee of success or approval of the application being filed or approved by the governing municipality. KONstruct will work diligently with the owner to obtain approval but can not be held responsibility for revisions or delays initiated or caused by the approving municipal agency.
64. This contract in no way represents a schedule or time of how long it takes to prepare this application or when and if it may be approved by the authority having jurisdiction.
65. This contract is not transferable without prior approval by KONstruct Engineering, PLLC. If transferred, all terms and conditions are subject to change.
66. KONstruct reserves the right to subcontract any and all portions of this contract.
67. KONstruct reserves the right to photograph construction for internal purposes including but not limited to marketing, business development, archiving, record keeping, etc.
68. Assistance with construction lender documentation and filing is excluded within this proposal.
69. Assistance with creating and completing AIA contracts not included within scope of work.

AUTHORIZATION TO PROCEED AND CONTRACT EXECUTION

Thank you for the opportunity to offer our services. If you concur with the above, please sign a copy of this letter and return it to our office. This letter will then constitute an agreement between BOROUGH OF ALLENDALE and KONSTRUCT ENGINEERING, PLLC.

Respectfully,

KONSTRUCT ENGINEERING, PLLC



Steven Koniuk, P.E., R.A.
Owner / Principal

BOROUGH OF ALLENDALE

Accepted

Title

Date

HOURLY RATE SCHEDULE

PERSONNEL	BILLING RATE
Owner / Principal	\$250.00
Vice President	\$200.00
Project Manager	\$125.00 - \$150.00
Project Engineer	\$100.00 - \$125.00
Administrative Staff	\$70.00 – \$ 100.00
Outside Consultant	TBD

January, 2024

Revised

STANDARD FORM AGREEMENT

REUSE OF DOCUMENTS

All documents, including drawings and specifications pertaining to this Project are instruments of service. KONstruct Engineering, PLLC, known as KONstruct, shall retain an ownership and property interest in the documents whether the Project is completed. **BOROUGH OF ALLENDALE**, known as Client, may make and retain copies of the documents for reference in connection with the use and occupancy of the project. The documents are not intended or represented as suitable for extension of this or any other project. Any reuse, without written verification or adaption by KONstruct for the specific purpose intended, will be at Client's own risk.

Client shall indemnify and hold harmless KONstruct, its consultants and agents and employees of any of them, from and against claims, damages, losses, and expenses, including but not limited to attorneys' fees, arising out of the unauthorized reuse of the documents. Client further agrees to compensate KONstruct for any time spent or expenses incurred by it in defense of any such claim, in accordance with KONstruct, prevailing fee schedule and expense reimbursement policy.

CLIENT'S RESPONSIBILITY

Client shall provide full information as to Client's requirements for the Project: designate a person to act with authority on Client's behalf on all aspects of the Project; examine and promptly respond to KONstruct submissions; give timely notice to KONstruct when Client observes or otherwise becomes aware of any defect in KONstruct's work; notify KONstruct in writing, as to the nature and extent of any dissatisfaction leading to Client's withholding of invoiced payments.

If during the course of construction, the Client and/or Owner should elect to accept a substitution of equipment or material by the contractor as a means of construction cost reduction, and the said substitution necessitates a substantial review or re-design, KONstruct shall be remunerated at the hourly rates stated herein to perform the review or re-design.

INSURANCE

KONstruct maintains a Professional Liability Insurance (Errors and Omissions), with a minimum limit of \$1,000,000 (ONE MILLION DOLLARS) for each claim and \$1,000,000 (ONE MILLION DOLLARS) in the aggregate. KONstruct maintains Commercial General Liability Insurance, with a minimum limit of \$1,000,000 (ONE MILLION DOLLARS) for each occurrence and \$2,000,000 (TWO MILLION DOLLARS) in general aggregate. We will use the degree of care and skill ordinarily exercised under similar conditions by fellow members of the profession of Engineering. In any project, there will be minor inconsistencies, ambiguities, errors and omissions within the contract documents. We do not guarantee our work. These inconsistencies, if occurred will be rectified during construction stage, provided it was brought to our attention prior to implementation.

RESPONSIBILITY FOR COST ESTIMATE

During the course of the Project, if KONstruct is requested to review the Client's Project budget or to prepare a Project Cost Estimate, it is understood that such estimates represent KONstruct's best judgement as a design professional familiar with the construction industry. It is recognized that neither Client nor KONstruct has control over the cost of labor, materials or equipment; over the Contractor's methods of determining bid prices; over competitive bidding; market or negotiation conditions; timely availability of labor, materials or equipment; or over the efficient utilization of labor and other resources.

STANDARD OF CARE

KONstruct provides no express or implied warranties or guarantees of any kind. KONstruct only agrees that it will perform the Services in accordance with the standard of care and diligence normally practiced by design firms performing services of a similar nature in the same locale.

LIMITATION OF LIABILITY

To the fullest extent permitted by law, and notwithstanding any other provision of this Agreement, the total liability, in the aggregate, of KONstruct and KONstruct's officers, directors, partners, employees, agents and KONstruct's consultants, and any of them to Client and anyone claiming by, through or under Client, for any and all claims, losses, costs or damages whatsoever arising out of, resulting from, or in any way related to the Project or the Agreement from any cause or causes, including but not limited to the negligence, professional errors or omissions, strict liability or breach of contract or warranty expressed or implied of KONstruct or KONstruct's officers, directors, partners, employees, agents or KONstruct's consultants or any of them, shall not exceed the total compensation received by KONstruct under this agreement.

EXISTING CONDITIONS

Inasmuch as the remodeling and/or rehabilitation of an existing building requires that certain assumptions be made concerning existing conditions, because some of these assumptions cannot be verified without expending great sums of additional money or destroying otherwise adequate or serviceable portions of the building, the Client and Owner agree that, except for negligence on the part of KONstruct, the Client and Owner will hold harmless, indemnify and defend KONstruct for and against any and all claims, damages, awards and costs of defense arising out of the professional services provided under this agreement. The Client and Owner further agree that KONstruct is not responsible for hidden latent defects.

ASBESTOS ABATEMENT

KONstruct's responsibility does not include any detection, encapsulation, removal or disposal of asbestos or asbestos-contaminated material. KONstruct shall not be responsible for identifying potential asbestos hazards, nor shall KONstruct be held accountable if previously unidentified asbestos-containing materials shall be encountered during the installation and construction of the Project. Further, Client shall indemnify and hold KONstruct harmless against any and all claims, liens, liability, losses, damages, fines, judgments and penalties, including reasonable costs and settlements arising from the presence of asbestos-containing materials or from any allegation of the presence of asbestos-containing materials in the Project work area.

TERMINATION

Client may terminate this agreement by issuing seven (7) calendar days written notice to KONstruct. The effective termination date will be seven (7) calendar days after official receipt of written notification. In the event of termination, KONstruct shall be compensated for all costs incurred and associated profit earned up to and including the termination date. KONstruct reserves the right to determine the amount of work required to bring the project to a reasonable halt. This work will include compilation, collation and permanent record storage of all work completed and in process at the time of notification. If requested by Client to restart the project, Client will be responsible for any additional charges associated with record retrieval, update, and re-orientation.

ADDITIONAL CHARGES

Client may request additional services beyond the original Scope of Work. Compensation for additional services shall be subject to our basic rate schedules or agreed upon fixed-fee. Upon request by Client for additional services, KONstruct shall prepare an estimate of the additional fee. Prior to commencing with the additional work, Client must issue written authorization to proceed by signing an "Authorization to Provide Additional Services" form. Payment for additional services shall be subject to all terms and conditions of the original agreement.

SAFETY

KONstruct shall not be responsible for site safety and shall have no right or obligation to direct or stop the work of Client's contractors, agents, or employees.

FORCE MAJEURE

KONstruct shall not be responsible for any delays, damages, costs, expenses, liabilities or other problems that may arise as a result of a force majeure. A "force majeure" is defined as any event arising from causes beyond the reasonable control of KONstruct, including but not limited to fire, flood, unusual inclement weather, acts of God, civil strikes or labor disputes, riots, acts or failures of government.

INDEMNITY

Client shall, to the fullest extent permitted by law, indemnify, defend and hold harmless KONstruct from and against any and all claims, liabilities, losses, damages, costs or expenses, including, without limitation, reasonable attorney's fees, awards, fines, damages or judgments arising out of or relating to, any or all of the following:

- (a) any inaccurate, insufficient or incomplete information provided to KONstruct by Client;
- (b) any events, problems or circumstances arising out of or related to Client's negligence or breach of this Agreement;
- (c) any and all claims or liabilities resulting from Client's (or Client's contractors, agents, employees or representatives) violation of federal, state or local statutes, regulation ordinances; and
- (d) all claims and liabilities resulting from or related to site conditions or hazardous substances or constituents introduced at the site by any person or entity other than KONstruct.

SEVERABILITY

If any of the provisions contained in this agreement are held illegal, invalid or unenforceable, the enforceability of the remaining provisions shall not be impaired thereby. The Court shall instead reform or replace any void or unenforceable provision with a valid and enforceable provision that gives meaning to the intention of the provision or shall strike the provision from the agreement.

SURVIVAL

All obligations arising prior to the termination of this Agreement and all provisions of this Agreement allocating responsibility or liability between the Client and KONstruct shall survive the completion of the services and the termination of this Agreement.

CONDOMINIUM PROJECTS

Apartment to Condominium Conversion: The Owner warrants that this Agreement relates to the development of an apartment project and that the Owner plans to retain ownership thereof for investment purposes, and Engineer has relied upon that warranty in establishing its compensation for the services it will provide and the risks it will assume in connection with this project. While conversion of this project to condominium, cooperative, or similar ownership is not foreseeable, if it did occur, it would unreasonably increase the risks imposed upon the Engineer, without any corresponding increase in the compensation paid to Engineer. In recognition and consideration of those facts, Owner agrees that in the event any such conversion does occur in the future, Owner shall indemnify, defend, and hold the Engineer harmless from any claim or liability, including reasonable attorneys' fees, for any type of claim for liability asserted against the Engineer by any person or entity who would not have existed or otherwise had standing as a claimant had there been no conversion, including but not limited to individual unit owners, a homeowner's association, cooperative board, or similar entity.

Condo Indemnity: The Owner acknowledges the risks to the Engineer inherent in condominium projects and the disparity between the Engineer's potential liability for problems or alleged problems with such condominium projects. Therefore, the Owner agrees, to the fullest extent permitted by law, to indemnify and hold harmless the Engineer, its officers, directors, employees, consultants and Subconsultants (collectively Engineer) against all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, arising out of or in any way connected with the services performed under this Agreement, except for damages, liabilities or costs arising from the Engineer's sole negligence or willful misconduct.

Maintenance: The Owner agrees that the bylaws of the Condominium Association established for the Project will require that the Association perform, as recommended in the Maintenance Manual, all necessary routine maintenance, maintenance inspections, and repairs and maintenance called for as a result of these maintenance inspections. The bylaws shall also contain an appropriate waiver and indemnity in favor of the Owner, the Engineer and its consultants and Subconsultants and the Contractor if the maintenance recommendations in the Maintenance Manual are not performed. Maintenance Manuals may not be all inclusive.

Statute Of Limitations: The bylaws shall further provide that any claims by the Condominium Association against the Owner, the Engineer and its consultants and Subconsultants must be commenced within one year of the date that the Project was turned over to the Condominium Association.

ALLENDALE LAND USE BOARD
APPLICATION CHECK LIST

NAME **Kenneth Magro** BLOCK **101** LOT **7**

ADDRESS **345 Hillside Ave, Allendale, NJ 07401**

ZONE TYPE OF VARIANCE **Driveway greater than 35'**

BRIEF DESCRIPTION OF APPLICATION **Remove and replace existing driveway
and add 456 sq feet additional paved area**

SPECIFIC VARIANCE(S) REQUIRED

Proposed footprint will exceed 35' width in one area

ADMINISTRATIVE REQUIREMENTS	STATUS
-----------------------------	--------

- | | |
|---------------------------------|-------|
| 1. Application form complete | _____ |
| 2. Fee paid | _____ |
| 3. Denial by Building Inspector | _____ |
| 4. Affidavit of Service | _____ |
| 5. Proof of Publication | _____ |
| 6. Taxes Current | _____ |
| 7. Plot Plan | _____ |
| 8. Maps | _____ |
| 9. Photographs | _____ |
| 10. Email address | _____ |
| 11. Miscellaneous | _____ |

Date

Applicant's Signature

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of **Kenneth Magro**
shows that on or about the **17th** day of **April**, 20**24**
an application to the Zoning Official for the purpose of (describe intended
action) **Remove and replace driveway, expanding the footprint in one area**
to 50' wide. 456 sq ft of additional paved area is proposed.

on the premises located at (street address) **345 Hillside Ave, Allendale, NJ 07401**
Block **101** Lot **7**

as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that
after due consideration the Zoning Enforcement Officer did on the **17th** day of **April**, 20**24**
decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement
Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of
appeal with said Officer, together with the required fee of **\$500**, and requests that
action of the Zoning Enforcement Officer be reversed or modified as the facts may be
determined, and applicant further requests that a day be fixed for hearing on this appeal and
states that the proper notice will be given to all owners of property situated within two hundred
(200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

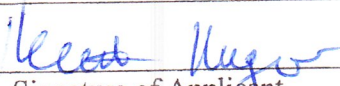
TO THE LAND USE BOARD:

An application is hereby made for a (**Hardship**) (Floor Area Ratio) (Use) variance from the terms
of Article(s) and Section(s) _____

_____ of the Zoning Ordinance so as to
permit **a portion of the driveway to exceed 35' to allow cars to turn around**
in the driveway to avoid needing to backing out onto Hillside Ave.

*** Please see additional hardship pages included in the package**

X


Signature of Applicant

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 7 Block(s) 101
Street Address 345 Hillside Ave, Allendale, NJ 07401
Applicant Kenneth Magro Address Same
Owner Kenneth & Joyce Magro Address 345 Hillside Ave, Allendale, NJ 07401
Lessee N/A Address _____
Last Previous Occupancy _____
Size of Lot .682 acre
Floor area ratio calculation _____
Percentage of lot occupied by building(s) 5.1%
Height of building(s) _____ stories _____ feet _____
Set back from front property line _____ ft. From side (if corner lot) _____ ft.
Zoning requirements – Frontage _____, side yards _____, set-back _____, rear yard _____
“Prevailing set-back” of adjoining buildings within one block _____
Has there been any previous appeal involving these premises? No
If so, state character of appeal and date of disposition _____

Proposed use: Remove, replace driveway, propose expanding by 456 sq ft
A portion of which will exceed 35' wide

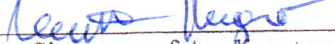
This application for a use variance includes an application for subdivision N/A, site plan N/A, conditional use N/A approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) Fifteen (15) copies of all application documents
- (c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified “location map” and clearly indicate such buildings and their approximate location, together with “prevailing set-back” dimensions.
- (d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

Date: **X** 3/27/24

X 
Signature of Applicant or Agent

BOROUGH OF ALLENDALE

LAND USE BOARD

DATE _____

NOTICE OF HEARING TO PROPERTY OWNERS

(Cross out inapplicable sections)

TO WHOM IT MAY CONCERN:

In compliance with the Zoning Ordinance of the Borough of Allendale, NJ, notice is hereby served upon you to the effect that (I) (We) **Kenneth & Joyce Magro** hereby propose to (give detailed information) **Remove and replace driveway expanding the paved area by 456 sq ft adding room for cars to turn around**

Location **345 Hillside Ave, Allendale, NJ 07401**

The Zoning Officer of the Borough of Allendale, Bergen County, New Jersey, refused this request by reason of its being in violation of Section **Code is for maximum driveway width of 35'**

of the Zoning Ordinance, from which decision (I) (We) hereby appeal. (I)(We) have applied to the Land Use Board for a (hardship), (floor area ratio), (use) variance, (together with subdivision _____, site plan _____, conditional use _____ approval), and from any other variances or waivers that the Board may deem necessary.

Any person or persons affected by this (appeal) (application) may have an opportunity to be heard at the meeting to be held **April 17th**, 20 **24** at 7:30pm in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401.

All documents relating to this application may be inspected by the public between the hours of 9 a.m. and 4:30 p.m. in the office of the Borough Clerk in the Allendale Municipal Building, 500 West Crescent Avenue, Allendale, New Jersey 07401.

x Kenneth Magro
Signature

Note: This Notice must be personally Served or sent by certified or registered mail at least 10 days before the day of the hearing, and proof of service given to the Land Use Administrator.

AFFADAVIT OF PROOF OF SERVICE

LAND USE BOARD

OF

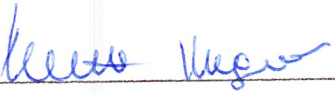
BOROUGH OF ALLENDALE

PROOF OF SERVICE OF NOTICES REQUESTED BY STATUTE MUST BE
FILED AND VERIFIED WITH BOARD SECRETARY AT LEAST 10 DAYS PRIOR TO MEETING
OR CASE WILL NOT BE HEARD.

STATE OF NEW JERSEY)

COUNTY OF BERGEN) SS.

Kenneth Magro, of full age, being duly sworn according to law, deposes and
says, that (s)he resides at **345 Hillside Ave** in the municipality
of **Allendale**, County of **Bergen**, and State of **New Jersey**,
and that (s)he is (are) the applicant(s) in a proceeding before the Land Use Board of Allendale, New
Jersey, being an appeal or application under the Zoning Ordinance, which relates to premises at
345 Hillside Ave, Allendale, NJ, and that on _____, 20____ (s)he gave written
notice of the hearing on this application to each and all of the persons upon whom service must be made,
in the required form and according to the attached lists, and in the manner indicated thereon.

x 
Applicant's Signature

Sworn to and subscribed before me
this **17th** day of **April**,
20**24**.

NOTICE TO APPLICANT: Attach list of all persons served.

NEWSPAPER NOTICE

LAND USE BOARD
BOROUGH OF ALLENDALE
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Land Use Board of the Borough of Allendale will hold a public hearing on **April 17th**, 20**24**, at 7:30 p.m. in the Allendale Municipal Building, 500

West Crescent Avenue, 2nd Floor, Allendale, New Jersey 07401 on the application of **Kenneth & Joyce Magro** (Applicant) at

345 Hillside Ave, Allendale, NJ 07401 (Address)

Block No. **101**, Lot No. **7** for a (**hardship**, floor area ratio, use) variance from Section _____

_____ of the zoning ordinance of the Borough of Allendale, and for any other variances or waivers that the Board may deem necessary, for the purpose of _____

Removing, replacing and expanding driveway adding an additional proposed

456st feet of paved area, with one portion expanded to 50' wide.

See included hardship attachments including photos

Name and Address of Applicant
Kenneth Magro
345 Hillside Ave, Allendale NJ

Sample Legal Notice

To be published in *The Record* or *The Ridgewood News* at least ten (10) days prior to the scheduled hearing date.

Original notice cut from newspaper must be given to Board Secretary along with all forms.

March 26, 2024
09:39 AM

Borough of Allendale
Tax Account Detail Inquiry

Page No: 1

BLQ: 101. 7. Tax Year: 2024 to 2024
Owner Name: MAGRO, JOYCE & KENNETH Property Location: 345 HILLSIDE AVE

Tax Year: 2024		Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:		3,556.89	3,556.88	0.00	0.00	7,113.77
Payments:		3,556.89	0.00	0.00	0.00	3,556.89
Balance:		0.00	3,556.88	0.00	0.00	3,556.88

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2024 Prin Balance
		Description								
		Original Billed								
01/22/24	1	Payment	001	23586	CK	10147	22 COUNTER	3,556.89	0.00	3,556.88
		23853								

Total Principal Balance for Tax Years in Range: 3,556.88

k_magz@hotmail.com

From: Do Not Reply <noreply@govpilot.com>
Sent: Monday, October 16, 2023 7:25 AM
To: amaccbros@yahoo.com; kmagro@outlook.com
Subject: Status: Driveway Zoning Permit



**Borough of Allendale
Driveway Zoning Permit**

Reference # DZ-2023-00019
Application Date: 10/3/2023 10:08:00 AM

Dear A. Macchione Brothers, Inc,

Your Driveway Zoning Permit has been denied.

No further action is required.

This is an automated email notification, please do not reply. If you have any questions about your application please call us on (201) 818-4400 ext. 201 and quote the reference number stated above.

Sincerely,

Anthony Hackett
Building Department

Hardship Explanation / Driveway Variance Application for 345 Hillside Ave, Allendale

Homeowners: Ken & Joyce Magro / Land Use Board Meeting 4/17/24

Why are we applying for this variance to exceed the 35' Width?

Ultimately it is a safety issue

- **Topology and Safety Challenges:** (see photos)
 - County Road 85 aka: Hillside Avenue is a busy “double yellow line” County Road
 - Our house is just beyond a blind curve near the intersection of Hillside Ave and Linda Drive
 - There are four vehicles in our household; 2 parked in garage and 2 in the driveway (see photos)
 - To exit our driveway, we either need to turn around in the driveway or back out onto Hillside Ave a safety issue
 - With the 35' width restriction it is difficult for any of the 4 cars to turn around to exit; it is also a challenge for the garaged cars to exit / enter the garage with the two other cars in the driveway near the garage (see photos)
- **Traffic Safety:** On days when Northern Highlands is in session, at ~2:45 pm, **14-16 busses** exit the East Elbrook rear entrance, turn left and pass our house where it's not uncommon for the them to back up from the Forest Road traffic light beyond our house. It is virtually impossible to back out of driveway especially if we want to head north on Hillside Ave towards Ramsey. This is made more dangerous when students or parents exit the school's front entrance and turn north, passing our house in the opposite direction sometimes at high speed. (Think of the classic arcade game Frogger!)

- **Limited sightlines backing out due to elevation and fence:** (see photos) The driveway has an approximate 4 foot elevation change rising towards the apron along with a PVC fence on both sides of the apron. This also significantly impedes sightlines when backing out. (see photos)
- **Stopgap measures:**
 - As a stopgap we added an area of crushed stone (see photos) with the expectation that when we replaced our driveway, part of the crushed stone area would be replaced with asphalt
 - The crushed stone is failing and visually seems out of place with other homes / landscapes in the area (weeds, aging railroad ties, mismatched stone)
 - In warm summer months the stones stick to car tires and end up scattered up and down the driveway
 - In winter months, using a snowblower or shovels on the crushed stone is a challenge and potentially dangerous
- **Other Factors:**
 - **First Responder:** We have a first responder in the house who is called in to work at any hour for emergencies; being able to exit the driveway quickly and safely is critical
 - **Mitigation to Limit Exposure To Neighbor:** The home at 365 Hillside is closest to our proposed expansion. They have just one set of windows on that side of the house and have a 3' elevation advantage, a berm and 14 Green Giant arborvitae (currently ~ 8-10' tall) planted as a screen to most of our driveway area (Photos below)



Backing out onto Hillside Ave is a safety hazard.

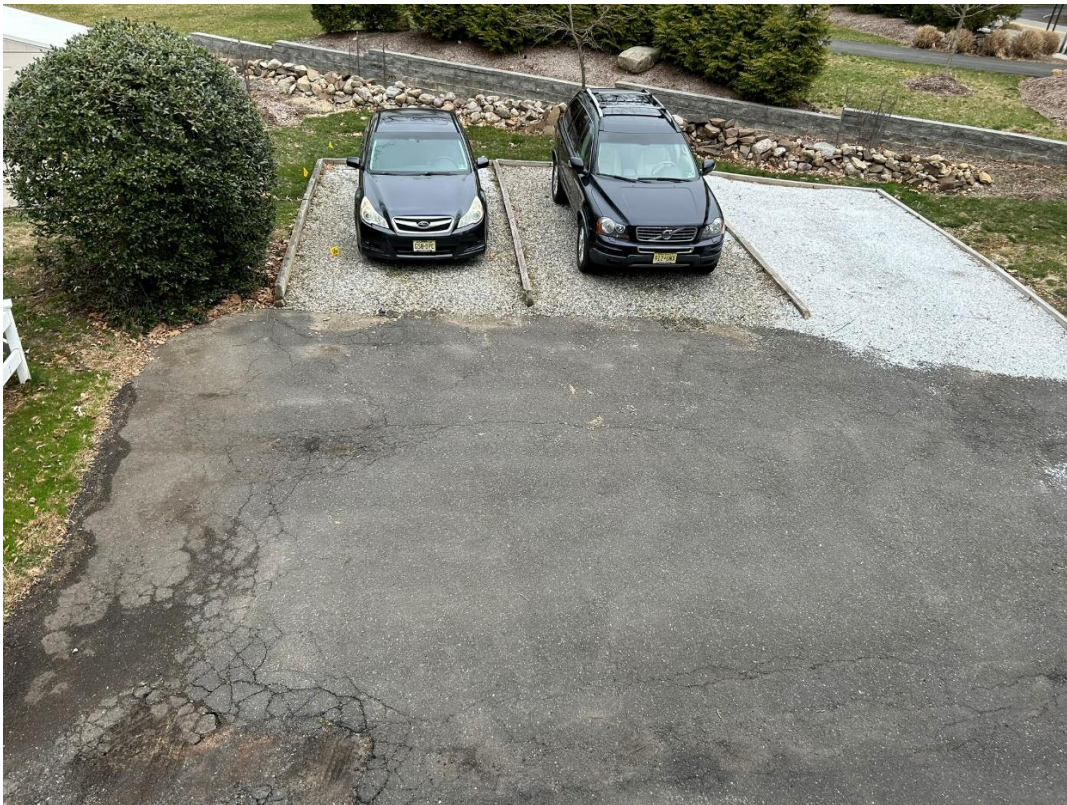
We have 4 cars, two garaged and two in the driveway. It is a challenge for any of the cars to turn around to avoid having to back out onto County Road 85 aka: Hillside Ave

Also with 2 cars parked in the narrow driveway it is a challenge for the garaged cars to pull into or out of the garage.



To mitigate the safety issues, as a temporary solution until it was time to replace the entire driveway, we added a gravel area. That area is deteriorating, is not visually appealing, is difficult for snow removal and in hot weather gravel sticks to car tires and scatter up and down the paved area.

We are proposing removing the entire gravel area and paving only the area where the two cars are shown in this photo. The rest of the gravel area (where the mismatched white gravel currently seen) will be replaced with turf grass and landscaping. (See the site survey)





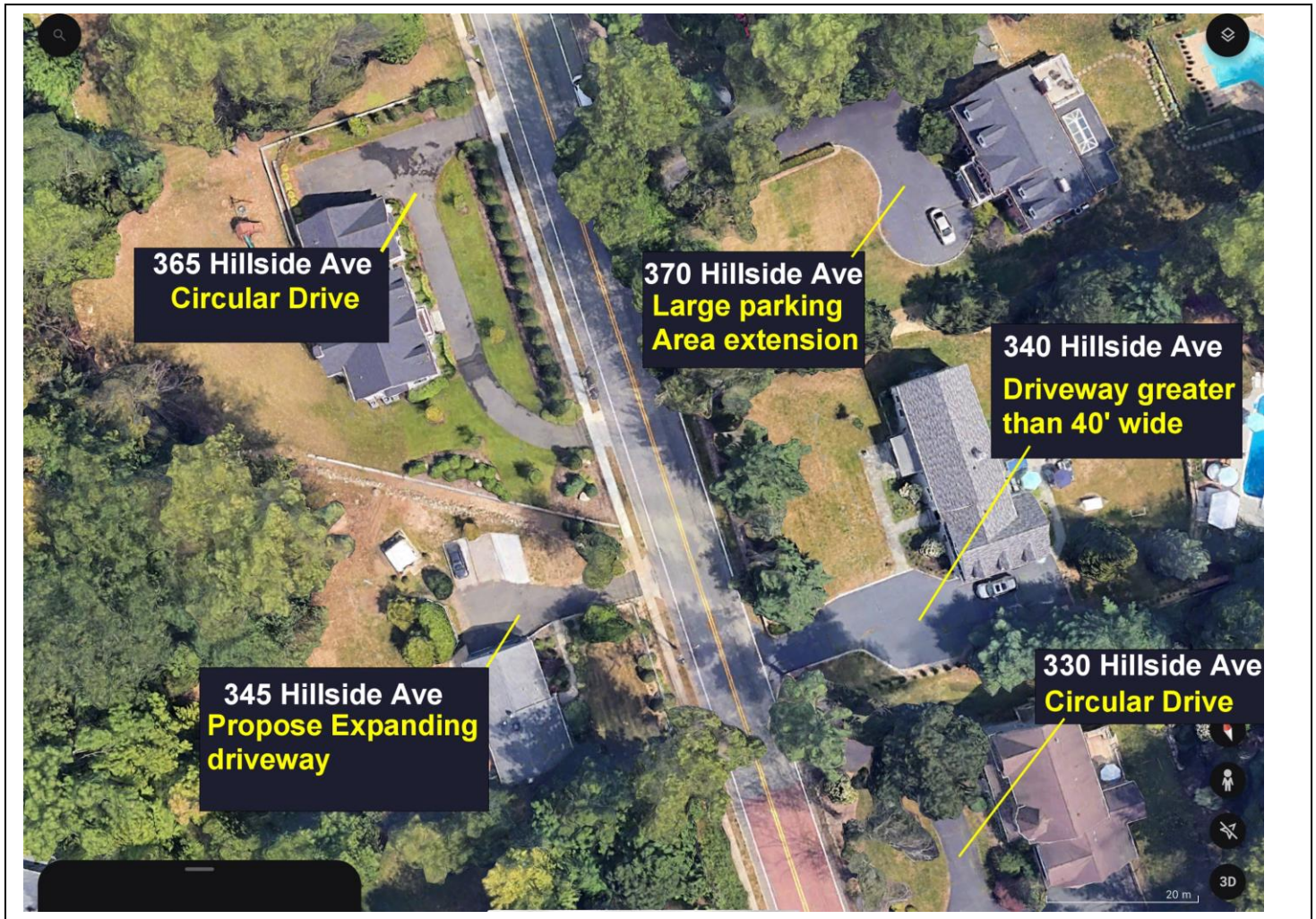
There is a change of grade at the top of the driveway to the bottom.



If forced to back out onto Hillside Avenue the grade and the fence on both sides of the apron limit the field of view of oncoming traffic creating a safety hazard.



How did our neighbors mitigate risk?



365 Hillside: Added circular drive to easily turn around

330 Hillside: Added circular drive to easily turn around

340 Hillside: Width exceeds 35' to more easily turn around

370 Hillside: Added large area to allow cars to more easily turn around

345 Hillside: Proposing expanded paved area for cars to turn around

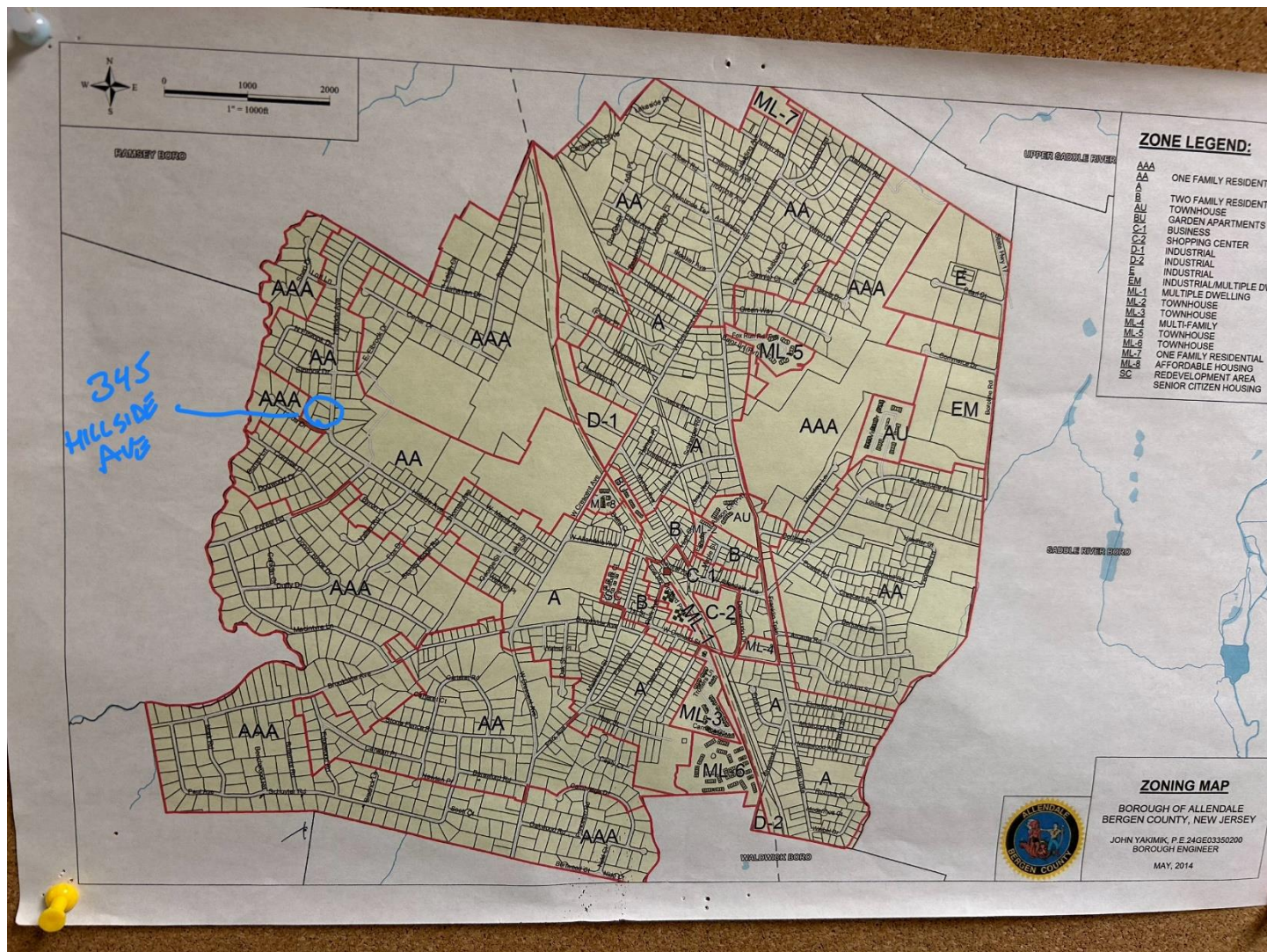
Screening for Neighbor:

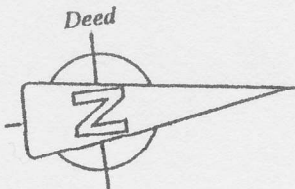
These photos are taken from the side yard of 365 Hillside Ave, the property immediately north of our house at 345 Hillside. The photos are looking south into the driveway area where the expansion is proposed.

As you can see there is ample screening including ~14 Green Giant arborescens trees planted on top of a berm. And the entire property at 365 is elevated approximately 3 feet above our property at 345.

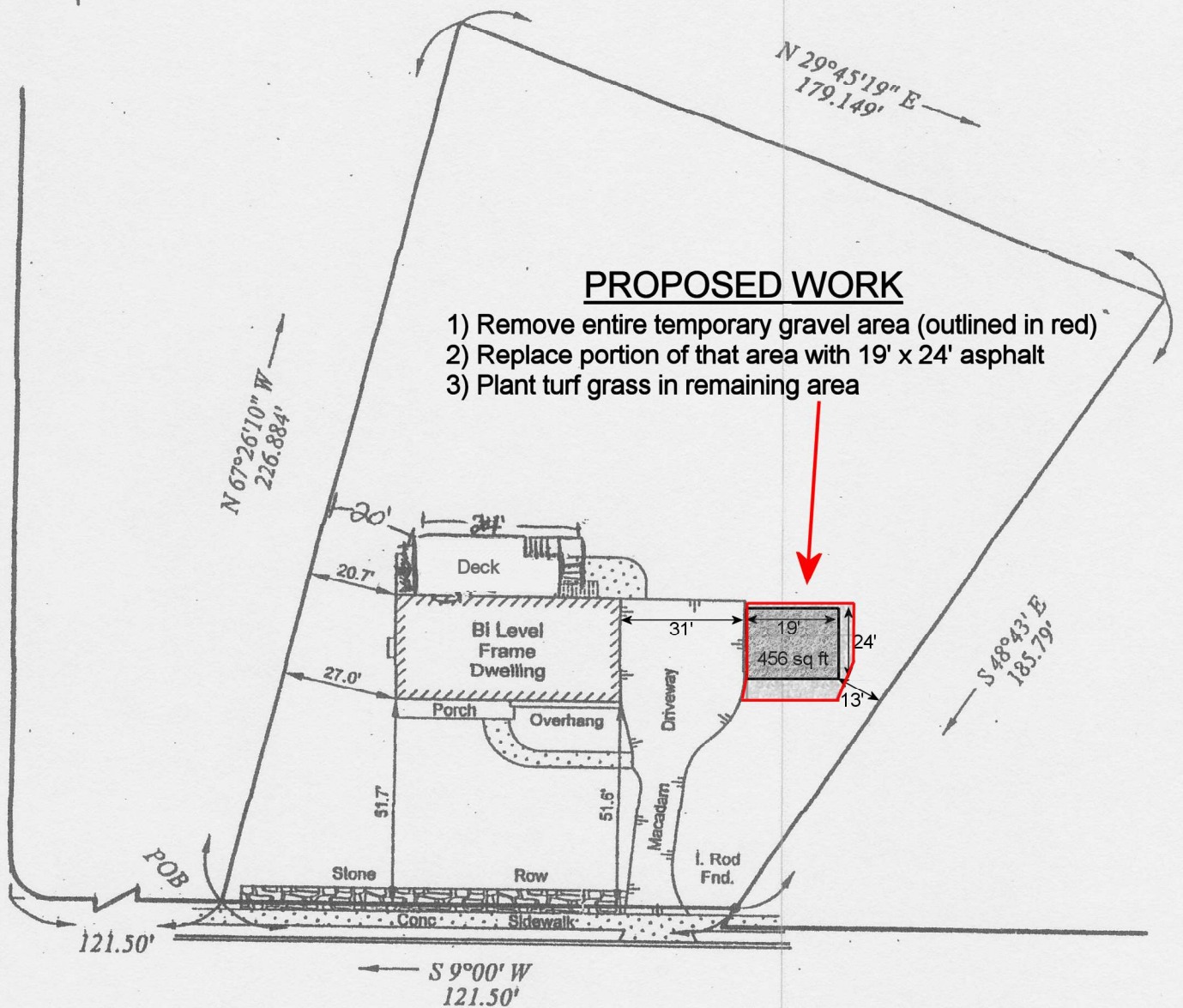
The end result is plenty of screening should there be concerns about the view.







LINDA DRIVE



HILLSIDE AVENUE

(Width Varies)

Subject to easements and restrictions that affect subject property. Boundary lines are to be determined by corner markers as set only. Certifications are not transferable to subsequent owners or additional institutions. Underground utilities, if any, are not shown hereon. Pursuant to N.J.A.C. 13:40-5.1(d), the ultimate user has directed that corner markers not be set. Subject to an accurate title search.

SURVEY OF PROPERTY AT 345 HILLSIDE AVENUE

Borough of Allendale

Bergen County, N.J.

Scale: 1" = 40'

REFERENCES

CERTIFIED TO

TAX MAP
LOT 7
BLOCK 101

FILED MAP
LOT 28 - 1
BLOCK 1

Kenneth Margo and Joyce Margo, h/w ;
World Savings, its successors and/or assigns ;
Fidelity National Title Insurance Company of New York
Superior Title Services, Inc. ; STS - 3370
Alfred A. Siss, Jr., Esq.

"Minor Subdivision, Lots 28 - 1, 28 - 2, 28 - 3 in Block 1,
Tax Assessment Map Sheet No. 2, Borough of
Allendale, Bergen Co., New Jersey, prepared for
Hilltop Homes", filed in the Bergen County Clerk's
Office on October 11, 1972 as Map No. 7115.

WELLS ASSOCIATES LAND SURVEYING

15 Walker Drive, Ringwood, N.J. 07456
Tel. (973) 962-1444

ARTHUR J. WELLS, Professional Land Surveyor

New Jersey License No. 33184

Job No. 2906

Area = 0.682 Acres

May 9, 2002

Memorandum

To: Borough of Allendale Land Use Board
L. Garofalo, Board Secretary / L. Calli, Board Attorney

Cc: T. Jefferis, Applicant's Engineer & Planner / M. Rubin, Applicant's Attorney

From: Michael Vreeland, Board Engineer 

Date: April 15, 2024

Re: Application 2024-04 – Allendale Rehabilitation & Healthcare
Preliminary and Final Site Plan with Variance
Proposed Facility Expansion
85 Harreton Road
Block 601, Lot 7
ALN-1001.073

We are in receipt of the following information pertaining to the above-referenced application:

- A. February 8, 2024 Law Office of Michael S. Rubin, LLC, correspondence (Michael S. Rubin) transmitting the application;
- B. Application and Checklists;
- C. Addendum To Application;
- D. Plan set consisting of 2 sheets entitled, "Boundary & Topographic Survey, Block 601, Lot 7, 85 Harreton Road, Borough of Allendale, Bergen County, State of New Jersey". The plans prepared by Control Point Associates, Inc. (Donald P. Sweeney, PLS) are dated with a latest revision date of January 25, 2023;
- E. Plan set consisting of 18 sheets entitled, "Site Improvements Plans, Proposed Building Addition and Parking Modifications, Allendale Rehabilitation and Healthcare Center, And, Allendale Senior Living, Block 601 – Lot 7, 85 Harreton Road, Borough of Allendale, Bergen County, New Jersey". The plans prepared by Jefferis Engineering Associates, LLC (Teal S. Jefferis, PE) are dated with a latest revision date of October 31, 2023;
- F. Architectural plan set consisting of 2 sheets entitled, "Proposed New Addition At: Allendale Rehabilitation, And Healthcare Center, 85 Harreton Road, Allendale, NJ 07401". The plans prepared by Brommer Architects (Ryan McDermott, RA) are dated February 14, 2023;

OFFICE LOCATIONS

www.vancleefengineering.com

Hillsborough, NJ
908-359-8291

Mt. Arlington, NJ
862-284-1100

Phillipsburg, NJ
908-454-3080

Doylestown, PA
215-345-1876

Pottstown, PA
610-323-4040

Hamilton, NJ
609-689-1100

Toms River, NJ
732-573-0490

Freehold, NJ
732-303-8700

Bethlehem, PA
610-332-1772

- G. Report entitled, “Stormwater Runoff &, Management Calculations, site location: Proposed Building Addition & Minor Site Improvements, Allendale Rehabilitation and Healthcare, &, Allendale Senior Living, 85 Harreton road, Block 601 Lot 7, Borough of Allendale, Bergen County, NJ”. The report prepared by Jefferis Engineering Associates, LLC (Teal S. Jefferis, PE) is dated October 2023; and
- H. Letter Report regarding Traffic & Parking Analysis Allendale Rehabilitation & Healthcare & Senior Living Center. The letter report prepared by McDonough & Rea Associates, Inc. (John H. Rea, PE & Scott T. Kennel) is dated January 16, 2024.

We have reviewed the information along with the Borough Code (Code), visited the site and offer the following comments:

1. INTRODUCTION

The subject ±11.04 acre property is commonly known as 85 Harreton Road. The property is developed with a nursing and assisted living facility along with related improvements. An existing driveway to N.J.S.H. Route 17 provides primary access. An existing gated driveway at the Harreton Road cul-de-sac provides secondary access. The Allendale Brook crosses the property. The property is located within the Borough’s AAA Residence Zone District.

The application and plans propose building additions and renovations as well as parking modifications (including 8,541 sf one-story addition). The application addendum and plans note:

- The addition will increase the long term care bed count from 120 to 142
- Remodeling will reduce the comprehensive care bed count from 163 to 126
- The bed count within the memory care unit will be 48
- Total bed count will reduce from 331 to 316
- Parking modifications will maintain the existing number of spaces at 170

The addendum identifies the existing facility as a nonconforming use and seeks relief pursuant to the MLUL under N.J.S.A. 40-55D-70.d.(2) (expansion of a nonconforming use). The addendum also notes relief is sought for conflicts with other zoning requirements and design standard pursuant to the §40-55D-70.d.(4) (increase in the permitted floor area ratio) and §40-55D-70.c.. Although not noted in the addendum, we believe some of the design standard relief may be considered under N.J.S.A. 40-55D-51.b (exceptions).

2. TECHNICAL COMPLETENESS

We have reviewed the Application for technical completeness in accordance with the Schedule A Checklists. We believe the application has addressed each of the applicable technical checklist items and is requesting the following waivers:

2.1. Item 6: NJDEP LOI

Comment: The request notes proposed improvement will occur within existing developed and disturbed areas.

We have no engineering objection to the waiver request for completeness. However, given the proximity to mapped regulated areas, we believe information from the NJDEP and/or a qualified environmental expert should be provided before any site disturbance occurs.

2.2. Item 15: Topography

Comment: The request notes information is provided within 50 ft of the property rather than 200 ft.

Based on the nature and scope of the proposal we have no engineering objection to the waiver request for completeness.

2.3. Item 28: Utility Layouts

Comment: The request notes a partial waiver for profiles and indicates additional information can be provided upon approval if deemed necessary.

Based on the nature and scope of the proposal we have no engineering objection to the waiver request for completeness.

2.4. Items 42 & 43: Proof of Application Submission to the County Planning Board & County Soil Conservation District

Comment: The request notes the application will be filed if Board approval is obtained.

Based on the nature and scope of the proposal we have no engineering objection to the waiver request for completeness.

2.5. Item 44: Environmental Impact Statement

Comment: The request notes proposed improvement will occur in existing developed and disturbed areas.

Based on the nature and scope of the proposal we have no engineering objection to a waiver request for a full EIS. However, as stated above, we believe information from the NJDEP and/or a qualified environmental expert should be provided before any site disturbance occurs.

We defer to the Land Use Administrator and the Board Attorney regarding administrative and legal completeness matters.

3. ZONING

We have reviewed this application in accordance with the requirements of the Code. Based on this review we note the following:

3.1. Non-Conforming Conditions

3.1.1. §270-40 – Off-Street Parking Requirements

Comment: Sheet 5 of the plan set includes a parking analysis that indicates:

- 243 stalls are currently required

- 220 stalls will be required after building renovations
- 231 stalls will be required after building expansion

The plans and application note a variance was granted in 1978 to allow 100 stalls where 116 were required. Testimony should clarify facility occupancy and staffing quantities associated with the variance. The plans and application indicate 170 existing parking spaces currently service the facility. Testimony should clarify where and when the additional parking spaces were constructed.

The application proposes to maintain the existing number of spaces at 170.

3.1.2. §270-43 – Minimum Parking Space

Comment: The plans indicate various parking stall sizes (9'x17.75', 9'x18' & 9'x20') that are less than the required 10'x20' space.

3.1.3. §270-49 – Permitted Uses

Comment: The existing use is not listed as a permitted use in the zone. The application proposes to expand the existing non-conforming use.

3.1.4. §270-51(A) – Height

Comment: The existing building height of 36.8 ft exceeds the 35 ft maximum allowable height. The proposed improvements do not appear to alter this condition.

3.1.5. §270-62 – Maximum Lot Coverage

Comment: The existing lot coverage of 51.2% exceeds the 27.5% maximum allowable lot coverage. The proposed improvements increase lot coverage to 52.0%.

3.1.6. §270-63 – Floor Area Ratio (FAR)

Comment: The existing 32.1% FAR exceeds the 19% maximum allowable FAR. The proposed improvements increase FAR to 33.8%.

3.2. Discussion:

Since this proposal does not meet the requirement noted above, the Applicant must seek relief from the Board pursuant to the MLUL under N.J.S.A. 40-55D-70.d. and 40-55D-70.c.

The Applicant has requested “D” and “C” variances in conjunction with this proposal.

“D” or “Use” Variance

When considering a “d” variance, relief cannot be grant unless sufficient “special reasons” are shown and there is no substantial impairment of the intent and purpose of the zone scheme and zoning ordinance.

The burden of proof is upon the Applicant to establish the above criteria. It is the Board’s responsibility, acting in a quasi-judicial manner, to weigh all the evidence presented before it by both the Applicant and all objectors, and reach a decision based upon findings of fact and conclusions of law and is not arbitrary, unreasonable or capricious.

There is no precise formula as to what constitutes special reasons unless the use is determined to be inherently beneficial. Each case must be heard on its own circumstances. Generally, there are sufficient special reasons under two broad circumstances: (1) where refusal to allow the use would impose an undue hardship and (2) when the project carries out a purpose of zoning as set forth in N.J.S.A. 40:55D-2.

A variance should only be granted if the Board, based on the evidence presented before it, feels that the public interest, as distinguished from the purely private interests of the Applicant, would be best served by permitting the proposed use. In these instances, the Board must also find that the granting of the variance will not create an undue burden on the owners of the surrounding properties.

Furthermore, in most “d” variance cases, the Applicant must satisfy an enhanced quality of proof and support it by clear and specific findings by the Board that the variance sought is not inconsistent with the intent and purpose of the Master Plan and Zoning Ordinance.

“C(1)” or “Hardship” Variances

In judging an application by the C(1) criteria, the core question presented to the Board is whether there has been a showing of (1) peculiar and exceptional practical difficulties to, or (2) exceptional and undue hardship upon, the Applicant arising out of (a) the exceptional narrowness, shallowness or shape of the subject property, or (b) by reason of exceptional topographic conditions or physical features uniquely affecting the subject property, or (c) by reason of an extraordinary and exceptional situation uniquely affecting the subject property or the structures lawfully existing thereon. In all cases the alleged hardship must relate to a specific piece of property.

“C(2)” or “Benefits v. Detriments” Variances

In judging an application by the C(2) criteria, the core questions presented to the Board is whether the grant of a variance would promote or advance the purposes of the MLUL and the benefits of such deviation outweigh any detriment.

As in all variance cases, the Applicant bears the burden of proving both the positive and negative criteria. Relief cannot be granted unless it can be granted without substantial detriment to the public good and unless it will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

We specifically note that it is the Applicant's burden to show the special reasons and satisfy the negative criteria. As such, the Applicant will need to present additional information concerning the issues as well as the positive and negative elements pertaining to the subject proposal.

4. DESIGN STANDARDS

We have reviewed this application in accordance with the requirements of the Code. Based on this review we note the following:

4.1. Non-Conforming Conditions:

4.1.1. §147-26 – Access

Comment: The existing N.J.S.H. Route 17 driveway narrows to 20 ft, where 24 ft is required. The width of the existing gated Harreton Road emergency access driveway should be illustrated on the plan.

4.1.2. §147-28(A) – Circulation (Driveway Width)

Comment: Aisle width varies from 21.1 ft to 24.5 ft, where 25 ft is required for 90 degree parking.

4.1.3. §147-32 – Site Lighting

Comment: Testimony should explain the objective of the lighting scheme, document lighting adequacy (for both the proposed improvements as well as existing lighting to remain) and clarify lighting hours. We believe exceptions may be required for illuminance levels. Based on the nature of the exceptions, it may be advisable to require an as-built field inspection and adjustment provision.

4.2. Discussion:

We believe these aspects should be address as exceptions pursuant to the MLUL under N.J.S.A. 40-55D-51.b. When considering exceptions it is the Applicant's burden to demonstrate that the "literal enforcement of one or more provisions of the ordinance is impractical or will exact undue hardship because of peculiar conditions pertaining to the land in question".

5. TECHNICAL REVIEW COMMENTS

- 5.1. Testimony should address use of proposed addition and confirm the use is similar in nature to the existing non-conforming use.
- 5.2. Testimony should address internal building circulation and confirm parking has been adequately distributed throughout the site.
- 5.3. We have concerns relating to parking and circulation throughout the site. Testimony should address adequacy of parking, one way traffic with 90 degree parking, drive and parking aisle width, anticipated type/size of vehicles accessing the site as well as loading/unloading operations.
- 5.4. Testimony should address suitability of buffering to adjacent residential areas and confirm the facility will be effectively screened.
- 5.5. Testimony should address site and parking signage.
- 5.6. Testimony should address ADA parking and confirm compliance with accessible parking requirements throughout the site.
- 5.7. The project should address applicability of the State's Electric Vehicle Law.
- 5.8. Testimony should address handling and collection of refuse and recyclables.
- 5.9. A solid waste and recyclable enclosure is proposed in the northwest corner of the site. Testimony should address the enclosure's material and color. In addition, we recommend self-closing gates be utilized to avoid impeding circulation or damaging a vehicle.
- 5.10. We defer to the Fire Official regarding fire lanes and connections.
- 5.11. The project is not a 'Major Development' pursuant to the current Stormwater Rules. However, the project is subject to Soil Movement (§225) and Plot Plan (§196) requirements of the Code. The project proposes to increase impervious coverage and a stormwater management system (designed to reduce runoff and sized for tributary areas) will be required.
- 5.12. Roof runoff from the downspouts should not be directed towards adjacent developed properties.
- 5.13. Testimony should address existing and proposed utilities. Water and sewer applications will be required.
- 5.14. Water system modifications, water service and easements will need to be coordinated with Veolia.
- 5.15. The existing sewer main and connection needs to be TV inspected to determine its condition and repaired, as necessary.
- 5.16. During our visit we observed existing storage units and other material stored outdoors. Testimony should address these items.

- 5.17. Testimony should address colors, finishes and materials as well as exterior mechanical equipment for the proposed and existing buildings.
- 5.18. Testimony should address soil removal, redistribution and earthwork. The Applicant and Owner(s) shall ensure that imported soils meet all applicable NJDEP Residential Standards.
- 5.19. Existing noncompliant storm inlets will need to be retrofitted in accordance with the Stormwater Rules. A note should be included on the plans.
- 5.20. An “As-Built Plan” will be required upon completion of construction and prior to requesting a certificate of occupancy.
- 5.21. Should the Board approve the application, we recommend a preconstruction meeting be required.

6. OTHER AGENCY APPROVALS

It is the Applicant’s responsibility to determine what, if any, approvals are required from outside agencies and/or internal municipal agencies and departments. We believe the following other agency approvals may be required:

- 6.1. NJDOT
- 6.2. Bergen County Planning Board
- 6.3. Bergen County Soil Conservation District
- 6.4. Veolia

Please contact me should you have any questions.