

LAND USE BOARD  
BOROUGH OF  
ALLENDALE  
Municipal Building  
500 West Crescent Avenue  
Allendale, NJ

The Initial Meeting of the Allendale Land Use Board will be held in the Council Chambers in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401 on January 17, 2024 at 7:30 p.m. Formal action will be taken.

I. CALL TO ORDER

- A. Open Public Meetings Act Announcement
- B. Salute to Flag

II. OATH OF OFFICE

- A. Class I - Mayor Amy Wilczynski (term corresponds with term of office)
- B. Class II - Andrew Agugliaro (term expiring December 31, 2024)
- C. Class III - Joe Daloisio (term expiring December 31, 2024)
- D. Class IV - John Dalo (term expiring December 31, 2026)
- E. Class IV - Jason Warzala (term expiring December 31, 2026)
- F. Class IV - Melissa Bergen (term expiring December 31, 2025)
- G. Class IV - Frank Putrino (term expiring December 31, 2027)
- H. Class IV - Michael Sirico (term expiring December 31, 2025)
- I. Class IV - (term expiring December 31, 2025)
- J. Alternate #1 - Gregg Butler–Alt. #1 (term expiring December 31, 2024)
- K. Alternate #2 - Joseph Conte–Alt. #2 (term expiring December 31, 2025)

III. ROLL CALL

IV. ELECTION OF OFFICERS

- A. [Resolution LUB 24-01: Order of Voting](#)
- B. [Resolution LUB 24-02: Election of Chair](#)
- C. [Resolution LUB 24-03: Election of Vice Chair](#)
- D. [Resolution LUB 24-04: Election of Secretary](#)

V. RESOLUTIONS

- A. [Resolution LUB 24-05: Appointment of Land Use Board Legal Counsel](#)
- B. [Resolution LUB 24-06: Appointment of Land Use Board Engineer](#)
- C. [Resolution LUB 24-07: Appointment of Land Use Board Planner](#)
- D. [Resolution LUB 24-08: Time and Place of Land Use Board Meetings for 2024](#)
- E. [Resolution LUB 24-09: Adoption of By Laws for the Land Use Board](#)

VI. APPROVAL OF MINUTES

[December 20, 2023 Land Use Board Regular Meeting](#)

VII. RESOLUTIONS

[Application File No: LUB 2023-13](#)

Resolution No.: 24-10

Applicant: William & Fani Thompson

Address: 540 Hillside Avenue, Allendale, NJ 07401

Block: 104 Lot: 10

Application: Add a new roof structure over existing patio. Side yard setback.

[Application File No: LUB 2023-12](#)

Resolution No.: 24-11

Applicant: Peter & Amy Bloom

Address: 34 Harreton Road, Allendale, NJ 07401

Block: 509 Lot: 4

Application: Wood Burning fireplace – side yard setback encroachment.

VIII. PUBLIC HEARINGS

Application File No.: 2024-03

Applicant: Kurt Patrick

Address: 271 Lakeside Drive, Allendale, NJ 07401

Block: 408 Lot: 14

Application: Conceptual – New home

[Application and plans](#)

Application File No.: LUB 2024-01

Applicant: Crown Castle

Address: 300 West Crescent Avenue, Allendale, NJ 07401

Block: 201 Lot: 9

Application: Collocation and tower extension.

[Application and Plans](#)

(to be carried to the February 2024 LUB Meeting)

[Application File No: LUB 2024-02](#)

Applicant: Laura Aquino

Address: 203 W. Allendale Avenue, Allendale, NJ 07401

Block: 1708 Lot: 14

Proposed: One story rear addition, conversion of existing garage to living space & construction of a new detached garage. Pursuant to 270-64C(2) and 270-18B(2)

[Soil Erosion Plan](#)

[Engineer's report](#)

IX. OPEN TO THE PUBLIC FOR COMMENT

X. OTHER

XI. ADJOURNMENT

**\*\*AGENDA & AGENDA MATERIALS SUBJECT TO CHANGE\*\***

Borough Website  
Bulletin Board

**BOROUGH OF ALLENDALE**  
**LAND USE BOARD**

**Instructions to applicants**

After receiving denial letter from the Zoning Official, applicant will pick up application packet and check list from the Land Use Administrator.

Applicant will submit to the Land Use Administrator everything as indicated on the check list. Each item on the list must be checked to indicate compliance. Check list is to be signed by applicant.

If application is deemed complete, the applicant will be given a hearing date and advised to send notices to residents within 200 ft. and advertise in newspaper.

When proof of service and proof of publication is received, applicant will be placed on the agenda.

ALLENDALE LAND USE BOARD  
APPLICATION CHECK LIST

NAME Kurt Patrick & Gelsey Patrick BLOCK 408 LOT 14

ADDRESS 271 Lakeside Drive, Allendale, NJ

ZONE \_\_\_\_\_ TYPE OF VARIANCE \_\_\_\_\_

BRIEF DESCRIPTION OF APPLICATION Lot requires hardship permission as well as set back, slope protection, and potential height variances

SPECIFIC VARIANCE(S) REQUIRED \_\_\_\_\_

ADMINISTRATIVE REQUIREMENTS	STATUS
1. Application form complete	X
2. Fee paid	X
3. Denial by Building Inspector	
4. Affidavit of Service	
5. Proof of Publication	
6. Taxes Current	
7. Plot Plan	
8. Maps	X
9. Photographs	
10. Email address Gelseykane@gmail.com; KTP86@msn.com	
11. Miscellaneous	

1/12/2024  
Date

Gelsey Patrick  
Applicant's Signature

REQUIRED MATERIALS AND CHECKLIST FOR  
ALLENDALE LAND USE BOARD HEARINGS

This checklist and attached sample drawings are provided to ensure that you or your professionals are prepared for your hearing and that your application is complete. All items should be supplied to the extent that they are applicable to the specific application. If information is insufficient or missing, the board may deem your application incomplete and adjourn your hearing until it receives all necessary documentation. Please create 15 packets of the below information.

I. PROVIDE AN ACCURATE SURVEY FOR THE PROPERTY IN QUESTION WHICH CONTAINS THE FOLLOWING INFORMATION:

- 1. Footprint of existing buildings or structures.
- 2. Precise distances from all property lines to closest point of principal building including steps, deck or other extensions of the building.
- 3. The location and precise distances of accessory buildings, such as garages and sheds, to property lines and the principal building or structure.
- 4. The location and dimensions of steps, patios, driveways, decks, pools and all other improved impervious areas and their precise distances to nearest property line and structures.
- 5. An accurate depiction of the proposed construction or alteration including the information requested in 1, 2, 3 and 4 above.
- 6. The precise distances from all property lines to the closest point of the proposed construction.

II. AN ENLARGED TAX MAP DEPICTING PROPERTY IN QUESTION AND ITS RELATIONSHIP TO NEIGHBORING PROPERTIES.

- 1. The precise distances from the existing buildings or structure in question to the closest point of all neighboring buildings and structures.
- 2. The precise distances from the proposed construction to the closest point of all neighboring buildings and structures.

III. STRUCTURAL DIMENSIONS:

- 1. All dimensions of existing building or structure.
- 2. All dimensions of proposed building or structure.

N/A

       3. Height of existing building or structure.\*

  X   4. Height of proposed building or structure.\*

\*(height to be measured from lowest point of the ground that abuts the foundation of the structure to the highest point on the roof.)

  X  

       5. Front, rear and side elevations of the proposed structure.

#### IV. FLOOR PLANS.

  N/A  

       1. Floor plans of the existing interior of the building containing all relevant dimensions.

  X  

       2. Floor plans of the interior of the proposed construction containing all relevant dimensions.

  N/A  

       3. Precise square footage of the existing building.

  X  

       4. Precise square footage of the proposed construction.

  X  

       5. Floor area ratio calculation pursuant to Section 270-63 of the zoning ordinance (required for all applications)

#### V. PHOTOGRAPHS.

Email

       1. Photographs of the property in question and existing improvements may be helpful to the Board in presenting your information.

N/A

       2. Photographs of views from the existing building or structure to neighboring properties and buildings which show existing plantings or other buffers are also helpful and may be requested by the Board.

(All photographs should be taken by you or someone who can testify to the Board as to when they were taken and that the photographs represent an accurate depiction of what they saw at the time.)

#### VI. LANDSCAPING AND LAND FEATURES.

  N/A  

       1. The survey, plat or plan should locate and describe any proposed landscaping to be done in connection with the application.

  X  

       2. The location of any unusual property features should be indicated, such as flood plain, streams, wooded areas, rock outcroppings or steep slopes.

#### VII. PREVIOUS APPLICATIONS.

  N/A  

       1. Applicants should be prepared to discuss prior applications to the Land Use Board, Board of Adjustment and Planning Board and the results thereof.

VIII. Any additional information which may be deemed necessary by the Land Use Board, its Consultants or Borough departments and agencies.

NOTE: ALL DIMENSIONS AND DISTANCES MUST BE DEPICTED TO SCALE ON DRAWINGS AND PLANS.

Any questions regarding your hearing or the checklist should be directed to the Land Use Administrator at the Borough of Allendale Municipal Building 201-818-4400 x202. **Please submit fifteen (15) packets with copies of all drawings and plans to the Land Use Administrator at least ten (10) days prior to the hearing.** It is suggested that the property owner refer to the appropriate building code to assure proper engineering and construction techniques, or to secure the services of a local, reputable architect and/or engineer.

1/12/2024

\_\_\_\_\_  
Date

*Gelsey Patrick*

\_\_\_\_\_  
Signature

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM  
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF  
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of Kurt & Gelsey Patrick  
shows that on or about the 10th day of January, 2024  
an application to the Zoning Official for the purpose of (describe intended  
action) building a single family dwelling in which we intend to occupy

on the premises located at (street address) 271 Lakeside Dr, Allendale, NJ  
Block 408 Lot 14  
as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that  
after due consideration the Zoning Enforcement Officer did on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement  
Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of  
appeal with said Officer, together with the required fee of \_\_\_\_\_, and requests that  
action of the Zoning Enforcement Officer be reversed or modified as the facts may be  
determined, and applicant further requests that a day be fixed for hearing on this appeal and  
states that the proper notice will be given to all owners of property situated within two hundred  
(200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

An application is hereby made for a (Hardship) (Floor Area Ratio) (Use) variance from the terms  
of Article(s) and Section(s) \_\_\_\_\_  
\_\_\_\_\_ of the Zoning Ordinance so as to  
permit \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Gelsey Patrick*

Signature of Applicant

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 14 Block(s) 408  
Street Address 271 Lakeside Dr, Allendale, NJ  
Applicant Kurt & Gelsey Patrick Address 101 Arthur St, Ridgefield Park, NJ  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Lessee \_\_\_\_\_ Address \_\_\_\_\_  
Last Previous Occupancy N/A  
Size of Lot 280.63 ft by 56.92 ft / 91.41ft  
Floor area ratio calculation 2400 sq ft for dwelling  
Percentage of lot occupied by building(s) \_\_\_\_\_  
Height of building(s) 44.2 ft stories 3 feet \_\_\_\_\_  
Set back from front property line 11 ft ft. From side (if corner lot) 42.3 ft ft.  
Zoning requirements – Frontage \_\_\_\_\_, side yards \_\_\_\_\_, set-back \_\_\_\_\_, rear yard \_\_\_\_\_  
“Prevailing set-back” of adjoining buildings within one block \_\_\_\_\_  
Has there been any previous appeal involving these premises? \_\_\_\_\_  
If so, state character of appeal and date of disposition \_\_\_\_\_

Proposed use: Single family, owner occupied, dwelling

This application for a use variance includes an application for subdivision N/A, site plan N/A, conditional use N/A approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) Fifteen (15) copies of all application documents
- (c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified “location map” and clearly indicate such buildings and their approximate location, together with “prevailing set-back” dimensions.
- (d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

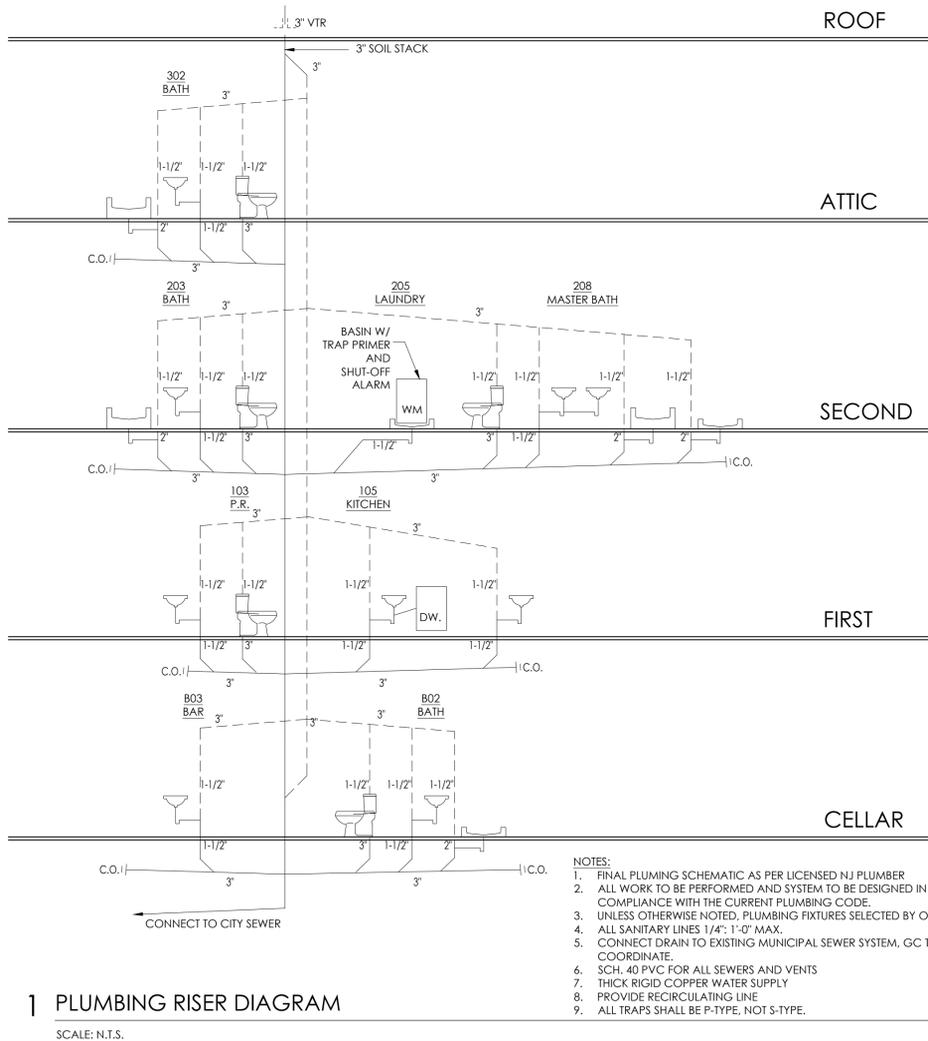
(File all copies with the Land Use Administrator when only a variance is sought.)

Date: 1/12/2024

Gelsey Patrick  
Signature of Applicant or Agent

# PROPOSED NEW CONSTRUCTION FOR: THE PROPOSED RESIDENCE

CONCEPTUAL RENDERING (FOR ILLUSTRATIVE PURPOSES ONLY)



## PROJECT NOTES

- GENERAL CONTRACTOR SHALL:
- PERFORM ALL WORK IN CONFORMANCE TO THE LATEST ADOPTED EDITIONS OF THE NEW JERSEY UNIFORM CONSTRUCTION AND LOCAL CODES AND AGENCIES HAVING JURISDICTION.
  - THE CONTRACTOR SHALL FILE, OBTAIN AND PAY FOR, FOR FULL REIMBURSEMENT BY OWNER, ALL NECESSARY PERMITS, FEES, INSPECTIONS, APPROVALS AND ANY APPLICABLE SALES TAXES.
  - GUARANTEE ALL MATERIAL, WORK OR EQUIPMENT ALTERED OR FURNISHED UNDER THIS CONTRACT, FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE INSTALLATIONS.
  - BE RESPONSIBLE FOR COORDINATING ALL WORK INCLUDED IN THE ENTIRE PROJECT
  - COMPLETE ALL WORK IN A WORKMANLIKE MANNER; WORK WILL NOT CAUSE ANY DIMINUTION OF EXISTING STRUCTURAL STRENGTH, SYSTEM CAPACITY OR MECHANICAL VENTILATION BELOW THAT WHICH CURRENTLY EXISTS. ALL REPLACEMENT FIXTURES, EQUIPMENT OR APPLIANCES WILL NOT INCREASE LOADS ON EXISTING SYSTEMS.
  - COORDINATE WITH OWNER THE REMOVAL/RELOCATION OF EXISTING PLANTINGS, TO GAIN ACCESS TO THE STRUCTURE WHERE NECESSARY, BEFORE WORK. RESTORE ALL EXISTING EXTERIOR CONDITIONS OF STRUCTURE, INCLUDING ALL LANDSCAPED AND GRASSED AREAS, TO PRE-CONSTRUCTION CONDITIONS U.N.O.
  - PATCH, REPAIR AND RESTORE TO PRE-CONSTRUCTION CONDITIONS, WITH MATERIALS AND FINISHES TO MATCH EXISTING U.N.O., ALL AREAS OF THE STRUCTURE THAT HAVE BEEN DISTURBED DUE TO WORK ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT. THIS WORK INCLUDES ALL EXISTING WALLS AND CEILINGS OF PLASTER AND/OR GYPSUM BOARD THAT HAVE CRACKED OR HAVE BEEN DAMAGED DURING CONSTRUCTION AND ANY AREAS WHERE NEW CONSTRUCTION ALIGNS OR MEETS WITH EXISTING CONSTRUCTION.
  - ENSURE ALL CONSTRUCTION EQUIPMENT AND MATERIALS BE STORED AND PLACED SO AS NOT TO ENDANGER INHABITANTS, THE PUBLIC, THE WORKERS, OR ADJOINING PROPERTY FOR THE DURATION OF THE CONSTRUCTION PROJECT.
  - MAINTAIN AT ALL TIMES DURING REMODELING, REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS AT ALL ALTERATIONS, REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE.
  - PROVIDE PRIMING AND FINISH PAINTING AND/OR STAINING ON ALL EXTERIOR AND INTERIOR AREAS OF NEW CONSTRUCTION, INCLUDING WALLS, CEILINGS, CASEWORK, BRICK COLUMNS, CHIMNEY AND TRIM AS PART OF BASE BID. PAINT ALL WALLS EGGSHELL AND ALL TRIM SEMI-GLOSS, OWNER TO SELECT COLOR U.N.O.
  - ENSURE THAT ALL ITEMS OF CONSTRUCTION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - AT THE TERMINATION OF THE WORK, SUBMIT TO THE OWNER A MANUAL OF ALL NECESSARY WARRANTIES, INSTRUCTIONS, MAINTENANCE MANUALS, INSTRUCTIONS FOR CARE AND MAINTENANCE OF SURFACES AND EQUIPMENT. CONTENTS SHALL INCLUDE MANUFACTURER'S AND INSTALLERS NAMES, ADDRESSES AND PHONE NUMBERS AND INSTRUCTIONS FOR INSTALLATION, START-UP, OPERATION, MAINTENANCE, PARTS LIST AND DATA SHEETS. THE CONTRACTOR SHALL FURNISH ALL LITERATURE OF THE MANUFACTURER, RELATING TO EQUIPMENT, INCLUDING MOTORS OR OTHER MANUFACTURER'S EQUIPMENT; ALSO CUTS, WIRING DIAGRAMS, INSTRUCTIONS, AND ALL OTHER INFORMATION THAT WOULD BE USEFUL TO THE OWNER FOR THE OPERATION AND MAINTENANCE OF SAME.
  - FILE FOR, OBTAIN, AND FORWARD TO THE OWNER THE "C.O." (CERTIFICATE OF OCCUPANCY), AND ALL OTHER PERMITS AND CERTIFICATES OF INSPECTION AT THE COMPLETION OF THE PROJECT.

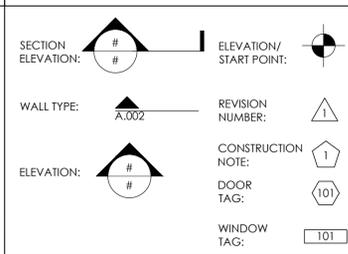
## DIMENSION NOTES

- GENERAL CONTRACTOR SHALL:
- SCALING DRAWINGS:** CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS AND DISCREPANCIES OR UNCLEAR INFORMATION SHALL BE PRESENTED TO THE ARCHITECT FOR CLARIFICATION. CONTRACTOR SHALL FIX, AT HIS EXPENSE, ANY ERRORS DONE DUE TO ASSUMPTIONS THAT LEAD UP TO CONFLICTING SITUATIONS WITH THE INTENT OF THE PROJECT. LARGER SCALE DETAILS ALWAYS TAKE PRECEDENCE OVER SMALLER SCALED DETAILS AND PLANS.
  - INTERIOR DIMENSIONS:** INTERIOR DIMENSION STRINGS (INTERIOR PARTITIONS AND DOORS) ARE MEASURED FROM ONE OR MORE OF THE FOLLOWING:
    - FINISH FACE OF G.W.B.
    - CENTERLINE OF NOTED BUILDING ELEMENTS (CORRIDOR, CEILING RIDGE, DOOR & WINDOW OPENINGS, WALLS, ETC.)
  - EXTERIOR WALL DIMENSIONS:** ALL EXTERIOR STUD FACES ARE ALIGNED WITH THE FACE OF CEMENT PARGING AT FOUNDATION, UNLESS NOTED OTHERWISE.
  - CONFIRMATION OF DIMENSIONS PROVIDED:** ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THESE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE GENERAL CONTRACTOR AND/OR VENDORS PRIOR TO ORDERING ANY MATERIAL OR DOING ANY WORK AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES OR ERRORS IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS ALLOWABLE WITHOUT THE CONSENT OF THE ARCHITECT.
  - VERIFICATION OF EXISTING DIMENSIONS AND CONDITIONS:** THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY MAJOR DISCREPANCIES PRIOR TO STARTING WORK. ALL NEW WORK CAN BE MODIFIED BY FIELD CONDITIONS. CONSULT WITH ARCHITECT PRIOR TO MODIFICATIONS.
  - PLUS/MINUS DIMENSIONS ("+" OR "-"): ARE FLEXIBLE DIMENSIONS REQUIRING CLOSE ATTENTION TO ALIGNMENTS OR MATCHING EXISTING ADJACENT CONDITIONS. CONTRACTOR MUST CLOSELY EXAMINE THE DIMENSION STRING AND STRATEGY IN ORDER TO DETERMINE THE INTENT OF THIS DIMENSION RELATIVE TO THOSE AROUND IT. THIS DIMENSION IS ONLY PROVIDED AS A VERIFICATION AND FOR CONTRACTORS ROUGH USE IN DETERMINING SIZES FOR COST ESTIMATING PURPOSES.**
  - INTER-FLOOR ALIGNMENTS:** WHEN ELEMENTS ARE DIMENSIONED IN RELATION TO CONSTRUCTION ELEMENTS ON THE FLOOR OR FLOORS ABOVE AND/OR BELOW, THE CONTRACTOR MUST VERIFY ALIGNMENTS ARE TRANSLATED ON THE EXTERIOR AND INTERIOR OF THE STRUCTURE, UNLESS NOTED OTHERWISE.

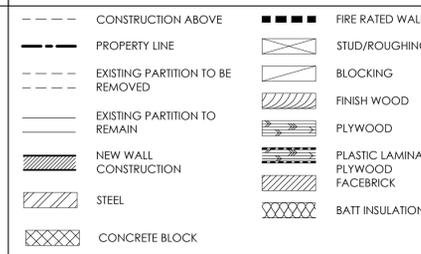
## ABBREVIATIONS

ABV.	ABOVE	EA.	EACH	OPP.	OPPOSITE
ACT.	ACOUSTIC CEILING TILE	EQ.	EQUAL	RM.	ROOM
AFF.	ABOVE FINISH FLOOR	EXIS.	EXISTING	R.O.	ROUGH OPENING
APPROX.	APPROXIMATE	EXT.	EXTERIOR	SCHED.	SCHEDULE
ARCH.	ARCHITECT	FIN.	FINISH	SF	SQUARE FOOT
BLW.	BELOW	FLR.	FLOOR	SIM.	SIMILAR
BOT.	BOTTOM	G.C.	GENERAL CONTRACTOR	SPECS.	SPECIFICATIONS
CL	CENTERLINE	GWB	GYPSUM WALL BOARD	SS	STAINLESS STEEL
CLOS.	CLOSET	INSUL.	INSULATION	T.O.	TRIMMED OPENING
CLG.	CEILING	LAV.	LAVATORY	TYP.	TYPICAL
DIA.	DIAMETER	MFR.	MANUFACTURER	U.O.N.	UNLESS OTHERWISE NOTED
DIM.	DIMENSION	MTD.	MOUNTED	V.I.F.	VERIFY IN FIELD

## DRAWING KEYS



## CONSTRUCTION SYMBOLS



## PROJECT DESCRIPTION

THE PROPOSED WORK IS FOR THE DEMOLITION OF AN EXISTING (2) TWO STORY, (1) FAMILY DWELLING DOWN TO FOUNDATION. THE CONSTRUCTION OF NEW 2-1/2 STORY (1) ONE FAMILY DWELLING OVER EXISTING EXTENDED FOUNDATION. APPROVAL BY THE ZONING BOARD OF ADJUSTMENT WAS GRANTED ON SEPTEMBER 15, 2020.

## ENFORCING BUILDING CODES

- BUILDING CODE:**  
INTERNATIONAL RESIDENTIAL CODE - NJ ED. 2018  
OBTAINED FROM: INTERNATIONAL CODE COUNCIL, INC
- REHABILITATION CODE:**  
REHABILITATION SUBCODE 5-23-6  
OBTAINED FROM STATE OF NJ, DEPARTMENT OF COMMUNITY AFFAIRS
- MECHANICAL CODE:**  
INTERNATIONAL MECHANICAL CODE, 2018  
OBTAINED FROM INTERNATIONAL CODE COUNCIL
- ELECTRICAL CODE:**  
NATIONAL ELECTRICAL CODE (NFPA 70) 2017  
OBTAINED FROM NATIONAL FIRE PROTECTION ASSOC.
- PLUMBING CODE:**  
NATIONAL STANDARD PLUMBING CODE, 2018  
OBTAINED FROM NATIONAL ASSOC. OF PLUMBING-HEATING-COOLING CONTRACTORS
- FUEL GAS CODE:**  
INTERNATIONAL FUEL GAS CODE, 2018  
OBTAINED FROM INTERNATIONAL CODE COUNCIL
- ENERGY CONSERVATION CODE:**  
INTERNATIONAL ENERGY CONSERVATION CODE, 2018  
OBTAINED FROM INTERNATIONAL CODE COUNCIL

## WALL PARTITION LEGEND

NUMBER	MATERIAL	DIAGRAM
A-001	NON-RATED - WOOD STUD PARTITION WALL 4-1/2" G.W.B WALL NEW 2X4 WOOD STUD INTERIOR WALL @ 16" O.C. W/ 1/2" G.W.B EA. SIDE, TAPED SPACKLED PRIMED AND PAINTED WITH TWO COATS OF FINISH PAINT. AT KITCHEN AREAS, PROVIDE BLOCKING BETWEEN STUDS TO FACILITATE INSTALLATION OF CABINETS. AT WET LOCATIONS, USE MOISTURE RESISTANT G.W.B. AT BASEMENTS USE P.T. STUDS AND M.R. G.W.B. AT SHOWER AREAS, USE FIBER CEMENT BOARD. ALL INTERIOR WALLS ARE A-001 UNLESS OTHERWISE NOTED.	
A-002	1 HR RATED - WOOD STUD PARTITION WALL 4-3/4" G.W.B WALL NEW 2X4 WOOD STUD INTERIOR WALL @ 16" O.C. W/ 5/8" TYPE "X" G.W.B EA. SIDE, TAPED SPACKLED PRIMED AND PAINTED WITH TWO COATS OF FINISH PAINT. AT KITCHEN AREAS, PROVIDE BLOCKING BETWEEN STUDS TO FACILITATE INSTALLATION OF CABINETS. AT WET LOCATIONS, USE M.R. G.W.B. AT SHOWER AREAS, USE FIBER CEMENT BOARD.	
A-003	NON-RATED - WOOD PLUMBING / CHASE WALL 6-5/8" G.W.B WALL PROVIDE 2X6 WALL STUDS, SPACED 16" O.C., W/ 5/8" MOLD TOUGH G.W.B. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT. AT SHOWER AREAS, USE FIBER CEMENT BOARD. AT BASEMENTS USE P.T. STUDS AND M.R. G.W.B. INSULATE @ PIPES.	
B-001	BASEMENT PERIMETER FURRED WALL PLACE A .6 MIL VAPOR BARRIER OVER INTERIOR FACE OF CONCRETE WALL. SET PRESSURE TREATED DOUBLE PLATE 1/2" FROM FACE OF WALL, REVIEW WALL FOR EVENNESS PRIOR TO SETTING PLATE. PROVIDE 2X4 P.T. WALL STUDS, SPACED 24" O.C., KRAFT FACED R-15 BATT INSULATION W/ 5/8" MOLD TOUGH G.W.B. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT.	
B-002	BASEMENT PERIMETER FURRED WALL PLACE A .6 MIL VAPOR BARRIER OVER INTERIOR FACE OF CONCRETE WALL, PROVIDE 2X4 P.T. WALL STUDS ON FLAT, SPACED 24" O.C., RIGID R-5T INSULATION W/ 5/8" MOLD TOUGH G.W.B. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT.	

## MEP NOTES

- HVAC SYSTEM:**  
HVAC SYSTEM SHALL BE MODIFIED / PROVIDED ON A DESIGN-BUILD BASIS. WORK SHALL INCLUDE DESIGN, FURNISHING AND INSTALLATION OF HVAC SYSTEM, AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION.
- MECHANICAL DESIGN DRAWINGS AND SHOP DRAWINGS SHALL BE PROVIDED FOR ARCHITECT'S REVIEW / APPROVAL.
- ALL VENTS SHALL BE HIDDEN FROM THE FRONT OF THE STRUCTURE.
- ELECTRICAL SYSTEM & EMERGENCY ELECTRICAL SYSTEMS:**  
ELECTRICAL SYSTEM AND EMERGENCY ELECTRICAL SYSTEMS SHALL BE PROVIDED ON A DESIGN-BUILD BASIS. WORK SHALL INCLUDE DESIGN, FURNISHING AND INSTALLATION OF AN ELECTRICAL SYSTEM, AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. PROVIDE ELECTRIC POWER RISER DIAGRAM(S) AND PANEL SCHEDULE(S) FOR ARCHITECT'S REVIEW AND APPROVAL. PROVIDE FIRE ALARM DIAGRAM(S)/DRAWING(S) IN ACCORDANCE WITH THE CURRENT IBC AND CODES HAVING JURISDICTION.

## ZONING INFORMATION

ZONE: R-2 BLOCK: 10 LOT: 13.01 BUILDING USE GROUP: R-5 CONSTRUCTION TYPE: VB STORIES: 2.5 AREA: 1,398 SF

**\*\*SEE ENGINEER'S DRAWINGS FOR ALL SITE PLAN, ZONING, & GRADING INFORMATION\*\***

## KEY MAP

## SQUARE FOOTAGE AND VOLUME CALC.

SQUARE FOOTAGE	EXISTING	PROPOSED	TOTAL
CELLAR	569	407	976
CELLAR WALK-OUT	0	317	317
FIRST FLOOR	0	1,157	1,157
COVERED PORCH	0	317	317
SECOND FLOOR	0	1,292	1,292
BALCONY	0	59	59
OPEN TO BELOW	0	106	106
ATTIC LOFT	0	417	417
ROOF TERRACE	0	517	517
TOTAL S.F.	569	4,589	5,158
<b>VOLUME</b>			
CELLAR	3,983	2,849	6832
CELLAR WALK-OUT	0	2,430	2,430
FIRST FLOOR	0	10,413	10,413
COVERED PORCH	0	2,853	2,853
SECOND FLOOR	0	11,628	11,628
OPEN TO BELOW	0	954	954
ATTIC LOFT	0	4,379	4,379
TOTAL VOLUME	3,983	35,506	<b>39,489</b>

## DRAWING LIST

DWG NO.	DESCRIPTION	LATEST REVISION
A.000	KEY MAP, TITLE, NOTES, PRD. CONCEPT, RENDER	NOV. 03, 2020
A.200	CONSTRUCTION & FRAMING PLANS: CELLAR	NOV. 03, 2020
A.201	CONST. & FRAMING PLANS: 1ST FLR, DOOR SCH.	NOV. 03, 2020
A.202	CONST. & FRAMING PLANS: 2ND FLR, WIN. SCH.	NOV. 03, 2020
A.203	CONSTRUCTION & FRAMING PLANS: ATTIC	NOV. 03, 2020
A.204	CONSTRUCTION & FRAMING PLANS: ROOF	NOV. 03, 2020
A.300	REFLECTED CEILING AND POWER PLANS	NOV. 03, 2020
A.400	DIAGRAMMATIC SECTIONS, STAIR DETAILS	NOV. 03, 2020
A.401	DIAGRAMMATIC SECTIONS, CONCEPT, RENDERERS	NOV. 03, 2020
A.500	EXTERIOR ELEVATIONS	NOV. 03, 2020
A.600	TYPICAL WALL SECTION, DETAILS	NOV. 03, 2020
A.800	SPECIFICATIONS	NOV. 03, 2020

## CONSULTANTS

**CIVIL ENGINEER**  
DJ EGARIAN & ASSOCIATES, INC.  
271 US HIGHWAY 46 WEST  
SUITE G-208  
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**PLAN ARCHITECTURE**  
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REVISIONS:

NO.	DESCRIPTION	YEAR/MO/DA

PROJECT: PROPOSED NEW CONSTRUCTION FOR  
**THE PROPOSED RESIDENCE**

FLOOR OR FLOORS (IF APPLICABLE):  
**TITLE**  
KEY MAP, TITLE, NOTES, PLUMBING RISER, RENDER

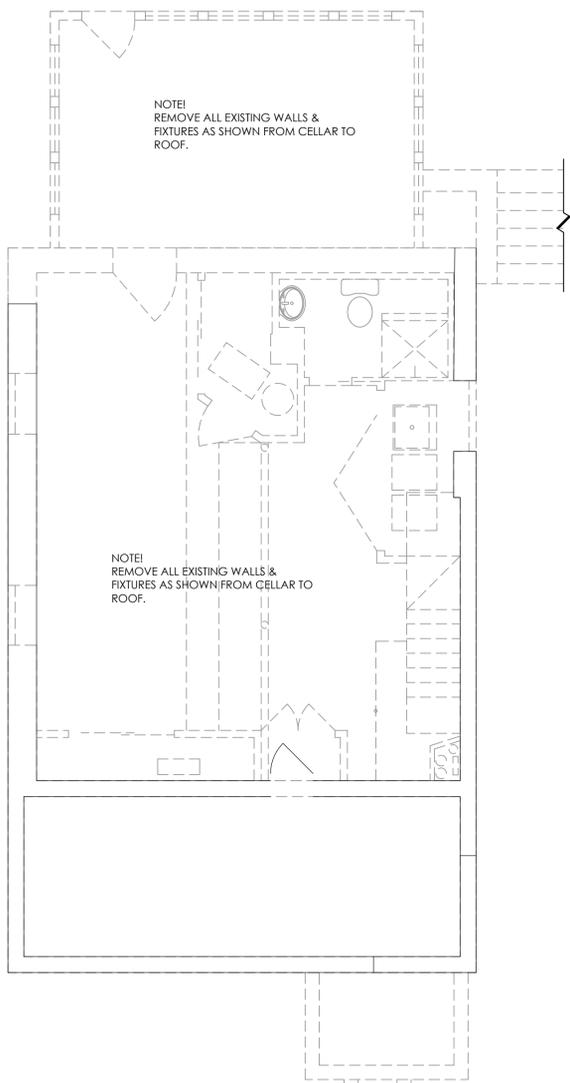
SEAL & SIGNATURE: \_\_\_\_\_ DATE: NOV. 3, 2020  
PROJECT NO.: 19-0611  
SCALE: AS NOTED  
DWG. BY: JLD/WAG  
CHK. BY: DD  
DWG NO.: \_\_\_\_\_

DANIEL D'AGOSTINO, A.I.A.  
N.J. LIC. NO: 2140188000

A.000

### DEMOLITION NOTES

- BEFORE WORK IS BEGUN, CONTRACTOR SHALL PROVIDE ALL BARRICADES, FENCES, BRACES, PROTECTIVE BARRIERS AND SAFETY DEVICES TO ENSURE COMPLETE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEVICES MUST BE MAINTAINED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR.
- IF NECESSARY, PROVIDE TEMPORARY STRUCTURAL SHORING AS REQUIRED TO COMPLETE THE WORK WITHOUT WEAKENING THE EXISTING STRUCTURE. ALL WORK SHALL BE DONE IN A MANNER AS TO NOT LESSEN THE STRUCTURAL INTEGRITY OF THE WORK TO REMAIN. OR TO DAMAGE OR ADVERSELY AFFECT ADJACENT PORTIONS OF THE STRUCTURE. CONSULT WITH ARCHITECT SHOULD QUESTIONS ARISE REGARDING UNDERMINING ANY EXISTING STRUCTURE.
- DISCONNECT AND/OR SHUTDOWN PLUMBING, ELECTRICAL AND DUCT WORK AS REQUIRED. UTILITIES SERVING THE EXISTING BUILDING MUST BE SAFEGUARDED AGAINST DAMAGE THROUGHOUT THE DEMOLITION WORK.
- REMOVE, REROUTE, CAP OR TERMINATE AS REQUIRED WITH NO CHANGE IN PERFORMANCE. ALL ELECTRICAL, PLUMBING, MECHANICAL OR OTHER SUCH WORK LOCATED IN WALLS, PARTITIONS, CEILING OR FLOORS THAT OCCUR WHERE EXISTING WORK IS TO BE REMOVED OR RELOCATED AND/OR NEW OPENINGS ARE TO BE CUT IN EXISTING WORK. CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL PROJECTING PLUMBING AND ELECTRICAL ITEMS.
- REMOVE ALL INTERIOR FINISHES, AS NECESSARY TO COMPLETE WORK.
- TAKE SPECIAL CARE TO ENSURE THAT NO DAMAGE OCCURS IN ANY OTHER AREA OF THE BUILDING DURING DEMOLITION OF INDICATED AREAS.
- TAKE SPECIAL CARE TO PREVENT DIRT, DUST AND CONSTRUCTION DEBRIS FROM ENTERING OTHER AREAS OF THE BUILDING. DOORS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL BE COVERED AND TAPED, AND OPENINGS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL BE CLOSED OFF WITH PLASTIC AND SEALED WITH WITH TAPE WHEREVER POSSIBLE, WITHOUT DAMAGING THE EXISTING CONDITIONS.
- KEEP WORK CLEAN ON A DAILY BASIS. ALL DEBRIS SHALL BE PUT IN A CONTAINER AT DAY'S END.
- CONSULT WITH OWNER PRIOR TO DISCARDING ANY EXISTING FIXTURES, HARDWARE OR OTHER ITEMS THAT THE OWNER MAY WISH TO RE-USE.
- DO ANY WORK ON THE EXISTING CONSTRUCTION NECESSARY TO ACCOMPLISH THE INTENT OF THESE DOCUMENTS INCLUDING BUT NOT LIMITED TO THE REMOVAL AND DISPOSAL OF EXISTING MATERIALS, INSTALLATION OF NEW MATERIALS, PATCHING AND REFINISHING OF EXISTING SURFACES AND RE-CONDITIONING AND REPAIR OF EXISTING MATERIALS THAT ARE SHOWN TO BE REUSED. ANY DEMOLITION WORK OR MODIFICATION WORK INDICATED ON THE DRAWINGS AND NOT SPECIFIED, OR VICE VERSA, SHALL BE COMPLETED BY THE CONTRACTOR AND SHALL BE INCLUDED AS PART OF THE CONTRACT.
- CONTRACTOR TO VERIFY ALL DEMOLITION DIMENSIONS AS THEY RELATE TO THE CONSTRUCTION PLANS. IF ANY MAJOR DISCREPANCIES ARE ENCOUNTERED, NOTIFY THE ARCHITECT.
- ANY EXPOSED CONDITIONS WHICH REVEAL STRUCTURAL FAILURE, MATERIAL DAMAGE OR LOSS OF FUNCTIONALITY SHALL BE PRESENTED TO THE OWNER WITH SUGGESTIONS FOR REMEDY PRIOR TO EXECUTING.

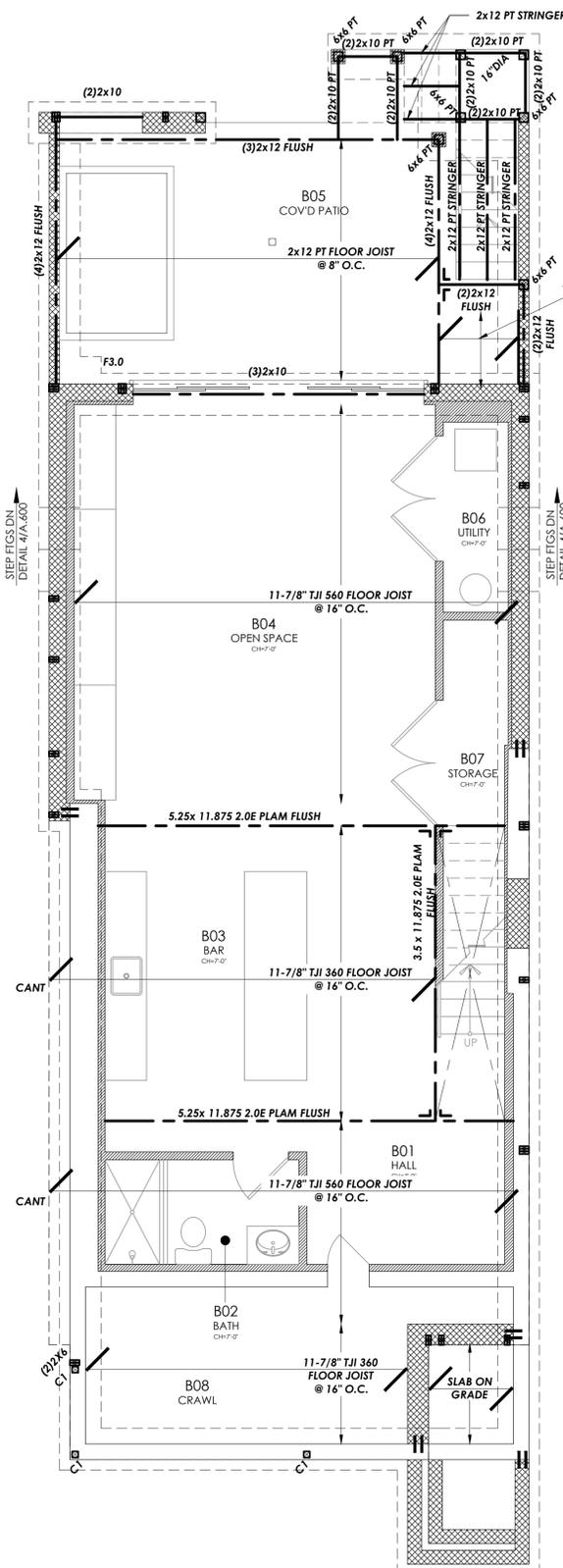


**3 DEMOLITION PLAN: CELLAR**

SCALE: 1/4"=1'-0"

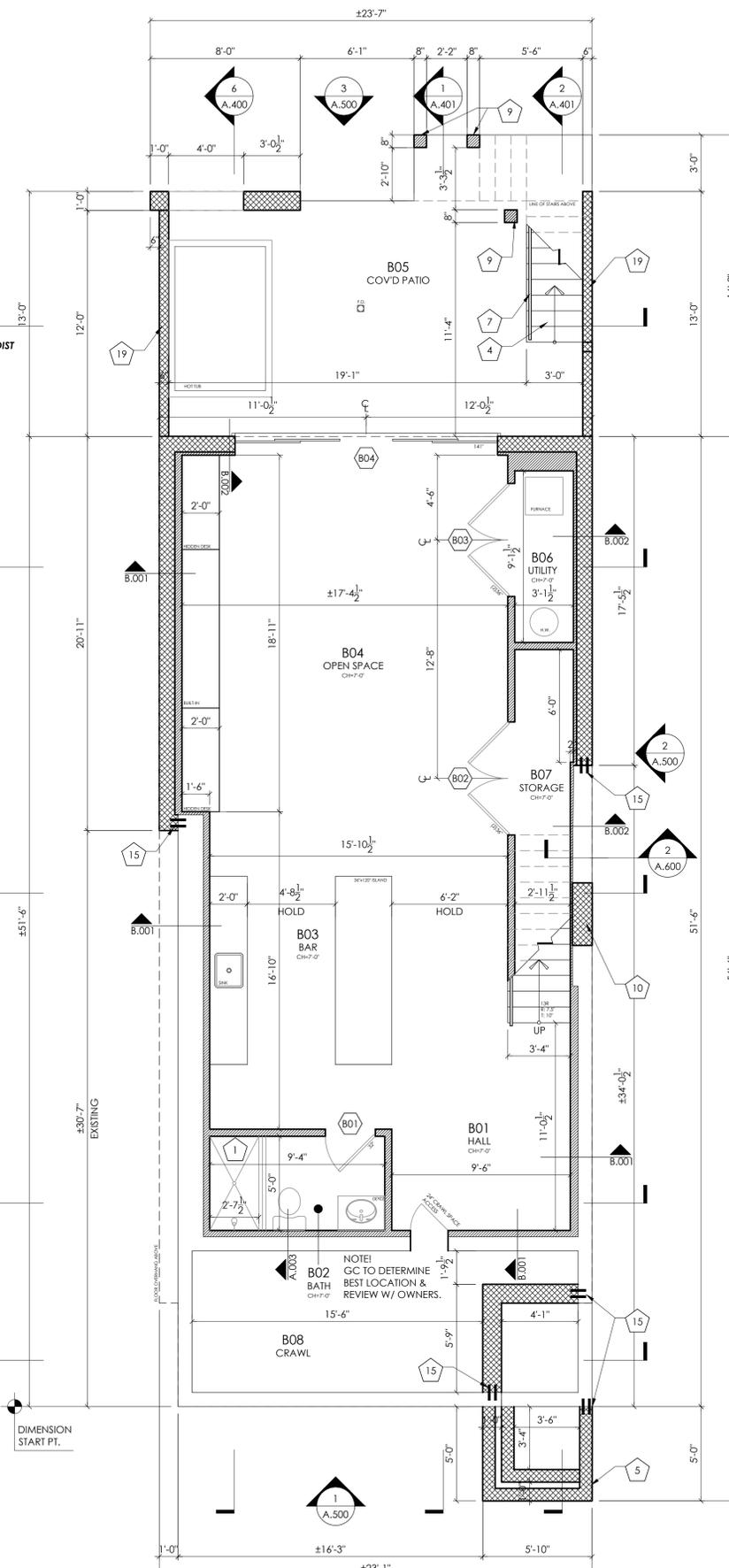
**2 FRAMING PLAN: CELLAR**

SCALE: 1/4"=1'-0"



**1 CONSTRUCTION PLAN: CELLAR**

SCALE: 1/4"=1'-0"



### FRAMING NOTES

- SEE A.203 FOR ALL STRUCTURAL NOTES.
- ALL POST TO BE CONTINUOUS (OR ADD BLOCKING) AND TO SUPPORTED ON THE BEAM BELOW OR ON THE FOUNDATION BELOW (TYP)
- PROVIDE FULL DEPTH BLOCKING BETWEEN POST UP AND POST DOWN (TYP)
- HEADERS: (2)2x10 MIN. U.O.N
- ALL BEAM TO BEAM CONNECTION W/ USP OR SIMPSON CONNECTOR, FOR FULL CAPACITY. (TYP)
- ALL PSL BEAMS TO BE SUPPORTED ON PSL POST FOR FULL WIDTH BEARING. NOT ALL POSTS SHOWN ON PLANS.
- ASSUMED SOIL CAPACITY: 2,000 PSF. FIELD VERIFY.

### FOUNDATION INFO.

FOUNDATION WALL	
@ CELLAR	10" THICK (U.O.N.)
@ MASONRY STAIR	8" THICK (U.O.N.)
ELEVATION DATUMS	
B.O. FOOTING	
@ CELLAR	MATCH EXISTING
@ MASONRY STAIR	42" BELOW GRADE
T.O. F.W.	-15 5/8"
T.O. F.W. SHOE BLOCK	-3 3/4"

### STRUCTURAL LOADS

LEVEL	LIVE	DEAD	TOTAL
CELLAR	OG	OG	OG
1ST FL	40 PSF	20 PSF	60 PSF
2ND FL	40 PSF	20 PSF	60 PSF
ROOF	30 PSF	20 PSF	50 PSF
WIND SPEED			115 MPH

### COLUMN SCHEDULE

NO.	DESCRIPTION
C-1	STEEL COLUMN, HSS 3-1/2x3-1/2" x 1/4" WITH WELDED 1/2" THICK CAP AND BASE PLATE AND W/ (4) 1/2" DIA. ANCHOR BOLTS IN BASE PLATE TO FOUNDATION OR PIER.

### FOOTING SCHEDULE

NO.	LxW	THICK	REINFORCEMENT
F-3.0	36"x36"	12"	(4) #5, BOTTOM, E.W.

### CONSTRUCTION LEGEND

- CUSTOM TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
- GC TO PROVIDE GAS LINE FOR NEW GRILL.
- GAS FIREPLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
- NEW WOOD/COMPOSITE DECKING & STAIR TO BE SELECTED BY OWNER.
- MASONRY STAIR W/ LIMESTONE TREADS.
- 36" HIGH METAL AND CABLE GUARD RAIL SYSTEM TO BE SELECTED BY OWNER AND INSTALLED AS PER MANUFACTURER.
- GUARD WITH POST AT SIDES OF STAIRS AND RAILINGS. OWNER SELECT WOOD OR PVC RAILING.
- CEDAR SLAT WOOD SCREEN WALL, AS SELECTED. 4" MAX. HORIZONTAL & VERTICAL SPACING. PER IBC 1607.8.1.1 SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS.
- STRUCTURAL COLUMN AS SELECTED.
- FILL TO MATCH AND ALIGN WITH ADJACENT MATERIALS.
- 5" CONT. ALUM. GUTTER WITH 4" ALUMINUM DOWNSPOUTS. OWNER TO SELECT FINISH.
- EPDM ROOFING. PITCHED AS PER PLAN.
- STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C., COLOR TO BE SELECTED BY OWNER.
- 6" SCUPPER SET 4" ABOVE ROOF LINE. PROVIDE OVERFLOW.
- PIN TO EXISTING FOUNDATION WALLS & FOOTING AS POSSIBLE W/ (2) #4 REBAR, DRILLED AND EPOXY SET.
- 36" HIGH WALL WITH CAP AS SELECTED.
- WASHER AND DRYER, OWNER TO SELECT. NEW WASHER MACHINE TO BE SET IN DRAINAGE BASIN WITH EMERGENCY SHUT OFF VALVE AND TRAP PRIMER. PROVIDE 4" DIA. EXHAUST FOR DRYER.
- WATERPROOF VINYL MEMBRAN SYSTEM BY DURADECK OR EQUAL. PITCH TO DRAIN AS PER PLAN.
- RETAINING WALLS. SEE CIVIL DRAWINGS FOR HEIGHT.

### ELEVATION DATUMS

CELLAR	-8'-2"
COVERED PATIO	-8'-0"
FIRST	0'-0"
COVERED PORCH	0'-0"
SECOND	10'-1 3/4"
ATTIC	20'-3 1/2"
T.O. ROOF DECK	20'-3 1/2"

**PERMIT SET**

**PLAN ARCHITECTURE**  
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 T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR/MO.DA

PROJECT: PROPOSED NEW CONSTRUCTION FOR  
**THE PROPOSED RESIDENCE**

FLOOR OR FLOORS (IF APPLICABLE):  
**CELLAR**  
 CONSTRUCTION, FRAMING & DEMO PLANS

SEAL & SIGNATURE: \_\_\_\_\_ DATE: NOV. 3, 2020

PROJECT NO.: 19-0611  
 SCALE: AS NOTED  
 DWG. BY: JLD/WAG  
 CHK. BY: DD  
 DWG. NO.: \_\_\_\_\_

**A.200**

DANIEL D'AGOSTINO, A.I.A.  
 N.J. LIC. NO. 2140188000

-ALL INTERIOR WALLS TO BE TYPE A-001, U.N.O. SEE WALL PARTITION SCHEDULE ON A.000 FOR WALL ASSEMBLIES.  
 -SEE SHEET A.201 FOR DOOR AND A.202 FOR WINDOW SCHEDULES.  
 -SEE TYP. STAIR AND RAIL DETAIL 7 ON SH. A.400  
 -SEE TYP. WALL SECTIONS ON SHEET A.600.  
 -APPLIANCES TO BE SELECTED BY OWNER.  
 -PLUMBING FIXTURES TO BE SELECTED BY OWNER.  
 -FINISHES TO BE SELECTED BY OWNER.  
 -CABINETS AND COUNTERTOPS TO BE SELECTED BY OWNER.  
 -SHELVING SYSTEMS TO BE SELECTED BY OWNER.  
 -ALL INTERIOR STAIRS TO BE STAINED OAK TREAD W/ PAINT GRADE PINE RISER, W/ CONTINUOUS WOOD HAND RAIL, SPACE HANDRAIL 1-1/2" FROM WALL. COLOR TO BE SELECTED BY OWNER.-ALL GUARD RAILS TO BE 36" A.F.F.

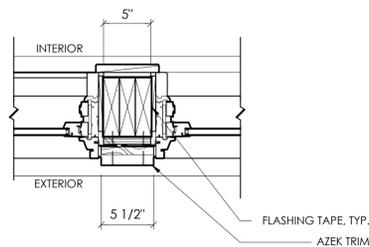


### WINDOW SCHEDULE

NUMBER	VENTING TYPE	MODEL	WIDTH	HEIGHT	HEAD HEIGHT	EGRESS	TEMP	REMARKS
101	FIXED	9090	90"	90"	96"	N	Y	
102	TRANS. OVER CASEMENT	3225 OVER 3245	32"	90"	96"	N	Y	GANGED
103	TRANS. OVER CASEMENT	3525 OVER 3545	35"	90"	96"	N	Y	GANGED
104	(3)TRANS. OVER CASEMENT	3525, 5925 OVER 3545	94" OVER 35"	90"	96"	N	Y	GANGED, SEE ELEVATION
105	CASEMENT	3253	32"	53"	96"	N	N	
201	FIXED	9090	90"	90"	218" ABOVE 1ST FLR	N	Y	
202	TRANS. OVER CASEMENT	3225 OVER 3245	32"	90"	218" ABOVE 1ST FLR	N	N	GANGED
203	TRANS. OVER CASEMENT	3525 OVER 3545	35"	90"	218" ABOVE 1ST FLR	N	N	GANGED
204	TRANS. OVER CASEMENT	3525 OVER 3545	35"	90"	96"	N	Y	GANGED
205	TRANS. OVER CASEMENT	3525 OVER 3545	35"	90"	96"	Y	N	GANGED
206	FIXED	4741	47"	41"	96"	N	Y	WET LOC.
207	CASEMENT	3253	32"	53"	96"	N	Y	
208	TRANS. OVER CASEMENT	3525 OVER 3545	35"	90"	96"	Y	N	GANGED
209	FIXED	4717	47"	17"	96"	N	Y	
210	CASEMENT	2553	25"	53"	96"	N	Y	
211	FIXED	4717	47"	17"	96"	N	Y	
212	TRANS. OVER CASEMENT	3525 OVER 3545	35"	90"	96"	Y	N	GANGED
213	FIXED	4190	41"	90"	218" ABOVE 1ST FLR	N	Y	
301	CASEMENT	(3)3547	105"	47"	96"	N	Y	GANGED

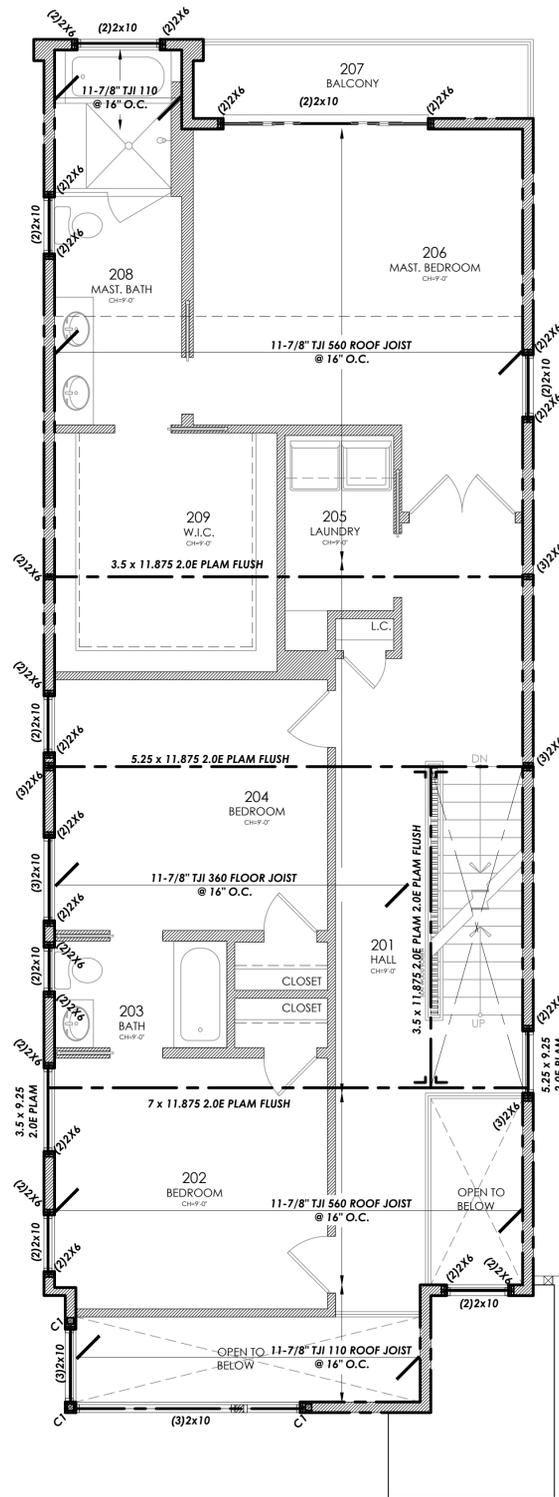
### WINDOW NOTES

- ALL WINDOWS AND GLASS DOORS TO BE PELLA PROLINE SERIES OR EQUAL. CATALOG NUMBER AS INDICATED ON DRAWINGS WITH LOW-E4/LOW-E GLASS. PRIOR TO ORDERING AND FRAMING, CONTRACTOR SHALL VERIFY SPECIFICATION, SIZE, ROUGH OPENING AND LOCATION OF WINDOWS.
- IN CONJUNCTION WITH THE OWNER OR OWNER'S INTERIOR DECORATOR, CONTRACTOR SHALL VERIFY FINISHES AND HARDWARE. FOR BIDDING PURPOSES, ASSUME WHITE EXTERIOR, PINE INTERIOR, STANDARD CAM LOCK & KEEPER, CLASSIC SERIES FINGER LIFTS ALL WITH SATIN NICKEL FINISH. WINDOW SCREENS SHALL BE TRUSCENE INSECT SCREENS.
- WINDOW OPENING LIMITING DEVICES SHALL BE INSTALLED AT WINDOWS WHERE THE WINDOW SILL IS LOCATED GREATER THAN 72" ABOVE THE FINISH GRADE TO THE EXTERIOR AND THE SILL IS LOCATED WITHIN 24" OF THE FINISHED FLOOR THE WINDOW IS LOCATED. WINDOW OPENING LIMITING DEVICES SHALL BE SELF ACTING AND POSITIONED TO PROHIBIT THE FREE PASSAGE OF A 4" DIAMETER RIGID SPHERE. LIMITING DEVICE SHALL BE DESIGNED WITH AN EMERGENCY RELEASE MECHANISM REQUIRING NO MORE THAN 15 POUNDS OF FORCE, OPERATES IN ALL TYPES OF WEATHER, CLEARLY IDENTIFIED AND NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT BELOW CODE MINIMUM.
- PROVIDE AND INSTALL ALL WINDOWS AND RELATED TRIM AS SHOWN IN DRAWINGS. PREPARE ROUGH OPENINGS AND INSTALL UNITS PER MANUFACTURER'S REQUIREMENTS.
- ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED. PROVIDE COMPLETE WEATHERSTRIPPING OF JAMBS, HEAD AND SILL AT ALL EXTERIOR OPENINGS



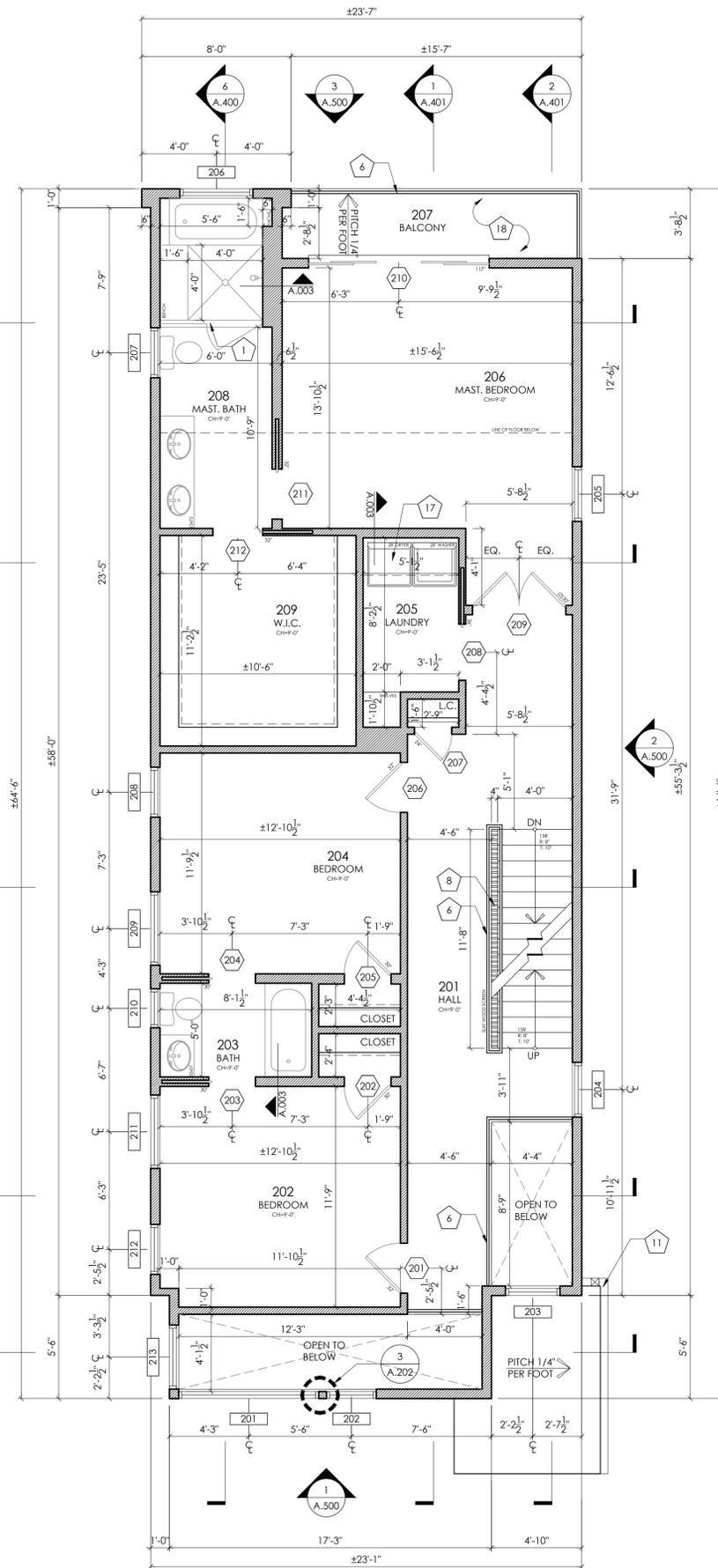
### 3 WINDOW JOINERY DETAIL

SCALE: 1" = 1'-0"



### 2 FRAMING PLAN: SECOND FLOOR

SCALE: 1/4" = 1'-0"



### 1 CONSTRUCTION PLAN: SECOND FLOOR

SCALE: 1/4" = 1'-0"

### FRAMING NOTES

- SEE A.203 FOR ALL STRUCTURAL NOTES.
- ALL POST TO BE CONTINUOUS (OR ADD BLOCKING) AND TO SUPPORTED ON THE BEAM BELOW OR ON THE FOUNDATION BELOW (TYP)
- PROVIDE FULL DEPTH BLOCKING BETWEEN POST UP AND POST DOWN (TYP)
- HEADERS: (2)2x10 MIN. U.O.N
- ALL BEAM TO BEAM CONNECTION W/ USP OR SIMPSON CONNECTOR, FOR FULL CAPACITY. (TYP)
- ALL PSL BEAMS TO BE SUPPORTED ON PSL POST FOR FULL WIDTH BEARING. NOT ALL POSTS SHOWN ON PLANS.
- ASSUMED SOIL CAPACITY: 2,000 PSF, FIELD VERIFY.

### FOUNDATION INFO.

FOUNDATION WALL	
@ CELLAR	10" THICK (U.O.N.)
@ MASONRY STAIR	8" THICK (U.O.N.)
ELEVATION DATUMS	
@ CELLAR	MATCH EXISTING
@ MASONRY STAIR	42" BELOW GRADE
T.O. F.W.	-15 5/8"
T.O. F.W. SHOE BLOCK	-3 3/4"

### STRUCTURAL LOADS

LEVEL	LIVE	DEAD	TOTAL
CELLAR	OG	OG	OG
1ST FL	40 PSF	20 PSF	60 PSF
2ND FL	40 PSF	20 PSF	60 PSF
ROOF	30 PSF	20 PSF	50 PSF
WIND SPEED			115 MPH

### COLUMN SCHEDULE

NO.	DESCRIPTION
C-1	STEEL COLUMN, HSS 3-1/2x3-1/2" x 1/4" WITH WELDED 1/2" THICK CAP AND BASE PLATE AND W/ (4) 1/2" DIA. ANCHOR BOLTS IN BASE PLATE TO FOUNDATION OR PIER.

### CONSTRUCTION LEGEND

- CUSTOM TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
- GC TO PROVIDE GAS LINE FOR NEW GRILL.
- GAS FIREPLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
- NEW WOOD/COMPOSITE DECKING & STAIR TO BE SELECTED BY OWNER.
- MASONRY STAIR W/ LIMESTONE TREADS.
- 36" HIGH METAL AND CABLE GUARD RAIL SYSTEM TO BE SELECTED BY OWNER AND INSTALLED AS PER MANUFACTURER.
- GUARD WITH POST AT SIDES OF STAIRS AND RAILINGS. OWNER SELECT WOOD OR PVC RAILING.
- CEDAR SLAT WOOD SCREEN WALL, AS SPECIFIED. 4" MAX. HORIZONTAL & VERTICAL SPACING. PER IBC 1607.8.1.1 SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS.
- STRUCTURAL COLUMN AS SELECTED.
- FILL TO MATCH AND ALIGN WITH ADJACENT MATERIALS.
- 5" CONT. ALUM. GUTTER WITH 4" ALUMINUM DOWNSPOUTS. OWNER TO SELECT FINISH.
- EPDM ROOFING. PITCHED AS PER PLAN.
- STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C., COLOR TO BE SELECTED BY OWNER.
- 6" SCUPPER SET 4" ABOVE ROOF LINE. PROVIDE OVERFLOW.
- PIN TO EXISTING FOUNDATION WALLS & FOOTING AS POSSIBLE W/ (2) #4 REBAR, DRILLED AND EPOXY SET.
- 36" HIGH WALL WITH CAP AS SELECTED.
- WASHER AND DRYER, OWNER TO SELECT. NEW WASHER MACHINE TO BE SET IN DRAINAGE BASIN WITH EMERGENCY SHUT OFF VALVE AND TRAP PRIMER. PROVIDE 4" DIA. EXHAUST FOR DRYER.
- WATERPROOF VINYL MEMBRAN SYSTEM BY DURADECK OR EQUAL. PITCH TO DRAIN AS PER PLAN.
- RETAINING WALLS, SEE CIVIL DRAWINGS FOR HEIGHT.

### ELEVATION DATUMS

CELLAR	-8'-2"
COVERED PATIO	-8'-0"
FIRST	0'-0"
COVERED PORCH	0'-0"
SECOND	10'-1 3/4"
ATTIC	20'-3 1/2"
T.O. ROOF DECK	20'-3 1/2"

PERMIT SET

**PLAN ARCHITECTURE**  
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Little Falls, NJ 07424

dang@plnarc.com  
T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED NEW CONSTRUCTION FOR  
**THE PROPOSED RESIDENCE**

FLOOR OR FLOORS (IF APPLICABLE):

**SECOND**  
CONSTRUCTION & FRAMING PLAN, WINDOW SCHED.

SEAL & SIGNATURE: \_\_\_\_\_ DATE: NOV. 3, 2020  
PROJECT NO.: 19-0611  
SCALE: AS NOTED  
DWG. BY: JLD/WAG  
CHK. BY: DD  
DWG. NO.: \_\_\_\_\_

**A.202**  
DANIEL D'AGOSTINO, A.I.A.  
N.J. LIC. NO. 2140188000

- ALL INTERIOR WALLS TO BE TYPE A-001, U.O.N. SEE WALL PARTITION SCHEDULE ON A.000 FOR WALL ASSEMBLIES
- SEE SHEET A.201 FOR DOOR AND A.202 FOR WINDOW SCHEDULES.
- SEE TYP. STAIR AND RAIL DETAIL 7 ON SH. A.400
- SEE TYP. WALL SECTIONS ON SHEET A.600.
- APPLIANCES TO BE SELECTED BY OWNER.
- PLUMBING FIXTURES TO BE SELECTED BY OWNER.
- FINISHES TO BE SELECTED BY OWNER.
- CABINETS AND COUNTERTOPS TO BE SELECTED BY OWNER.
- SHELVING SYSTEMS TO BE SELECTED BY OWNER.
- ALL INTERIOR STAIRS TO BE STAINED OAK TREAD W/ PAINT GRADE PINE RISER, W/ CONTINUOUS WOOD HAND RAIL, SPACE HANDRAIL 1-1/2" FROM WALL. COLOR TO BE SELECTED BY OWNER.-ALL GUARD RAILS TO BE 36" A.F.F.

## STRUCTURAL NOTES

### WOOD FRAMING:

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO.2 OR BETTER MEETING THE ALLOWABLE STRESS REQ'S OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION. USE THE FOLLOWING SPECIFICATIONS, UNLESS NOTED OTHERWISE.

ALL LUMBER: DOUGLAS FIR NO.2 OR BETTER CAPABLE OF DEVELOPING THE FOLLOWING MINIMUM ALLOWABLE STRESSES:  
 2x4: Fb (SINGLE) = 1,350, Fb (REPETITIVE) = 1,552, Ft = 842 psi, Fc LL = 1,552 psi  
 2x6: Fb (SINGLE) = 1,170, Fb (REPETITIVE) = 1,345, Ft = 747 psi, Fc LL = 1,485 psi  
 2x8: Fb (SINGLE) = 1,080, Fb (REPETITIVE) = 1,242, Ft = 690 psi, Fc LL = 1,418 psi  
 2x10: Fb (SINGLE) = 990, Fb (REPETITIVE) = 1,138, Ft = 632 psi, Fc LL = 1,350 psi  
 2x12: Fb (SINGLE) = 900, Fb (REPETITIVE) = 1,035, Ft = 575 psi, Fc LL = 1,350 psi

LVL MICROLAM (ML) OR EQ: E = 2,000 KSI, Fb = 3,000 PSI

ANTHONY POWER BEAM (APB) OR EQ: E = 2,100 KSI

PSL PARALLAM: E = 2,000 KSI, Fb = 2,900 PSI

HEADERS: (2) 2X10 U.N.O.

JAMBS: FOR ALL HEADERS LESS THAN (2)2X10, (1)JACK STUD AND (1)FULL HEIGHT STUD SHALL BE PROVIDED, SIZE OF STUD TO BE 2X, TO MATCH WIDTH OF WALL, U.N.O.  
 FOR ALL HEADERS (2)2X10 OR GREATER, (2)JACK STUDS AND (1)FULL HEIGHT STUD SHALL BE PROVIDED, SIZE OF STUD TO BE 2X, TO MATCH WIDTH OF WALL, U.N.O.

2. ALL SHEATHING SHALL BE APA RATED CDX GRADE DOUGLAS FIR PLYWOOD OR BETTER.

3. ALL ENGINEERED LUMBER - TJS, ML'S, APB'S & GL'S ETC... SHALL BE MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR EQUAL. INSTALL ALL ENGINEERED LUMBER PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE BRIDGING BETWEEN ALL FLOOR JOISTS AT ≤ 8'-0" O.C., BRIDGING SHOULD BE 2X8 OR LARGER CROSS BRACING. PARALLAM BEAMS SHALL BE KEPT DRY THROUGH DURATION OF CONSTRUCTION.

4. PARALLAMS MAY BE PURCHASED FOR THE FULL WIDTH SPECIFIED ON DRAWINGS OR BE FASTENED TOGETHER AS FOLLOWS:  
 9'-1/2" AND 11'-7/8" MEMBERS - 2 ROWS OF 16D NAILS AT 12" O.C., STAGGERED TOP AND BOTTOM.  
 14", 16", 18" MEMBERS - 3 ROWS OF 16D NAILS AT 12" O.C., STAGGERED TOP AND BOTTOM.

5. PROVIDE BEARING PLATES AND ANCHOR BOLTS, STUDS, OR WALL ANCHORS FOR ALL WALL BEARING BEAMS.

6. INSTALLATION AND FASTENING OF ALL WOOD MEMBERS SHALL MEET THE LATEST STANDARDS OF THE RESIDENTIAL IBC OF NJ, THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, THE AMERICAN PLYWOOD ASSOCIATION AND THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION. JOIST HANGERS SHALL BE MANUFACTURED BY "SIMPSON" OR EQUAL AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL CONNECTIONS ARE TO BE MADE WITH FRAMING ANGLES.

7. PROVIDE DOUBLE MEMBERS AROUND OPENINGS MORE THAN 16" WIDE.

8. PROVIDE A MINIMUM OF TWO MEMBERS UNDER ALL PARALLEL PARTITIONS.

9. PROVIDE TEMPORARY AND PERMANENT BRACING FOR FRAMING, INCLUDING TRUSSES, TO HOLD IT SECURELY IN POSITION AT ALL TIMES.

10. USE SIMPSON TOP MOUNTED HANGERS FOR ALL WOOD APPLICATIONS.

11. ALL SPECIALTY ANCHORS AND FASTENERS ARE TO BE MANUFACTURED BY THE HILTI CORPORATION OR APPROVED EQUAL, AND ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS, INCLUDING TORQUE, EMBEDMENT, LENGTH, ETC.

12. LAP AND SPIKE ENDS OF RAFTERS OR JOISTS. ANCHOR ALL FRAMING TO WALLS NOT MORE THAN 4'-0" O.C., INCLUDING RAFTERS AND JOISTS PARALLEL TO WALLS.

13. WOOD STUD BEARING WALLS NOT FACED WITH PLYWOOD SHALL BE BRACED WITH SOLID BLOCKING AT INTERVALS NOT EXCEEDING .4 TIMES THE LENGTH OF THE STUD FOR 2X4 STUDS AND .25 TIMES THE LENGTH OF THE STUD FOR 2X6 STUDS. ALL WOOD STUDS MUST RUN CONTINUOUS FROM FLOOR TO CEILING.

14. ALL BUILT-UP COLUMNS MUST BE NAILED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" SECTION 15.3.3.

15. ALL ROOF RAFTERS SHALL BE SECURED TO BEARING POINTS W/ 1-SIMPSON H2 SEISMIC AND HURRICANE ANCHORS PER RAFTER, APPLIED TO THE OUTSIDE FACE OF WALL. ALL CONVENTIONALLY FRAMED ROOFS ARE TO HAVE 2X6 COLLAR TIES AT 32" O.C. PLACED ONE-THIRD THE DISTANCE DOWN FROM THE RIDGE.

16. WOOD SILL PLATES ARE TO BE ANCHORED TO THE FOUNDATION WALL USING 1/2" DIA. X 18" LONG ANCHOR BOLTS SPACED AT A MAX. OF 6 FEET ON CENTER, UNLESS NOTED OTHERWISE ON DRAWINGS. ANCHOR BOLTS ARE TO BE LOCATED WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION, INCLUDING ALL OPENINGS. PROVIDE SIMPSON TITAN HD BOLTS WHERE EMBEDDED ANCHORS DO NOT MEET THE ABOVE CRITERIA OR TO REPLACE MISALIGNED EMBEDDED ANCHORS.

17. ALL WOOD FRAMING MUST BE FASTENED IN ACCORDANCE TO THE FASTENER SCHEDULE FOR STRUCTURAL MEMBERS (TABLE R602.3(1) IRC) OR AFPA WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM) NAILING SCHEDULE (TABLE 3.1), WHICHEVER IS MORE RESTRICTIVE.

18. CONTRACTOR MUST PROVIDE CONTINUOUS LOAD PATH FROM THE RAFTERS DOWN TO THE FOUNDATION INCLUDING, BUT NOT LIMITED TO, HURRICANE TIES FROM RAFTER TO STUDS, SIMPSON MST STRAPS FOR FLOOR-TO-FLOOR TIES AND A MINIMUM OF 1/2" WOOD STRUCTURAL PANEL SHEATHING NAILED ON THE EXTERIOR OF THE WOOD STUDS AND SILL PLATE.

19. FOUNDATION:  
 A. G.C. SHALL LOCATE FOUNDATION WALL AS NECESSARY FOR ALIGNMENT OF NEW AND EXISTING FINISHED EXTERIOR SURFACES.

B. ALL FOUNDATION WALLS TO BE 12" THICK ON 24" W X 12" D SPREAD FOOTINGS, UNLESS OTHERWISE NOTED.

C. BOTTOM OF ALL NEW FOOTINGS TO BE AT 3'-6" BELOW GRADE, MIN.

D. TIE AND KEY ALL NEW FOUNDATIONS AND FOOTINGS TO EXISTING FOUNDATION WALLS. WHERE NECESSARY, STEP DOWN TO MEET EXISTING FOOTING @ 1:2, RISE:RUN. TIE AND KEY AS NC, USING #4 REBAR X 2'-0" @ 16" O.C. VERT. DRILLED INTO EXISTING FOUNDATION WALLS.

E. AT FOUNDATION WALL SILL, PROVIDE 1/2"x18" HEADED ANCHOR BOLTS @ 4'-0" O.C. TO 1'-0" FROM EACH CORNER AND MIN. (2) PER SILL PIECE. SET SILL LEVEL AND SECURE TO TOP OF FOUNDATION WALL ON BED OF SEALANT OR INSULATION.

F. UNDER ALL 4X4 POSTS OR LARGER, PROVIDE SOLID ENGINEERED ML LUMBER BLOCKING BETWEEN BOTTOM OF POST AND FOUNDATION SILL. FILL CELLS OF CMU WALLS WITH SOLID 3000 PSI CONCRETE GROUT, 12" EACH SIDE OF POST CENTERLINE AND 3'-0" DEEP MIN. U.N.O.

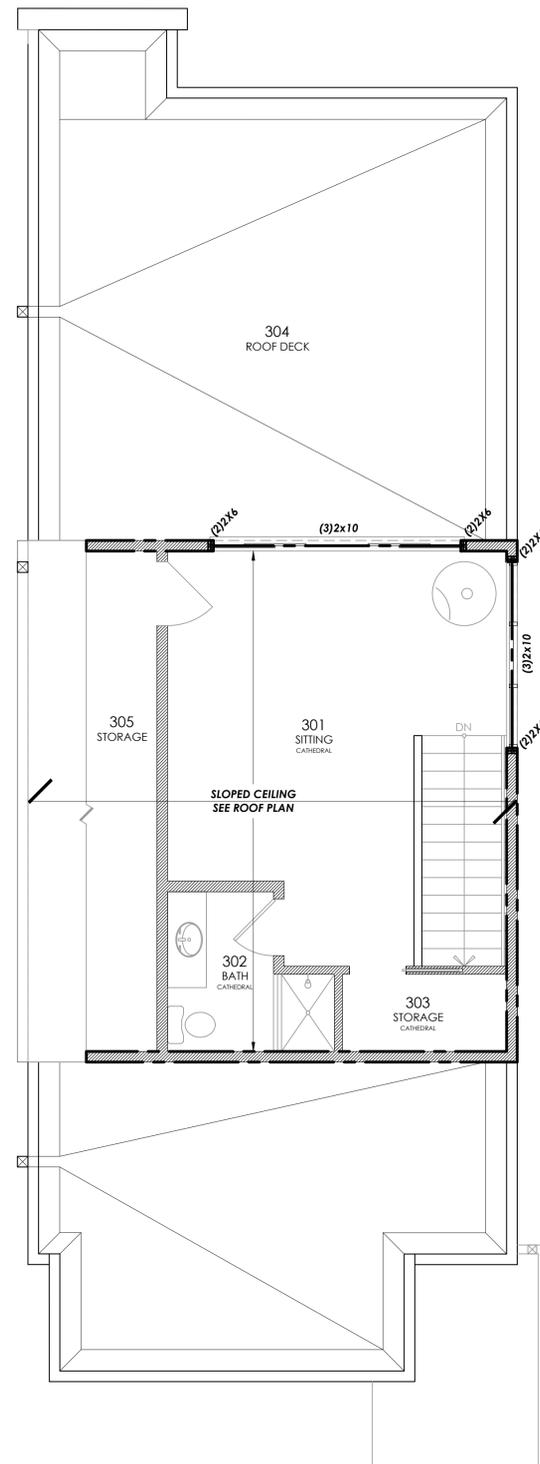
G. FOUNDATIONS AND FOOTINGS ARE DESIGNED WITH AN ASSUMED SOIL BEARING CAPACITY OF 2,000 P/SF. G.C. TO VERIFY AND NOTIFY ARCHITECT IF LESS.

20. BASEMENT SLAB:  
 4" CONC. SLAB (4,000 PSI) W/ 2.1x2.1x66WVF ON 6 MIL. VAPOR BARRIER ON 6" COMPACTED GRAVEL BASE ON UNDISTURBED SOIL (2,000 PSF) SEPARATE SLAB FROM END WALL W/ 1/2" FIBER FORM BOARD AND SEALANT.

21. CRAWL SPACE NOTES:  
 A. PROVIDE 2" SLUSH COAT OVER 6 MIL VAPOR BARRIER OVER 6" GRAVEL BASE.

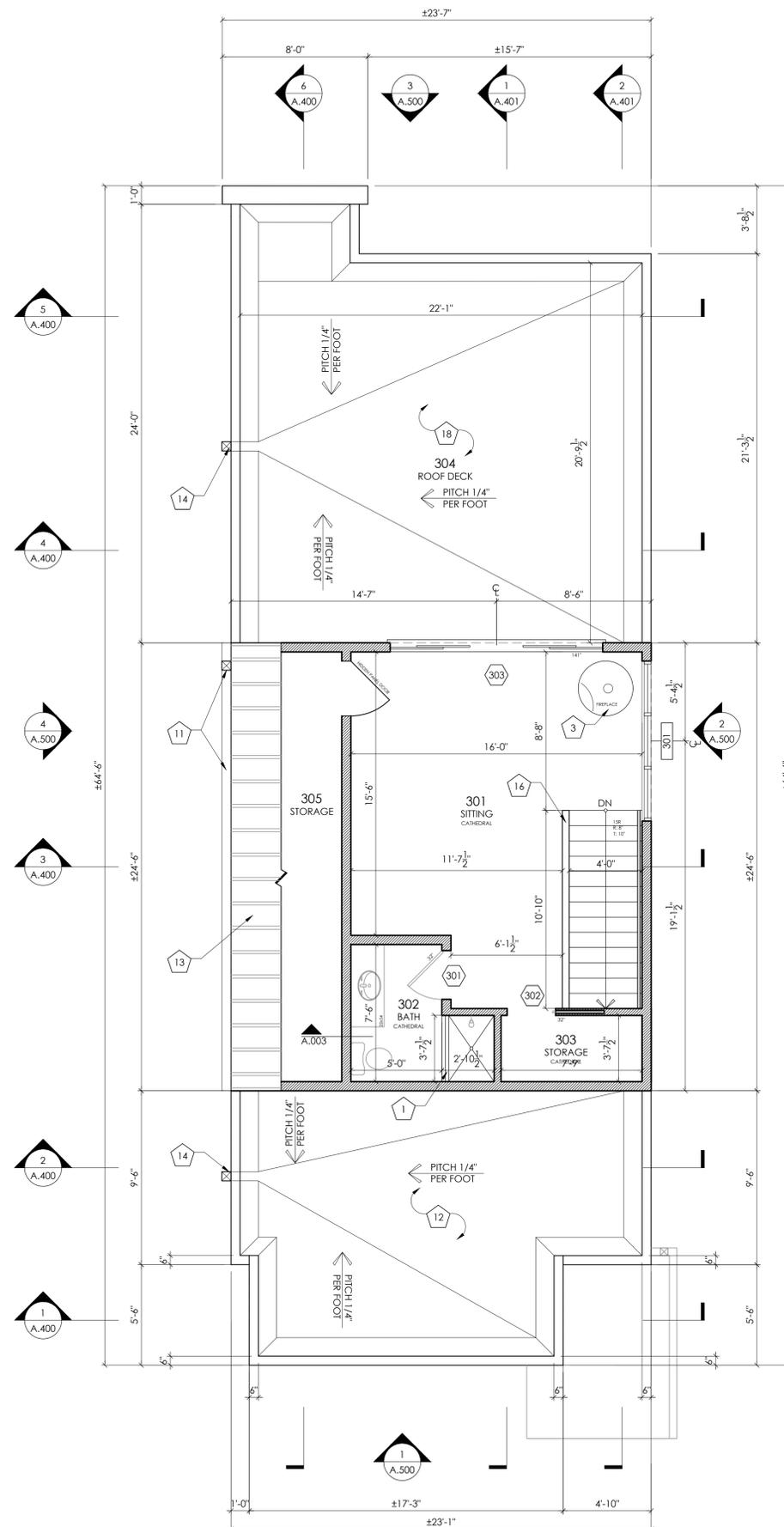
B. PROVIDE 2'-0" HIGH BY 3'-0" WIDE OPENINGS TO CRAWL SPACE, WITH WOOD PANEL ACCESS COVER WHERE INDICATED.

C. PROVIDE R-30 RIGID FOIL FACE INSULATION IN CEILING IN CRAWL SPACES, STAPLED BETWEEN JOISTS, FOIL-FACE UP.



2 FRAMING PLAN: ATTIC

SCALE: 1/4"=1'-0"



1 CONSTRUCTION PLAN: ATTIC

SCALE: 1/4"=1'-0"

## FRAMING NOTES

- SEE A.203 FOR ALL STRUCTURAL NOTES.
- ALL POST TO BE CONTINUOUS (OR ADD BLOCKING) AND TO SUPPORTED ON THE BEAM BELOW OR ON THE FOUNDATION BELOW (TYP)
- PROVIDE FULL DEPTH BLOCKING BETWEEN POST UP AND POST DOWN (TYP)
- HEADERS: (2)2x10 MIN. U.O.N
- ALL BEAM TO BEAM CONNECTION W/ USP OR SIMPSON CONNECTOR, FOR FULL CAPACITY. (TYP)
- ALL PSL BEAMS TO BE SUPPORTED ON PSL POST FOR FULL WIDTH BEARING. NOT ALL POSTS SHOWN ON PLANS.
- ASSUMED SOIL CAPACITY: 2,000 PSF, FIELD VERIFY.

## FOUNDATION INFO.

FOUNDATION WALL	
@ CELLAR	10" THICK (U.O.N.)
@ MASONRY STAIR	8" THICK (U.O.N.)
ELEVATION DATUMS	
B.O. FOOTING	
@ CELLAR	MATCH EXISTING
@ MASONRY STAIR	42" BELOW GRADE
T.O. F.W.	-15 5/8"
T.O. F.W. SHOE BLOCK	-3 3/4"

## STRUCTURAL LOADS

LEVEL	LIVE	DEAD	TOTAL
CELLAR	OG	OG	OG
1ST FL	40 PSF	20 PSF	60 PSF
2ND FL	40 PSF	20 PSF	60 PSF
ROOF	30 PSF	20 PSF	50 PSF
WIND SPEED			115 MPH

## COLUMN SCHEDULE

NO.	DESCRIPTION
C-1	STEEL COLUMN, HSS 3-1/2"x3-1/2" x 1/4" WITH WELDED 1/2" THICK CAP AND BASE PLATE AND W/ (4) 1/2" DIA. ANCHOR BOLTS IN BASE PLATE TO FOUNDATION OR PIER.

## CONSTRUCTION LEGEND

- CUSTOM TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
- GC TO PROVIDE GAS LINE FOR NEW GRILL.
- GAS FIREPLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
- NEW WOOD/COMPOSITE DECKING & STAIR TO BE SELECTED BY OWNER.
- MASONRY STAIR W/ LIMESTONE TREADS.
- 36" HIGH METAL AND CABLE GUARD RAIL SYSTEM TO BE SELECTED BY OWNER AND INSTALLED AS PER MANUFACTURER.
- GUARD WITH POST AT SIDES OF STAIRS AND RAILINGS. OWNER SELECT WOOD OR PVC RAILING.
- CEDAR SLAT WOOD SCREEN WALL, AS SELECTED. 4" MAX. HORIZONTAL & VERTICAL SPACING. PER IBC 1607.8.1.1 SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS.
- STRUCTURAL COLUMN AS SELECTED.
- FILL TO MATCH AND ALIGN WITH ADJACENT MATERIALS.
- 5" CONT. ALUM. GUTTER WITH 4" ALUMINUM DOWNSPOUTS. OWNER TO SELECT FINISH.
- EPDM ROOFING. PITCHED AS PER PLAN.
- STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C., COLOR TO BE SELECTED BY OWNER.
- 6" SCUPPER SET 4" ABOVE ROOF LINE. PROVIDE OVERFLOW.
- PIN TO EXISTING FOUNDATION WALLS & FOOTING AS POSSIBLE W/ (2) #4 REBAR, DRILLED AND EPOXY SET.
- 36" HIGH WALL WITH CAP AS SELECTED.
- WASHER AND DRYER, OWNER TO SELECT. NEW WASHER MACHINE TO BE SET IN DRAINAGE BASIN WITH EMERGENCY SHUT OFF VALVE AND TRAP PRIMER. PROVIDE 4" DIA. EXHAUST FOR DRYER.
- WATERPROOF VINYL MEMBRAN SYSTEM BY DURADECK OR EQUAL. PITCH TO DRAIN AS PER PLAN.
- RETAINING WALLS, SEE CIVIL DRAWINGS FOR HEIGHT.

## ELEVATION DATUMS

CELLAR	-8'-2"
COVERED PATIO	-8'-0"
FIRST	0'-0"
COVERED PORCH	0'-0"
SECOND	10'-1 3/4"
ATTIC	20'-3 1/2"
T.O. ROOF DECK	20'-3 1/2"

**PERMIT SET**

**PLAN ARCHITECTURE**  
 125 PATERSON AVE, Second Floor  
 Little Falls, NJ 07424  
 dan@plnarc.com  
 T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR/MDA

PROJECT: PROPOSED NEW CONSTRUCTION FOR  
**THE PROPOSED RESIDENCE**

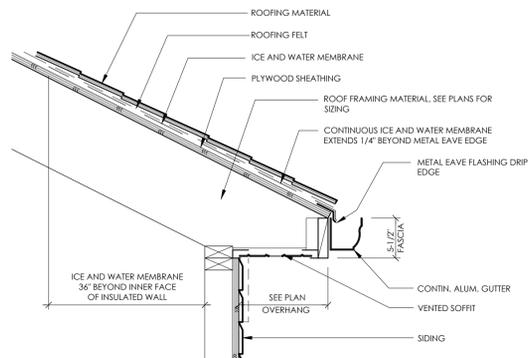
FLOOR OR FLOORS (IF APPLICABLE):  
**ATTIC**  
 CONSTRUCTION & FRAMING PLAN

SEAL & SIGNATURE: \_\_\_\_\_ DATE: NOV. 3, 2020  
 PROJECT NO.: 19-0611  
 SCALE: AS NOTED  
 DWG. BY: JLD/WAG  
 CHK. BY: DD  
 DWG. NO.: \_\_\_\_\_

A.203

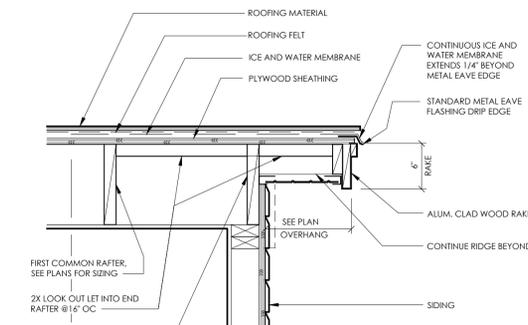
DANIEL D'AGOSTINO, AIA  
 N.J. LIC. NO. 2140188000

-ALL INTERIOR WALLS TO BE TYPE A-001, U.N.O. SEE WALL PARTITION SCHEDULE ON A.000 FOR WALL ASSEMBLIES.  
 -SEE SHEET A.201 FOR DOOR AND A.202 FOR WINDOW SCHEDULES.  
 -SEE TYP. STAIR AND RAIL DETAIL 7 ON SH. A.400  
 -SEE TYP. WALL SECTIONS ON SHEET A.600.  
 -APPLIANCES TO BE SELECTED BY OWNER.  
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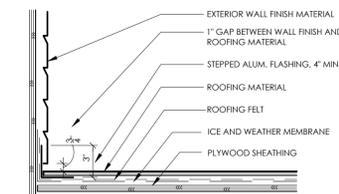
TYPICAL VENTED DETAIL

NOTE: DIMENSIONS AND STANDARDS DEPICTED ARE MINIMUM STANDARDS OF PRACTICE. IN ALL INSTANCES, MANUFACTURER'S INSTALLATION SPECIFICATIONS AND REQUIREMENTS SHALL SUPERCEDE THIS DETAIL.



TYPICAL ROOF RAKE DETAIL

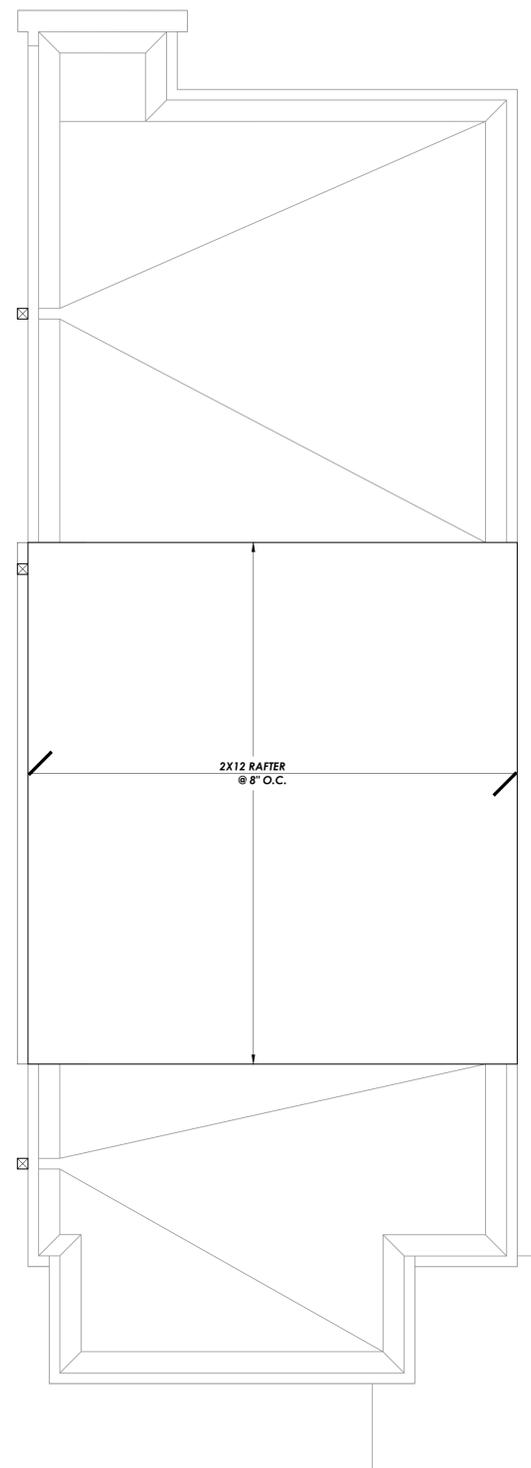
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TYPICAL ROOF SIDE/TOP WALL DETAIL

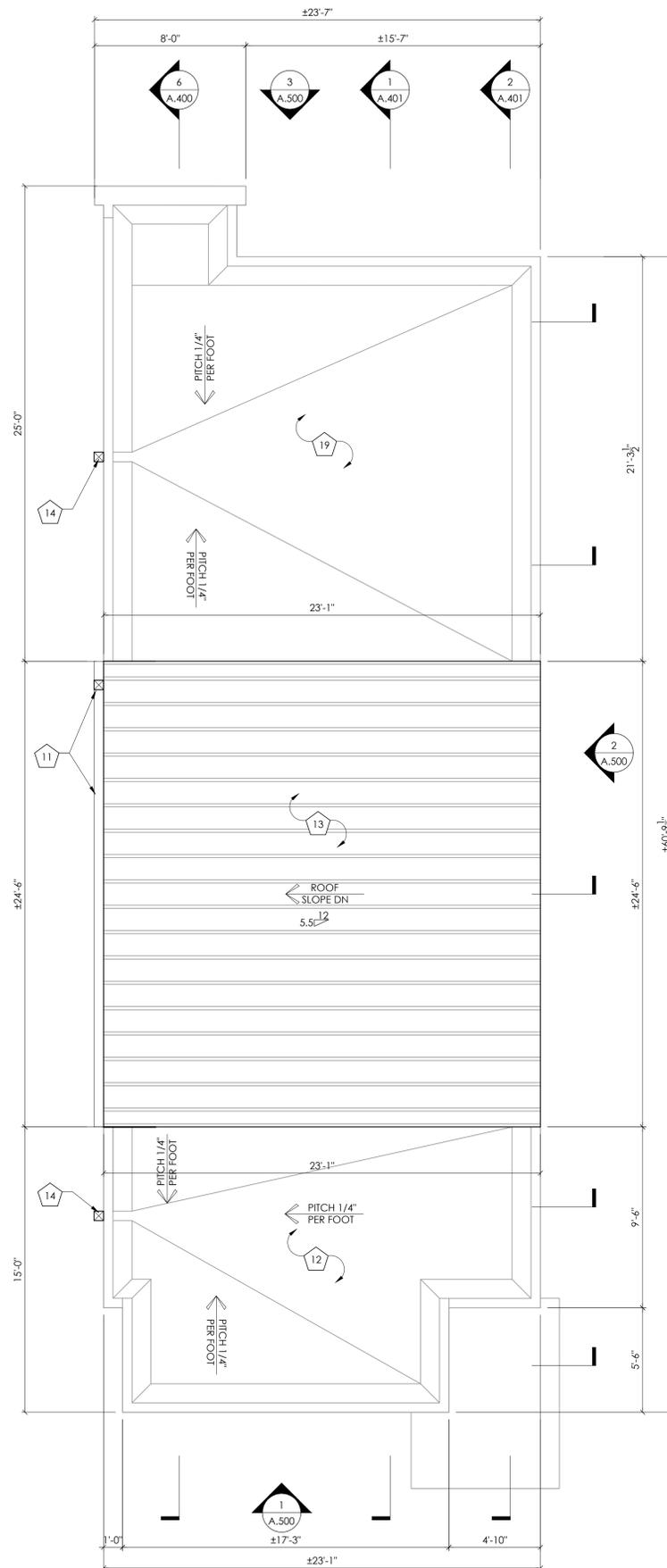
SCALE: 1-1/2" = 1'-0"

NOTE: DIMENSIONS AND STANDARDS DEPICTED ARE MINIMUM STANDARDS OF PRACTICE. IN ALL INSTANCES, MANUFACTURER'S INSTALLATION SPECIFICATIONS AND REQUIREMENTS SHALL SUPERCEDE THIS DETAIL.



2 FRAMING PLAN: ROOF

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**PERMIT SET**

**PLAN ARCHITECTURE**  
 125 PATERSON AVE, Second Floor dan@plnarc.com  
 Little Falls, NJ 07424 T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED NEW CONSTRUCTION FOR  
**THE PROPOSED RESIDENCE**

FLOOR OR FLOORS (IF APPLICABLE):  
**ROOF**  
 CONSTRUCTION & FRAMING PLAN

SEAL & SIGNATURE: \_\_\_\_\_ DATE: NOV. 3, 2020  
 PROJECT NO.: 19-0611  
 SCALE: AS NOTED  
 DWS. BY: JLD/WAG  
 CHK. BY: DD  
 DWG NO.: **A.204**

DANIEL D'AGOSTINO, AIA  
 N.J. LIC. NO. 2140188000

-ALL INTERIOR WALLS TO BE TYPE A-001, U.N.O. SEE WALL PARTITION SCHEDULE ON A.000 FOR WALL ASSEMBLIES.  
 -SEE SHEET A.201 FOR DOOR AND A.202 FOR WINDOW SCHEDULES.  
 -SEE TYP. STAIR AND RAIL DETAIL 7 ON SH. A.400  
 -SEE TYP. WALL SECTIONS ON SHEET A.600.  
 -APPLIANCES TO BE SELECTED BY OWNER.  
 -PLUMBING FIXTURES TO BE SELECTED BY OWNER.  
 -FINISHES TO BE SELECTED BY OWNER.  
 -CABINETS AND COUNTERTOPS TO BE SELECTED BY OWNER.  
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**ELECTRICAL NOTES**

- G.C. TO INCLUDE ALL LABOR AND MATERIAL FOR LIGHT FIXTURES SPECIFIED, U.N.O.
- G.C. TO REVIEW & VERIFY ALL LOCATIONS OF PHONE JACKS AND CATV. PORTS WITH OWNER PRIOR TO ROUGHING. VERIFY THAT ALL PHONE AND CABLE JACKS ARE IN WORKING CONDITION.
- ALL FIXTURES TO BE LIGHTOLIER, U.N.O. ALL SWITCHES, JACKS AND OUTLET PLATES, ETC. TO BE LUTRON U.N.O. SEE SPECIFICATIONS.
- FOR FIXTURES WITH MANUFACTURER LISTED AS "BY OWNER," GC IS TO PROVIDE LABOR AND MATERIALS REQUIRED FOR INSTALLATION ONLY. OWNER OR OTHERS SHALL PROVIDE THESE FIXTURES.
- EXISTING ELECTRICAL PANEL TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ADEQUACY AND REPLACE OR UPGRADE AS REQUIRED.
- GFI OUTLETS TO BE INSTALLED AS REQUIRED BY CODE. EVEN IF NOT INDICATED ON PLANS. AREAS REQUIRING GFI OUTLETS ARE AS FOLLOWS:
  - BATHROOM RECEPTACLES
  - RESIDENTIAL GARAGE DISPOSAL RECEPTACLES
  - OUTDOOR RECEPTACLES
  - RECEPTACLES IN UNFINISHED BASEMENTS & CRAWL SPACES
  - RECEPTACLES WITHIN SIX FEET OF A SHOWER, TUB, KITCHEN OR BAR SINK.
  - RECEPTACLES IN LAUNDRY AREAS
- ELECTRICAL CONTRACTOR TO COORDINATE NEW CIRCUIT LAYOUT WITH LAYOUT OF EXISTING ELEC. PANEL.
- ALL WORK MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE AND THE N.J. UNIFORM STATE CODE AND THE PROVISION OF THE NFPA 70, CHAPTER 35.
- CONTRACTOR TO FURNISH AND INSTALL BOXES, FITTING, DEVICES AND MANUFACTURER ACCESSORIES, ADAPTERS AND ALL OTHER MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION.
- ALL MATERIALS REQUIRED FOR THE JOB MUST BE UL LISTED.
- CONTRACTOR TO VERIFY ADEQUACY OF EXISTING SERVICE AND REPLACE AS REQUIRED.
- WHERE MORE THAN ONE SWITCH OCCURS AT IN THE SAME LOCATION, G.C. TO INSTALL SWITCHES IN GANG TYP BOX UNDER A SINGLE COVER PLATE.
- CONSULT WITH CONTRACTORS FURNISHING HVAC EQUIPMENT TO VERIFY LOADS AND SECURE.
- VERIFY FINAL LOCATION OF TELEPHONE AND CABLE HOOKUPS WITH OWNER PRIOR TO COMMENCING WORK.
- MAKE ALL FINAL CONNECTIONS TO ALL CONTROLS. OWNER SUPPLIED EQUIPMENT, MECHANICAL AND PLUMBING EQUIPMENT AS REQUIRED.
- SHOWER LIGHT FIXTURES MUST BE LABELED APPROVED FOR WET LOCATION USE.
- 50% OF ALL LIGHT FIXTURES MUST BE ENERGY EFFICIENT.
- FIXTURES IN CLOSETS TO BE SHATTER-PROOF, TYP.
- ELECTRICAL CONTRACTOR TO PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER (AFCI) OUTLETS IN ALL ROOMS EXCEPT BATHROOMS, UNFINISHED BASEMENTS, GARAGES, AND OUTDOORS. PROTECTION CAN COME FROM WITHER AN AFCI BREAKER OR AN AFCI RECEPTACLE INSTALLED IN THE FIRST OUTLET BOX ON A BRANCH CIRCUIT.
- EACH VEHICLE SPACE IN GARAGE TO HAVE (1) GFCI-PROTECTED RECEPTACLE. ALL CIRCUITS SERVING RECEPTACLES IN THE GARAGE CAN SERVE NO OTHER INDOOR OR OUTDOOR LOCATIONS.
- ALL SWITCH LOCATIONS ARE REQUIRED TO HAVE A NEUTRAL (GROUNDED CONDUCTOR) IN THE BOX.

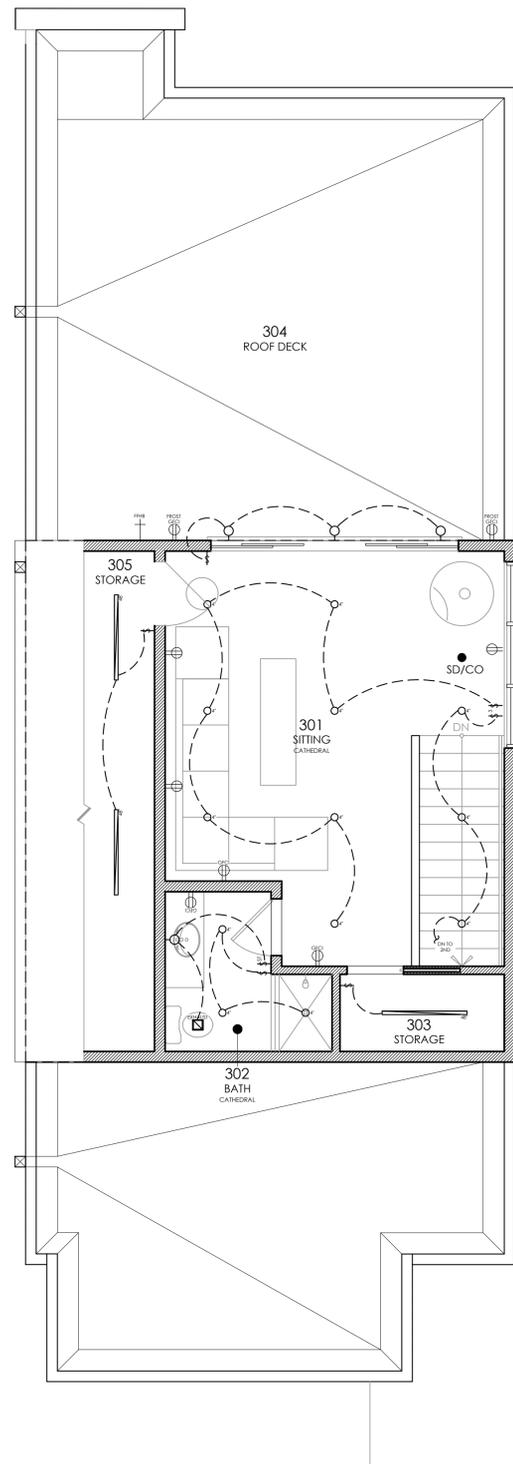
**SMOKE DETECTOR AND CARBON MONOXIDE ALARM COMPLIANCE**

- IN BUILDINGS OF USE GROUP R-3, R-4, AND R-5 AND IN DWELLING UNITS OF USE GROUP R-2, SMOKE DETECTORS TO BE PRESENT ON EACH LEVEL OF THE RESIDENCE AND LOCATED IN ACCORDANCE WITH NFPA 72. SMOKE DETECTORS SHOULD BE OUTSIDE EACH SEPARATE SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS AND LOCATED ON OR NEAR THE CEILING. CARBON MONOXIDE ALARMS TO BE PRESENT OUTSIDE EACH SEPARATE SLEEPING AREA AND INSTALLED PER NFPA 720. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL DEVICES ARE TO BE SIEMENS.
- PROVIDE INTERCONNECTED SMOKE DETECTORS & CARBON MONOXIDE WITH EMERGENCY BATTERY BACK-UP AS INDICATED ON PLANS AND/OR REQUIRED BY CODE.
- SMOKE DETECTOR ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS EVEN IF NOT SHOWN ON DRAWINGS:
  - ONE IN THE BASEMENT
  - ONE IN THE COMMON AREA OF THE FIRST FLOOR
  - ONE IN THE COMMON AREA OF THE SECOND FLOOR
- CARBON MONOXIDE ALARMS ARE TO BE PROVIDED IN THE IMMEDIATE VICINITY OF ALL SLEEPING ROOMS IN BUILDINGS, CLASSIFIED UNDER USE GROUPS AS I-1, R-1, R-2, R-3, R-4 AND R-5 WHICH CONTAIN FUEL BURNING APPLIANCES OR HAVE ATTACHED GARAGES.
- HEAT DETECTORS ARE TO BE PROVIDED IN THE VICINITY OF MECHANICAL EQUIPMENT ROOMS.
- 5:23-6:23 ADDITIONS
  - WHENEVER AN ADDITION IS MADE TO A DETACHED SINGLE FAMILY DWELLING OF GROUP R-3 OR R-5, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
    - IF THE CUMULATIVE AREA OF ALL FLOORS OR THE ADDITION(S) IS 25 PERCENT OR MORE OF THE FLOOR AREA OF THE LARGEST FLOOR OF THE EXISTING BUILDING, SMOKE ALARMS SHALL BE INSTALLED THROUGHOUT THE ADDITION AND THE EXISTING BUILDING.
    - IF THE CUMULATIVE AREA OF ALL FLOORS OF THE ADDITION(S) IS FIVE PERCENT OR MORE, BUT LESS THAN 25 PERCENT, OF THE FLOOR AREA OF THE LARGEST FLOOR OF THE EXISTING BUILDING, HARDWIRED INTERCONNECTED SMOKE ALARMS WITH BATTERY BACK-UP MEETING THE REQUIREMENTS OF NFPA 72 SHALL BE INSTALLED AND MAINTAINED IN EACH STORY IN THE DWELLING UNIT, INCLUDING BASEMENTS.

**ELECTRICAL SYMBOLS**

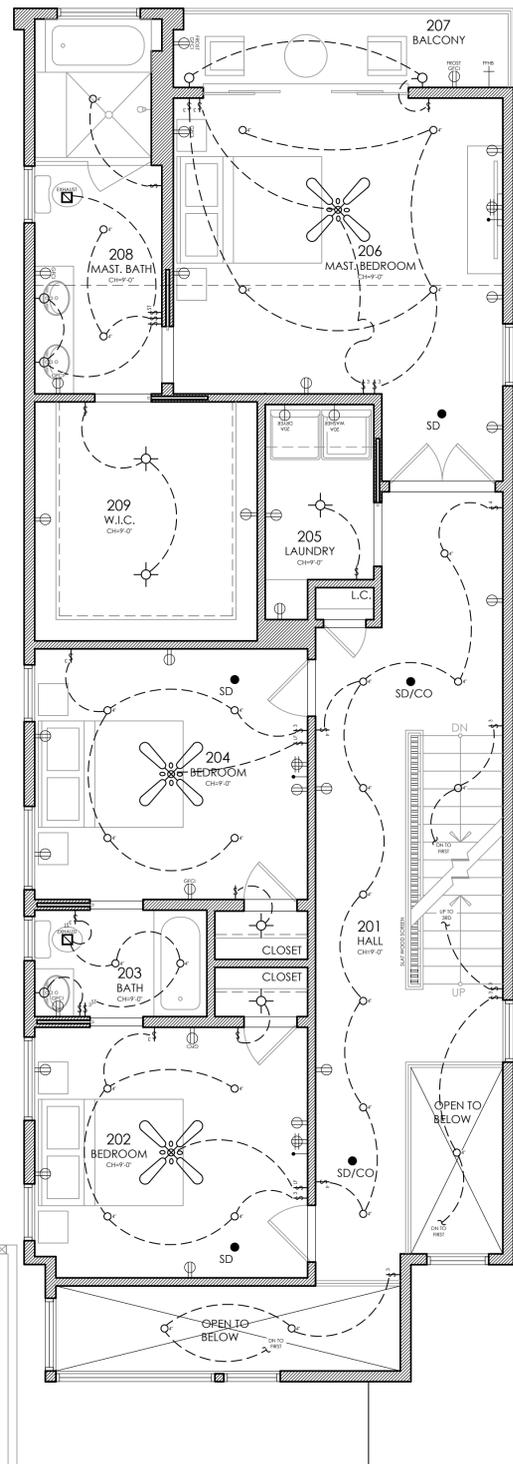
SYMBOLS	DESCRIPTION
	SWITCH
	SWITCH-3WAY
	SWITCH-4WAY
	SWITCH-DIMMER
	SWITCH-LIGHT FAN
	SWITCH-PILOT
	SWITCH-TIMER
	DEDICATED CIRCUIT
	RECEPTACLE: DUPLEX
	RECEPTACLE: QUADPLEX
	RECEPTACLE: CLG MOUNTED
	RECEPTACLE: FLOOR MOUNTED
	RECEPTACLE: 3-WIRE 220V
	RECEPTACLE: DOG HOUSE
	CABLE
	TELEPHONE
	DATA
	TELEPHONE/DATA
	CH COUNTER HEIGHT
	CV CENTRAL VAC
	FV FLOOR VENT
	GFCI GROUND FAULT CIRCUIT INTERRUPT
	OC OCCUPANCY SENSOR
	U/C LOCATE UNDER CABINET
	RECESSED: 4"
	RECESSED: 6"
	RECESSED: WALL WASHER
	WALL MOUNTED/SCONCE
	CEILING MOUNTED
	PENDANT
	EXHAUST FAN/LIGHT
	EXHAUST FAN
	PINHOLE
	UNDER COUNTER LIGHTS
	LED TUBE
	JUNCTION BOX
	CEILING FAN
	CEILING FAN W/ LIGHTS
	EXTERIOR FLOOD LIGHT
	SD HARDWIRED SMOKE DETECTOR W/ BATTERY BACKUP
	SD/CO HARDWIRED SMOKE/CARBON DETECTOR W/ BATTERY BACK UP
	HD HARDWIRED THERMAL DETECTOR W/ BATTERY BACK UP
	OVERHEAD INFRARED HEATER

NOTE!  
FOR HOT TUB, PROVIDE ALL NECESSARY POWER & SWITCHES AS REQ'D. REFER TO MANUAL LITERATURE FOR REQUIREMENTS.



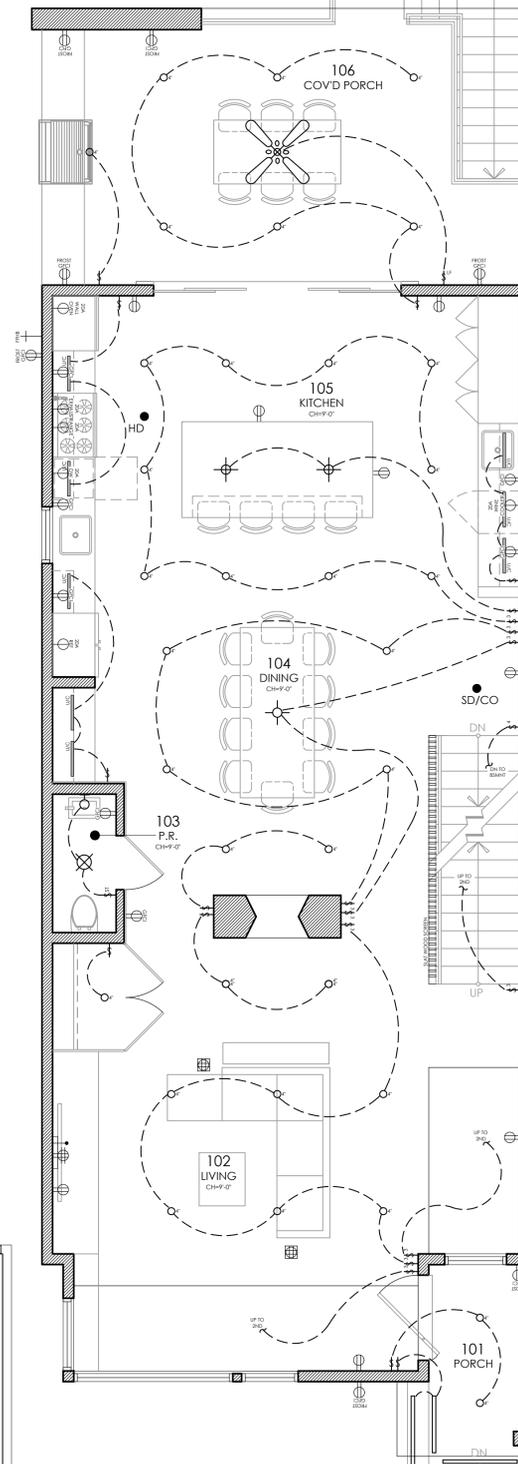
**4 REFLECTED CEILING & POWER PLAN: ATTIC**

SCALE: 1/4"=1'-0"



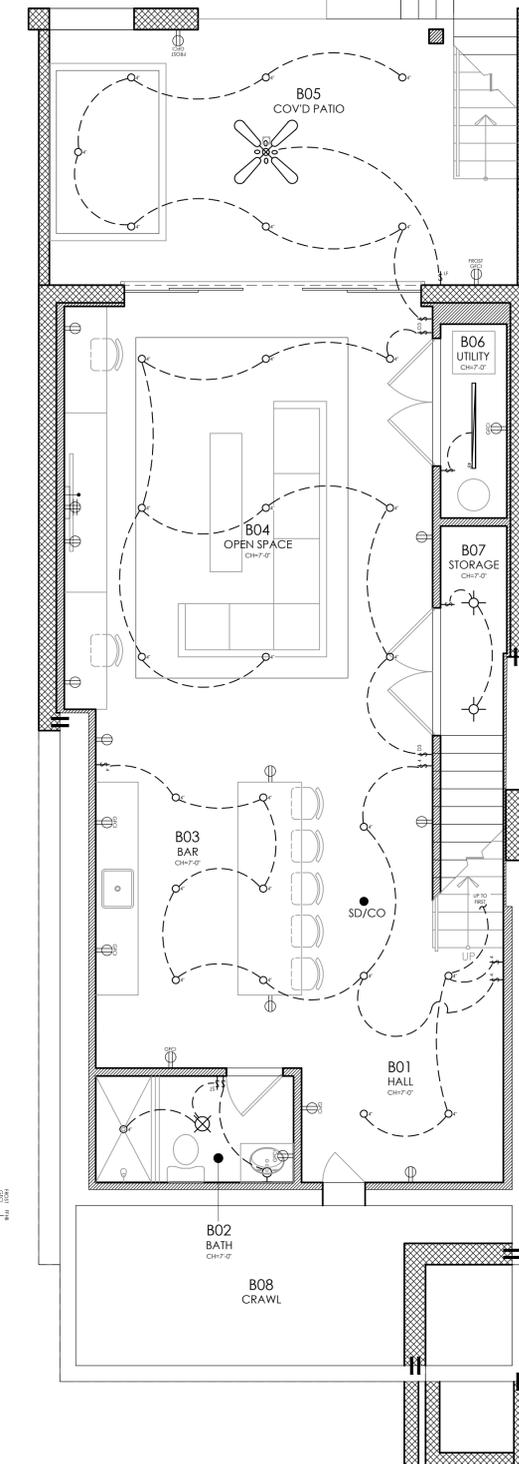
**3 REFLECTED CEILING & POWER PLAN: SECOND**

SCALE: 1/4"=1'-0"



**2 REFLECTED CEILING & POWER PLAN: FIRST**

SCALE: 1/4"=1'-0"



**1 REFLECTED CEILING & POWER PLAN: CELLAR**

SCALE: 1/4"=1'-0"

**PERMIT SET**

**PLAN ARCHITECTURE**  
125 PATERSON AVE., Second Floor  
Little Falls, NJ 07424  
dan@plnarc.com  
T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR/MDA

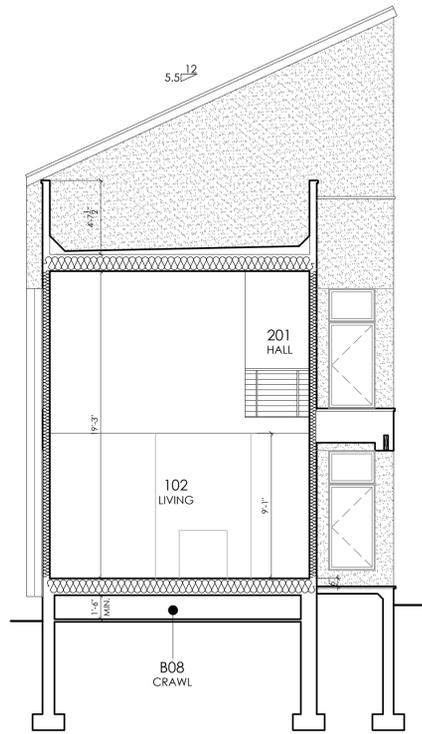
PROJECT: PROPOSED NEW CONSTRUCTION FOR  
**THE PROPOSED RESIDENCE**

FLOOR OR FLOORS (IF APPLICABLE):  
**CELLAR-ATTIC**  
REFLECTED CEILING & POWER PLAN

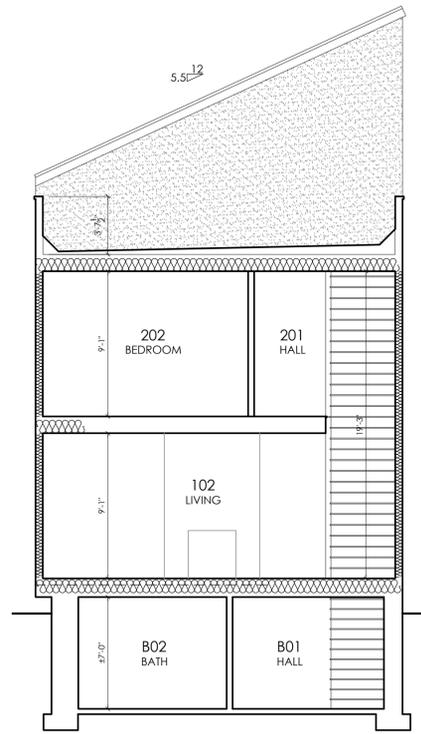
SEAL & SIGNATURE: \_\_\_\_\_ DATE: NOV. 3, 2020  
PROJECT NO.: 19-0611  
SCALE: AS NOTED  
DWS. BY: JLD/WAG  
CHK. BY: DD  
DWS. NO.: \_\_\_\_\_

DANIEL D'AGOSTINO, A.I.A.  
N.J. LIC. NO. 2140188000

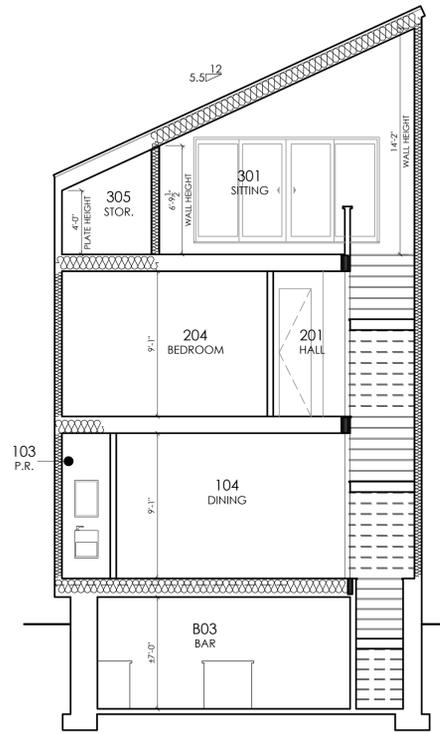
**A.300**



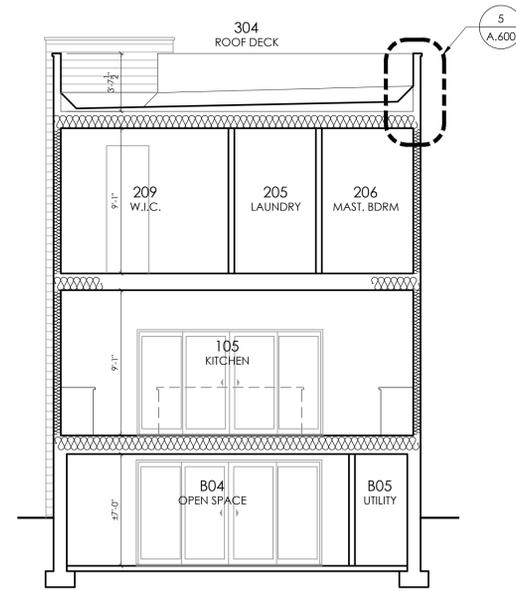
1 DIAGRAMMATIC SECTION  
SCALE: 3/16" = 1'-0"



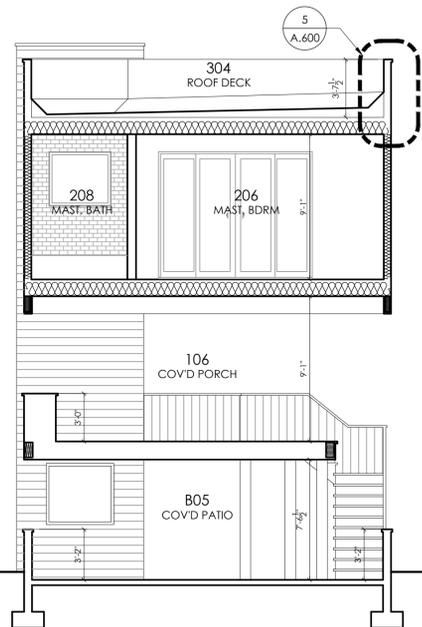
2 DIAGRAMMATIC SECTION  
SCALE: 3/16" = 1'-0"



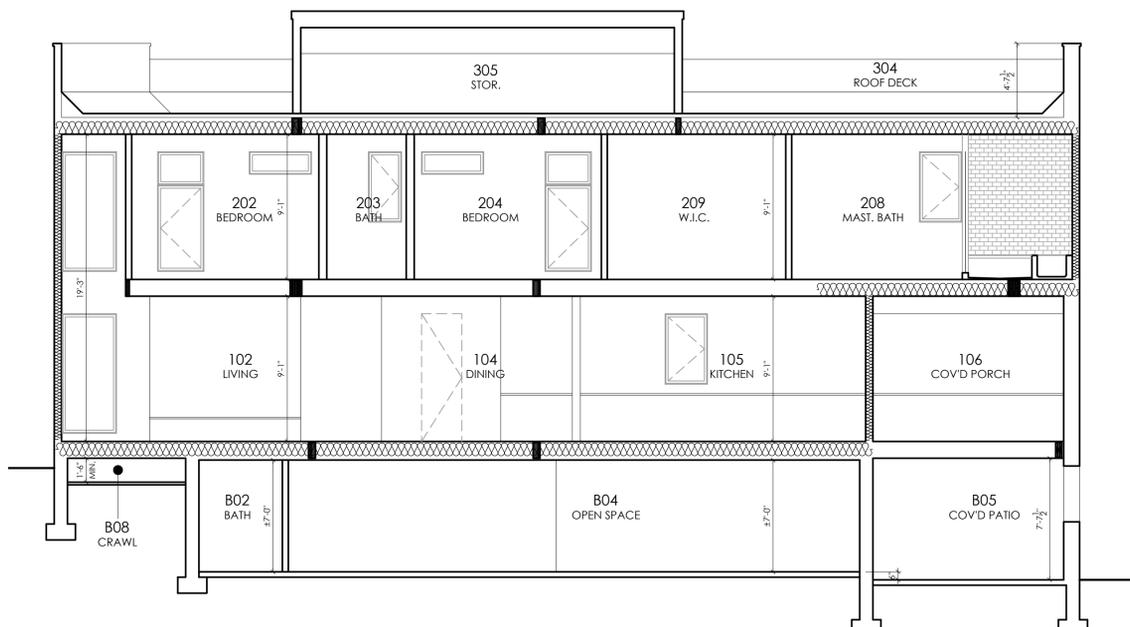
3 DIAGRAMMATIC SECTION  
SCALE: 3/16" = 1'-0"



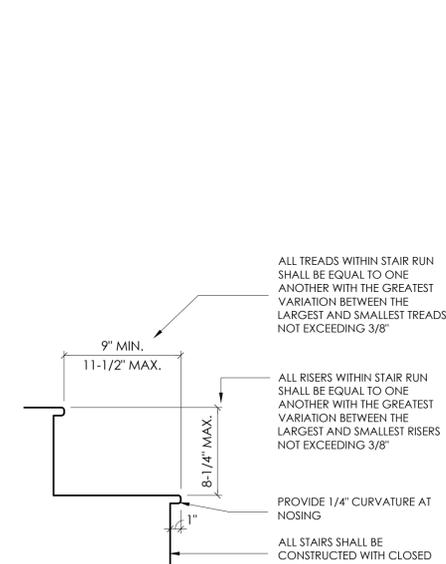
4 DIAGRAMMATIC SECTION  
SCALE: 3/16" = 1'-0"



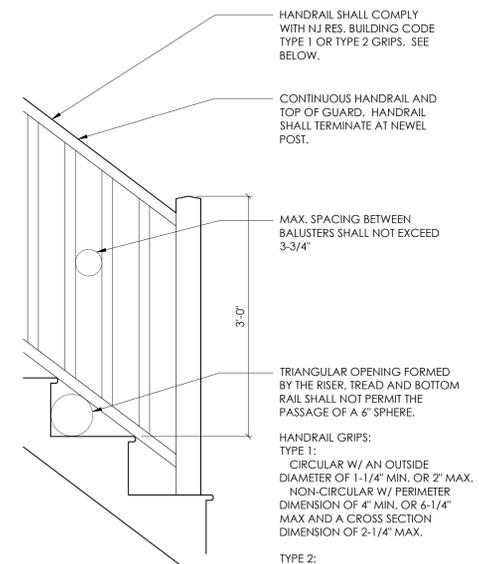
5 DIAGRAMMATIC SECTION  
SCALE: 3/16" = 1'-0"



6 DIAGRAMMATIC SECTION  
SCALE: 3/16" = 1'-0"



7 STAIR DETAILS  
SCALE: 1/4" = 1'-0"



**PERMIT SET**

**PLAN ARCHITECTURE**  
125 PATERSON AVE, Second Floor  
Little Falls, NJ 07424  
dan@plnarc.com  
T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR/MO/DA

PROJECT: PROPOSED NEW CONSTRUCTION FOR  
**THE PROPOSED RESIDENCE**

FLOOR OR FLOORS (IF APPLICABLE):

DIAGRAMMATIC SECTIONS, STAIR DETAILS

SEAL & SIGNATURE: \_\_\_\_\_ DATE: NOV. 3, 2020

PROJECT NO.: 19-0611  
SCALE: AS NOTED  
DWG. BY: JLD/WAG  
CHK. BY: DD  
DWG NO.: \_\_\_\_\_

**A.400**

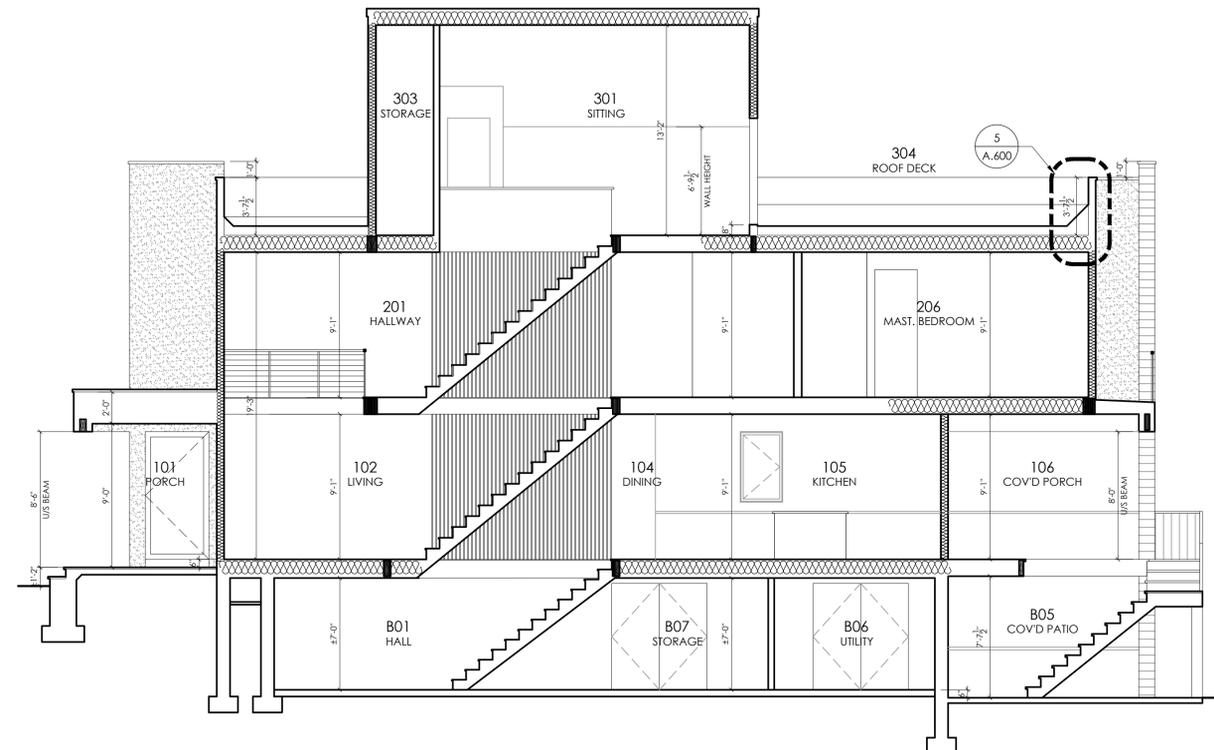
DANIEL D'AGOSTINO, A.I.A.  
N.J. LIC. NO. 21A0188000

CONCEPTUAL RENDERINGS (FOR ILLUSTRATIVE PURPOSES ONLY)



1 DIAGRAMMATIC SECTION

SCALE: 3/16" = 1'-0"



2 DIAGRAMMATIC SECTION

SCALE: 3/16" = 1'-0"

**PLAN ARCHITECTURE**  
 125 PATERSON AVE, Second Floor  
 Little Falls, NJ 07424  
 dan@planarc.com  
 T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED NEW CONSTRUCTION FOR  
**THE PROPOSED RESIDENCE**

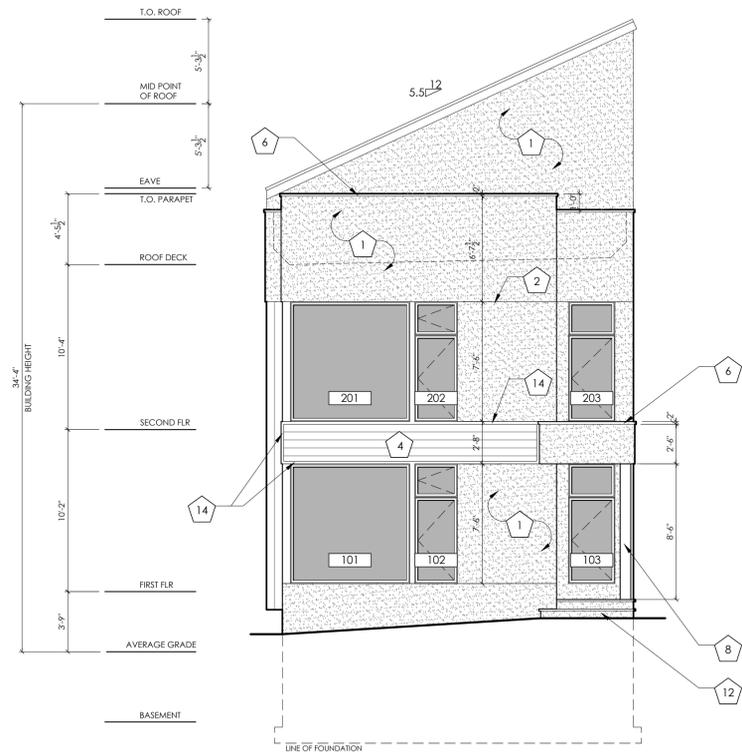
FLOOR OR FLOORS (IF APPLICABLE):

DIAGRAMMATIC SECTIONS, CONCEPTUAL RENDERS

SEAL & SIGNATURE: \_\_\_\_\_ DATE: NOV. 3, 2020  
 PROJECT NO.: 19-0611  
 SCALE: AS NOTED  
 DWG. BY: JLD/WAG  
 CHK. BY: DD  
 DWG. NO.: \_\_\_\_\_

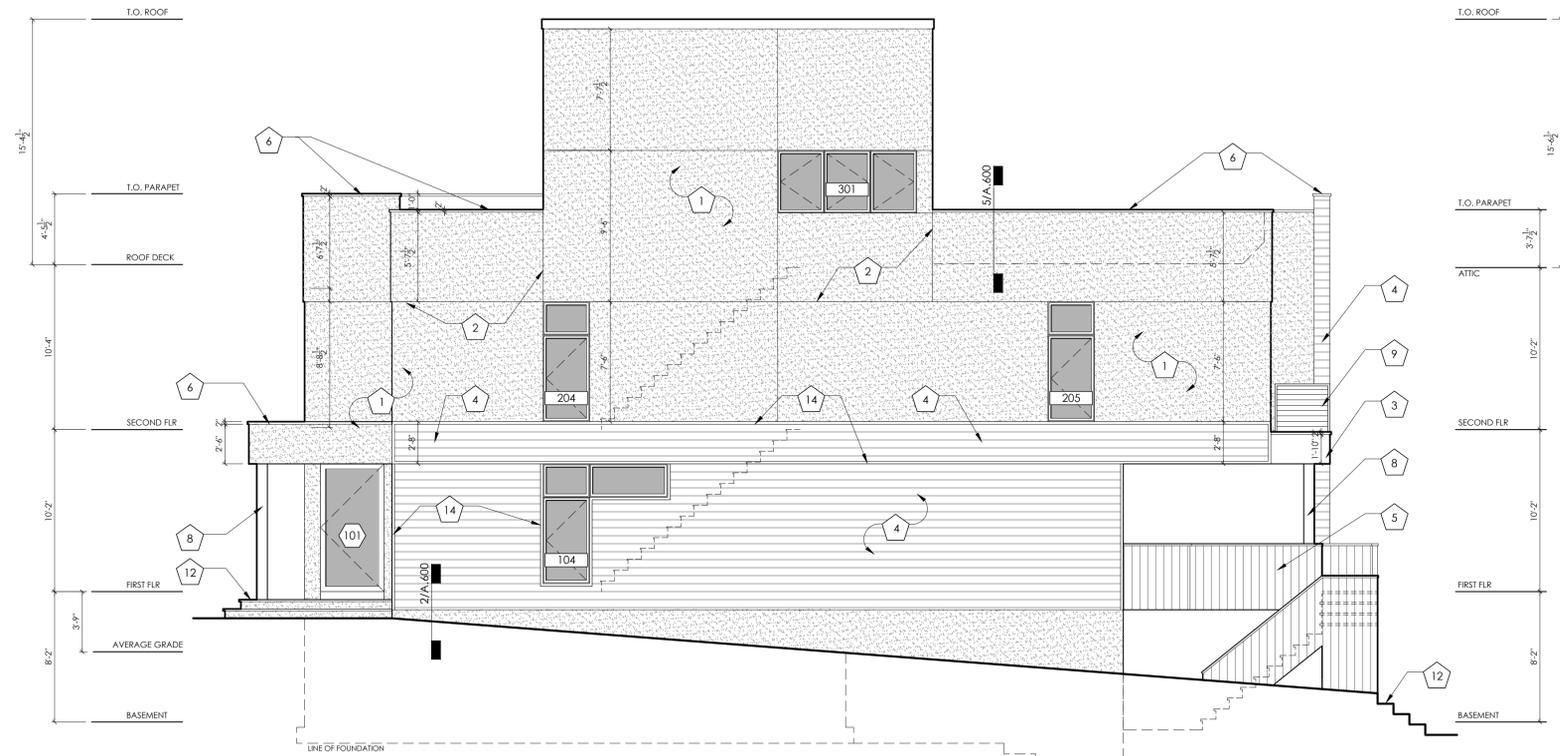
A.401

DANIEL D'AGOSTINO, A.I.A.  
 N.J. LIC. NO. 21A01880000



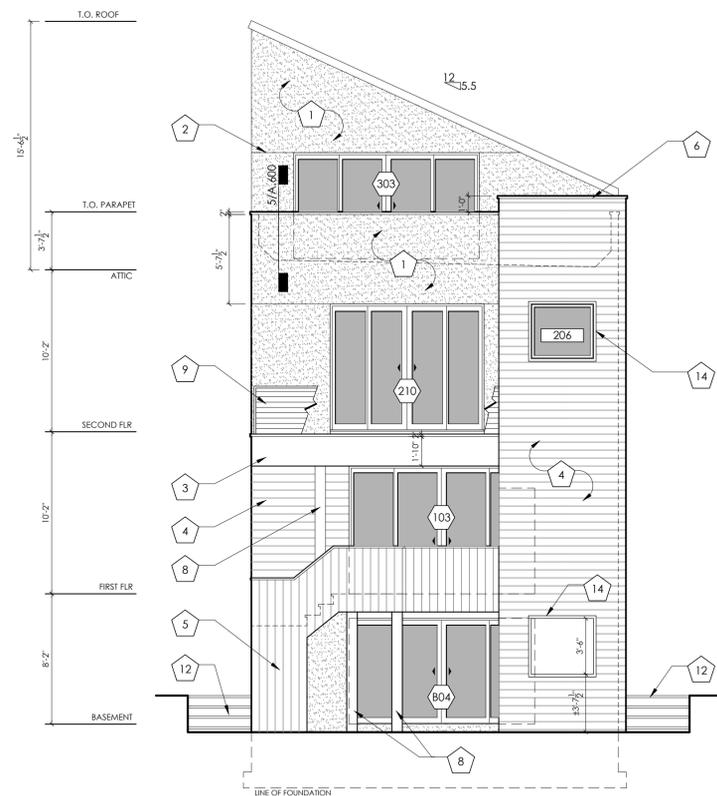
1 EXTERIOR ELEVATION: FRONT

SCALE: 3/16" = 1'-0"



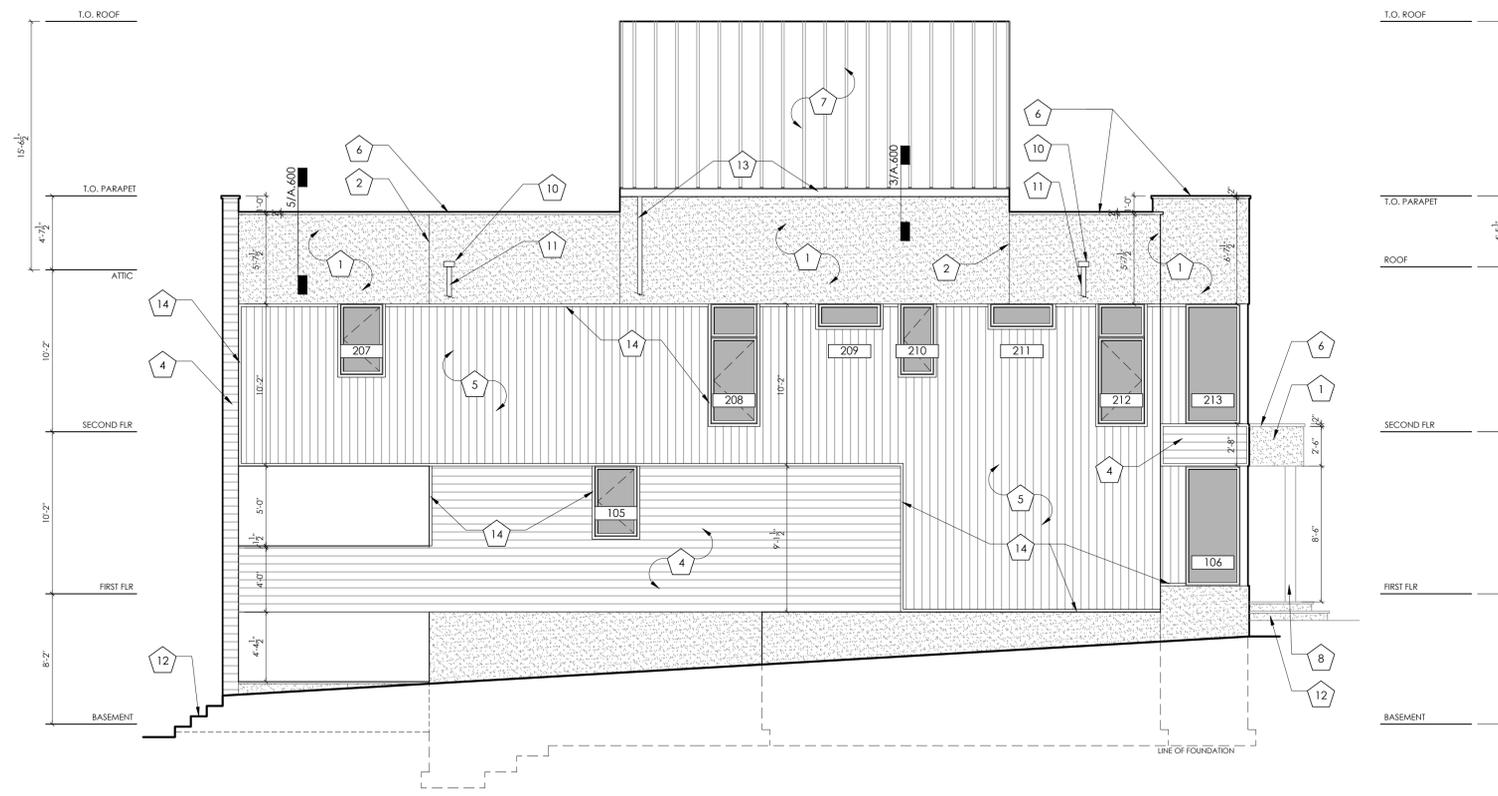
2 EXTERIOR ELEVATION: RIGHT

SCALE: 3/16" = 1'-0"



3 EXTERIOR ELEVATION: REAR

SCALE: 3/16" = 1'-0"



4 EXTERIOR ELEVATION: LEFT

SCALE: 3/16" = 1'-0"

ELEVATION LEGEND

- 1 STUCCO FINISH AS SELECTED BY OWNER. SEE SPECIFICATIONS.
- 2 STUCCO CONTROL JOINT.
- 3 HARDIE PANEL AS SELECTED BY OWNER.
- 4 HARDIE PLANK HORIZONTAL SIDING AS SELECTED BY OWNER.
- 5 HARDIE PLANK VERTICAL SIDING AS SELECTED BY OWNER.
- 6 BREAK METAL COPING, COLOR AS SELECTED.
- 7 STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C., COLOR TO BE SELECTED BY OWNER.
- 8 STRUCTURAL COLUMN WRAPPED IN BREAK METAL, PAINTED, COLOR AS SELECTED.
- 9 36" HIGH METAL AND CABLE GUARD RAIL SYSTEM TO BE SELECTED BY OWNER AND INSTALLED AS PER MANUFACTURER.
- 10 6" SCUPPER SET 4" ABOVE ROOF LINE.
- 11 4" ALUMINUM DOWNSPOUTS, PAINT AS SELECTED.
- 12 MASONRY STAIR WITH BLUE STONE TREADS AND LANDING.
- 13 5" CONT. ALUMINUM GUTTER WITH 4" ALUMINUM DOWNSPOUTS, OWNER TO SELECT FINISH.
- 14 TRIM AS SELECTED, COLOR TO MATCH SIDING.

PERMIT SET

**PLAN ARCHITECTURE**  
 125 PATERSON AVE, Second Floor dan@plnarc.com  
 Little Falls, NJ 07424 T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

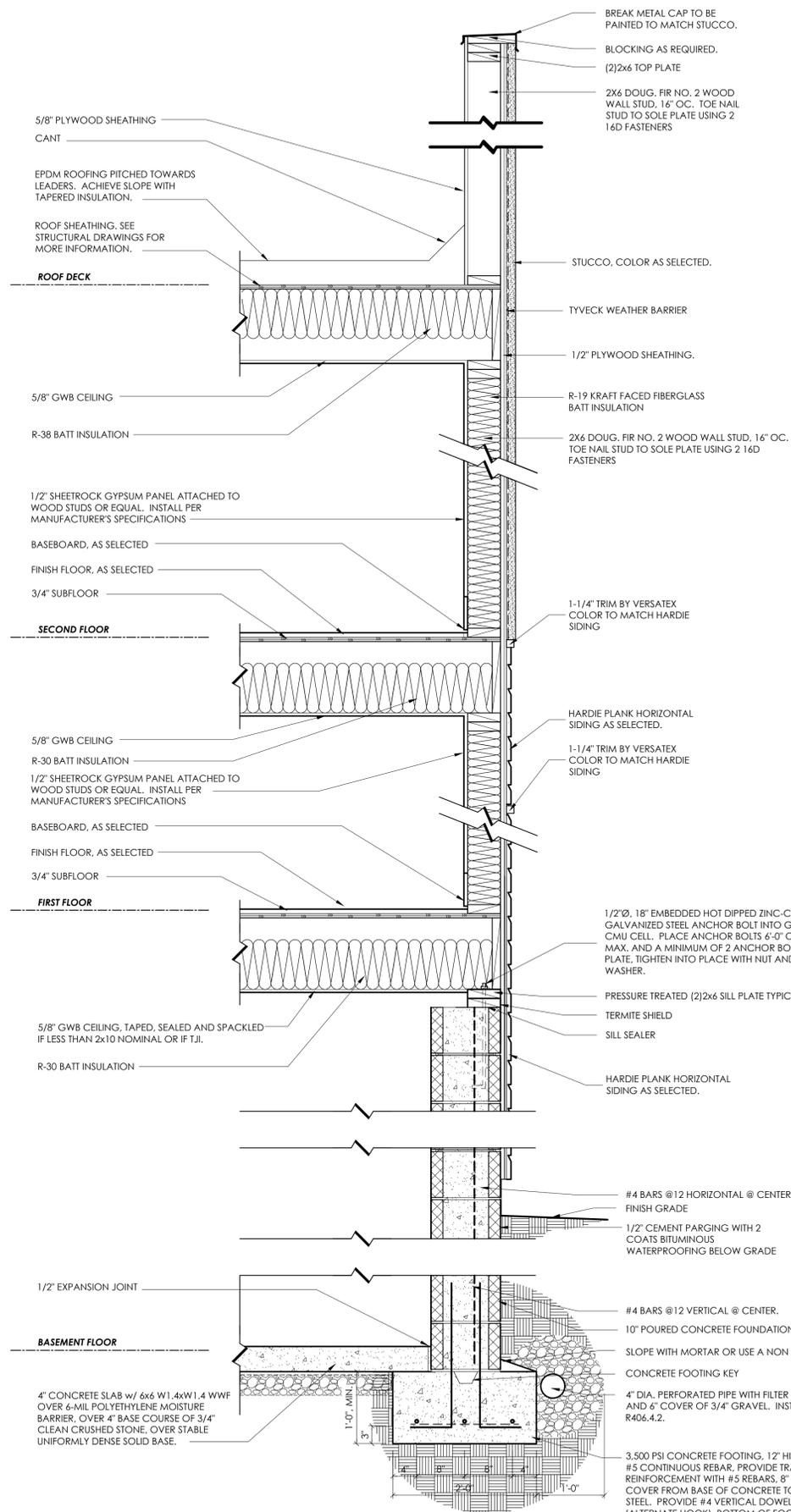
PROJECT: PROPOSED NEW CONSTRUCTION FOR:  
**THE PROPOSED RESIDENCE**

FLOOR OR FLOORS (IF APPLICABLE):  
 EXTERIOR ELEVATIONS

SEAL & SIGNATURE: \_\_\_\_\_ DATE: NOV. 3, 2020  
 PROJECT NO.: 19-0611  
 SCALE: AS NOTED  
 DWG. BY: JLD/WAG  
 CHK. BY: DD  
 DWG. NO.: \_\_\_\_\_

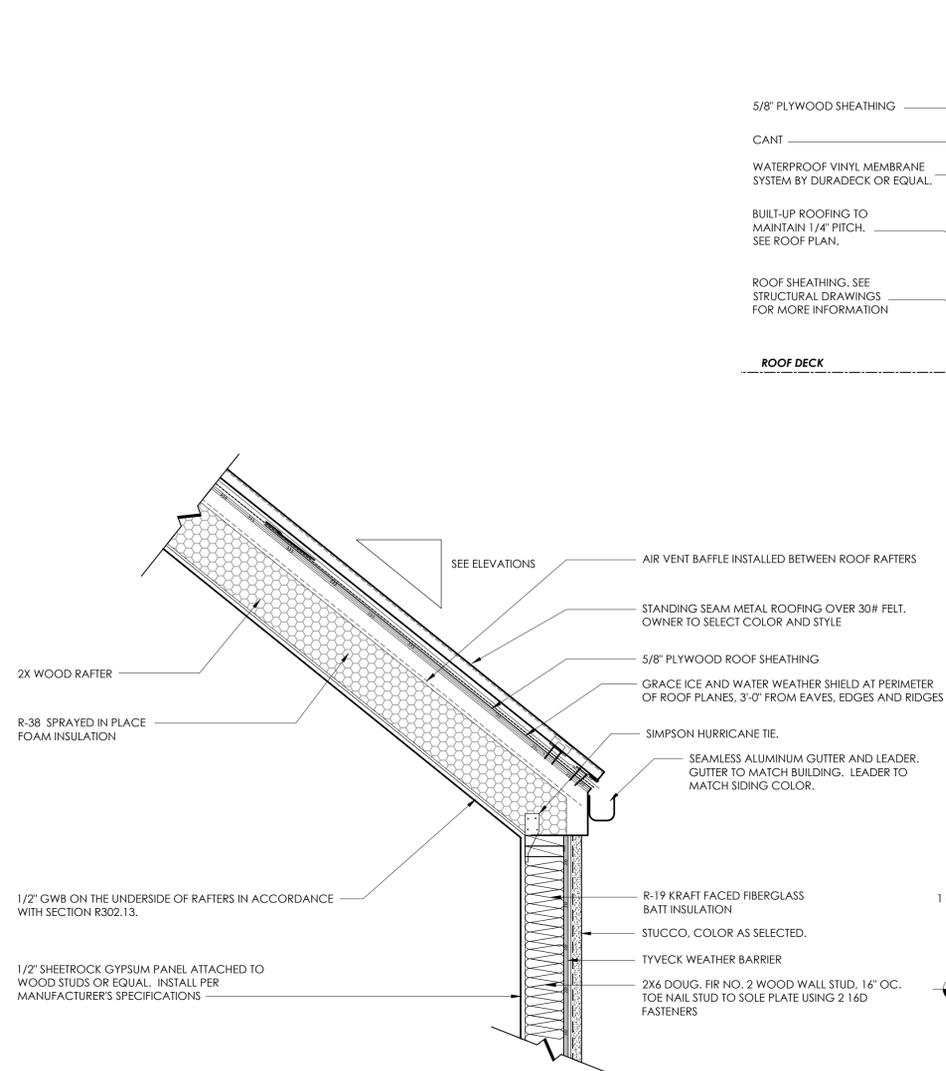
A.500

DANIEL D'AGOSTINO, A.I.A.  
 N.J. LIC. NO. 21A01880000



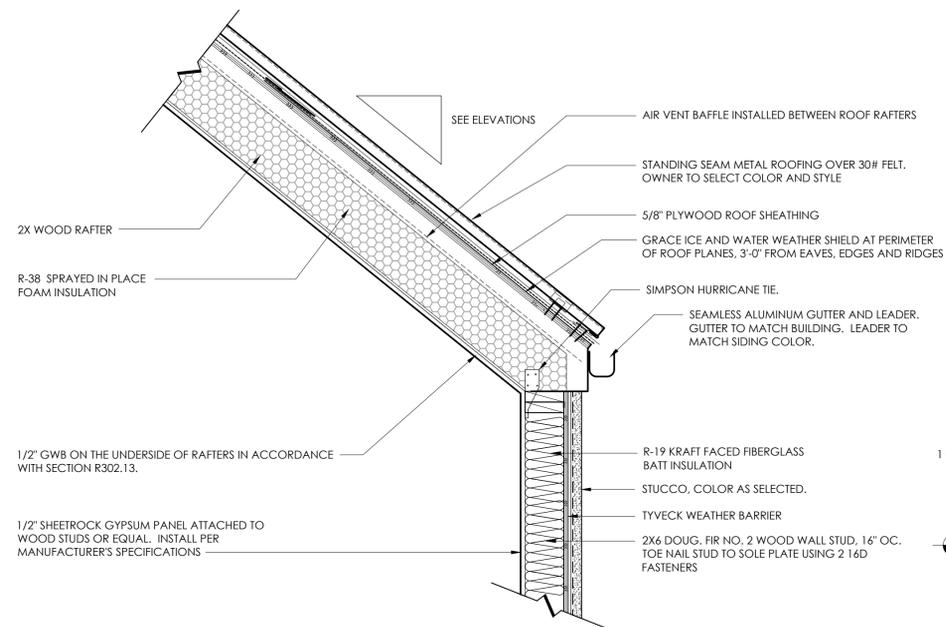
1 TYPICAL WALL SECTION - PARAPET

SCALE: 1"=1'-0"



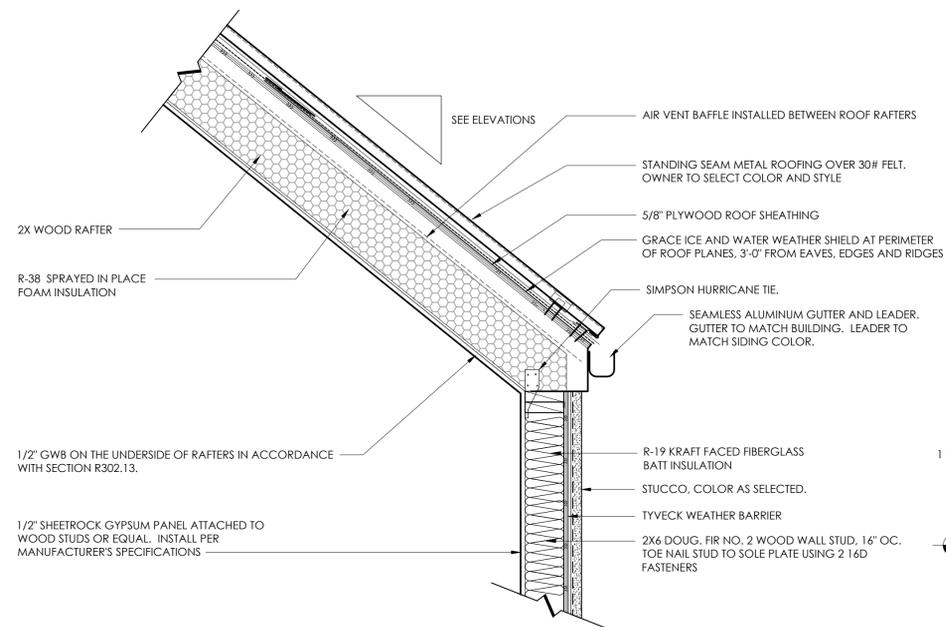
3 TYPICAL WALL SECTION @ EXIST. FOUNDATION

SCALE: 1"=1'-0"



5 ROOF DECK PARAPET DETAIL

SCALE: 1"=1'-0"



4 TYP. STEPPED FOOTING DETAIL

SCALE: 1"=1'-0"

NOTE: SEE PLANS AND ELEVATIONS FOR STEP LOCATIONS

MASONRY FOUNDATION WALLS W/ REINFORCING				
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL	8"    10"    12"		
		#4 @ 48	#4 @ 56	#4 @ 72
6'-8"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	6'-8"	#6 @ 48	#5 @ 56	#5 @ 72
7'-4"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#5 @ 48	#5 @ 56	#5 @ 72
8'-0"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#5 @ 48	#5 @ 56	#5 @ 72
8'-8"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#5 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#6 @ 48	#5 @ 56	#5 @ 72
9'-4"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#5 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#6 @ 48	#5 @ 56	#5 @ 72
10'-0"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#5 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#6 @ 48	#5 @ 56	#5 @ 72

LATERAL SOIL LOAD= 60PSF

**PERMIT SET**

**PLAN ARCHITECTURE**  
 125 PATERSON AVE, Second Floor  
 Little Falls, NJ 07424  
 dan@plnarc.com  
 T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED NEW CONSTRUCTION FOR  
**THE PROPOSED RESIDENCE**

FLOOR OR FLOORS (IF APPLICABLE):

TYPICAL WALL SECTION, DETAILS

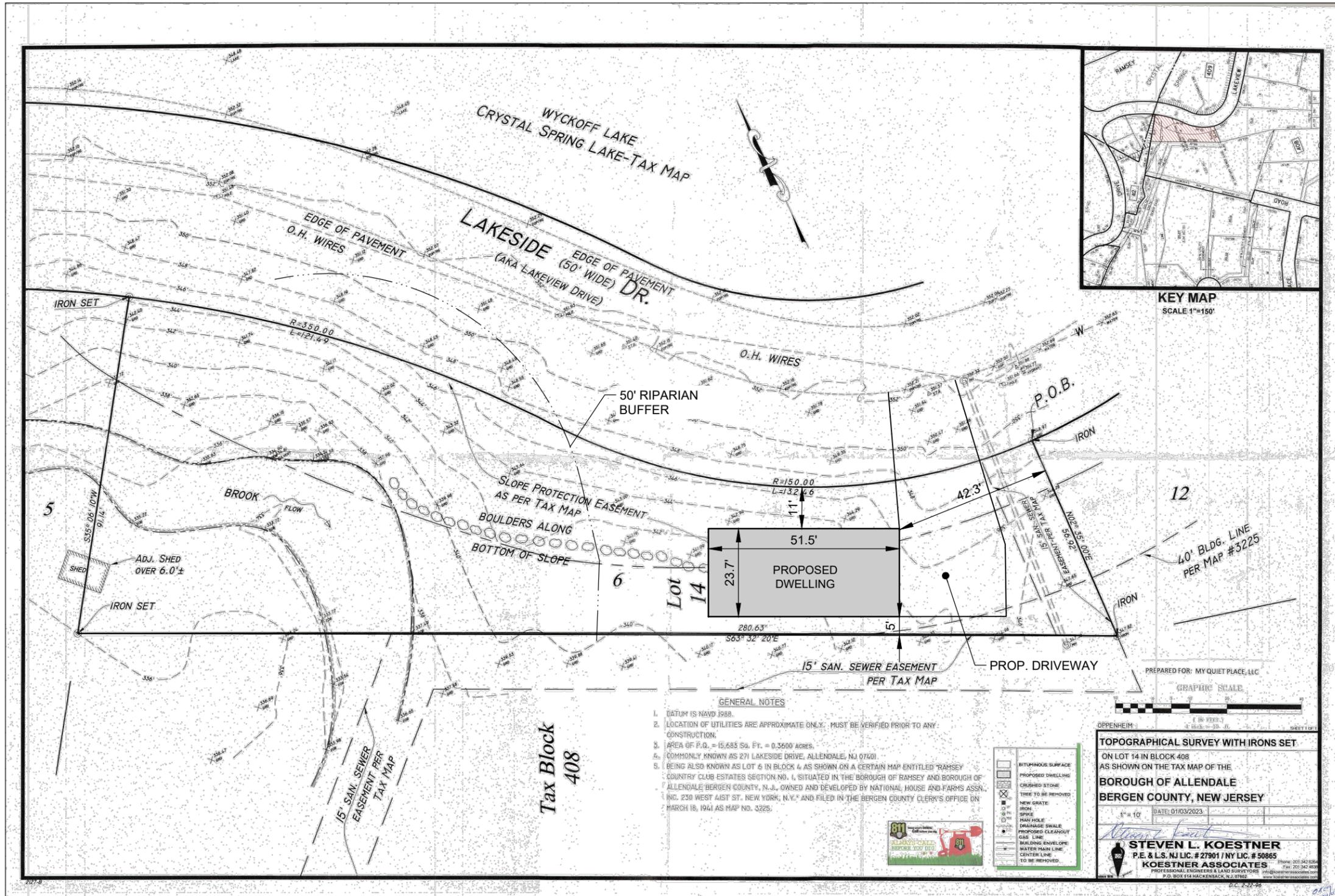
SEAL & SIGNATURE:

DATE: NOV. 3, 2020  
 PROJECT NO.: 19-0611  
 SCALE: AS NOTED  
 DWG. BY: JLD/WAG  
 CHK. BY: DD  
 DWG. NO.:

A.600

DANIEL D'AGOSTINO, A.I.A.  
 N.J. LIC. NO. 2140188000





**KEY MAP**  
SCALE 1"=150'

- GENERAL NOTES**
- DATUM IS NAD 1983.
  - LOCATION OF UTILITIES ARE APPROXIMATE ONLY. MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.
  - AREA OF P.O.B. = 15,683 Sq. Ft. = 0.3600 ACRES.
  - COMMONLY KNOWN AS 271 LAKESIDE DRIVE, ALLENDALE, NJ 07401
  - BEING ALSO KNOWN AS LOT 6 IN BLOCK 4 AS SHOWN ON A CERTAIN MAP ENTITLED "RAMSEY COUNTRY CLUB ESTATES SECTION NO. 1, SITUATED IN THE BOROUGH OF RAMSEY AND BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J., OWNED AND DEVELOPED BY NATIONAL HOUSE AND FARMS ASSN., INC. 230 WEST 41ST ST., NEW YORK, N.Y." AND FILED IN THE BERGEN COUNTY CLERK'S OFFICE ON MARCH 18, 1941 AS MAP NO. 3225.

[Symbol]	BITUMINOUS SURFACE
[Symbol]	PROPOSED DWELLING
[Symbol]	CRUSHED STONE
[Symbol]	TREE TO BE REMOVED
[Symbol]	IRON
[Symbol]	NEW GRATE
[Symbol]	SPIKE
[Symbol]	MAN HOLE
[Symbol]	DRAINAGE SWALE
[Symbol]	PROPOSED CLEAROUT
[Symbol]	GAS LINE
[Symbol]	BUILDING ENVELOPE
[Symbol]	WATER MAIN LINE
[Symbol]	CENTER LINE
[Symbol]	TO BE REMOVED

PREPARED FOR: MY QUIET PLACE, LLC

GRAPHIC SCALE

OPPENHEIM

**TOPOGRAPHICAL SURVEY WITH IRONS SET**  
ON LOT 14 IN BLOCK 408  
AS SHOWN ON THE TAX MAP OF THE  
**BOROUGH OF ALLENDALE**  
**BERGEN COUNTY, NEW JERSEY**

1" = 10' DATE: 01/03/2023

*Steven L. Koestner*  
**STEVEN L. KOESTNER**  
P.E. & L.S. NJ LIC. # 27901 / NY LIC. # 50865  
**KOESTNER ASSOCIATES**  
PROFESSIONAL ENGINEERS & LAND SURVEYORS  
P.O. BOX 414 HACKENSACK, NJ 07601  
Phone: 201.942.6264  
Fax: 201.942.6265  
info@koestnerassociates.com  
www.koestnerassociates.com

Tax Block  
408

ALLENDALE LAND USE BOARD  
APPLICATION CHECK LIST

NAME Laura Aquino BLOCK 1708 LOT 14

ADDRESS 203 WEST ALLENDALE AVENUE

ZONE A TYPE OF VARIANCE HARDSHIP

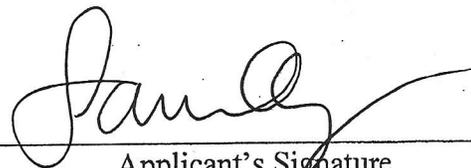
BRIEF DESCRIPTION OF APPLICATION CONSTRUCTION OF A ONE STORY

REAR ADDITION, CONVERSION OF EXISTING GARAGE TO LIVING SPACE  
AND CONSTRUCTION OF A NEW DETACHED GARAGE.

SPECIFIC VARIANCE(S) REQUIRED SIDE YARDS & 270-GCC(2)  
DRIVEWAY WIDTH: 270-18B(2)

ADMINISTRATIVE REQUIREMENTS	STATUS
1. Application form complete	✓
2. Fee paid	✓
3. Denial by Building Inspector	✓
4. Affidavit of Service	
5. Proof of Publication	
6. Taxes Current	✓
7. Plot Plan	✓
8. Maps	✓
9. Photographs	✓
10. Email address <u>LAURA.AQUINO1438@GMAIL.COM</u> <u>917-842-1651</u>	✓
11. Miscellaneous	

12/21/2023  
Date

  
Applicant's Signature

**BOROUGH OF ALLENDALE**  
**CODE ENFORCEMENT OFFICE**  
500 West Crescent Avenue Allendale, NJ 07401

---



kett

Phone: (201) 818-

al

Fax: (201)

## MEMORANDUM

TO: Emma Aquino  
203 W Allendale Ave.  
Allendale, NJ 07401

FROM: Anthony Hackett, Zoning Official/Construction Official

CC: Linda Garofalo Land use Administrator

RE: Rear addition, convert garage to living space, and new detached garage.

DATE: December 7, 2023

---

The Allendale Building/Zoning Department received the following documents:

- A. Borough of Allendale Zoning Review Application
- B. Plot plan prepared by Conklin Associates
- C. Plans prepared by Chris Greimel PE PP RA

I have reviewed these documents and the Borough of Allendale Zoning Ordinances and I must deny your application for the following reason(s):

1) Your property is in the A zone, to calculate the side-yard setbacks, a formula is used (using your Gross Floor Area). In your case you have an existing nonconformity on the right side of your home. According to **Borough Code 270-37(A)2**, you cannot create any new or additional encroachment or nonconformity. Currently there is a 14.4' right side-yard setback where 15' was required, however, the proposed additional square footage would now require side yard setbacks of 19.2'. As a result, your right side-yard would be out of compliance by 4.2 feet and the left side out of compliance by 1.8 feet. See **Borough Code 270-64C (2)**

2) A driveway cannot exceed 35' in width including turn arounds, the plans show 48' wide. See **Borough Code 270-18 B (2)**

---

You are hereby notified that you have the right under N.J.S.A. 40:55D-72 to appeal this decision to the Zoning board of adjustments of the Borough of Allendale within 20 days from the date of the decision. For further information please visit. <http://allendalenj.gov/zoning-board-of-adjustments/>

Anthony Hackett  
Construction Official

REQUIRED MATERIALS AND CHECKLIST FOR  
ALLENDALE LAND USE BOARD HEARINGS

This checklist and attached sample drawings are provided to ensure that you or your professionals are prepared for your hearing and that your application is complete. All items should be supplied to the extent that they are applicable to the specific application. If information is insufficient or missing, the board may deem your application incomplete and adjourn your hearing until it receives all necessary documentation. Please create ~~18~~ <sup>10</sup> packets of the below information. PWS PDF FILES.

I. PROVIDE AN ACCURATE SURVEY FOR THE PROPERTY IN QUESTION WHICH CONTAINS THE FOLLOWING INFORMATION:

1. Footprint of existing buildings or structures.
2. Precise distances from all property lines to closest point of principal building including steps, deck or other extensions of the building.
3. The location and precise distances of accessory buildings, such as garages and sheds, to property lines and the principal building or structure.
4. The location and dimensions of steps, patios, driveways, decks, pools and all other improved impervious areas and their precise distances to nearest property line and structures.
5. An accurate depiction of the proposed construction or alteration including the information requested in 1, 2, 3 and 4 above.
6. The precise distances from all property lines to the closest point of the proposed construction.

II. AN ENLARGED TAX MAP DEPICTING PROPERTY IN QUESTION AND ITS RELATIONSHIP TO NEIGHBORING PROPERTIES.

1. The precise distances from the existing buildings or structure in question to the closest point of all neighboring buildings and structures.
2. The precise distances from the proposed construction to the closest point of all neighboring buildings and structures.

III. STRUCTURAL DIMENSIONS:

1. All dimensions of existing building or structure.
2. All dimensions of proposed building or structure.

- 3. Height of existing building or structure.\*
- 4. Height of proposed building or structure.\*  
\*(height to be measured from lowest point of the ground that abuts the foundation of the structure to the highest point on the roof.)
- 5. Front, rear and side elevations of the proposed structure.

IV. FLOOR PLANS.

- 1. Floor plans of the existing interior of the building containing all relevant dimensions.
- 2. Floor plans of the interior of the proposed construction containing all relevant dimensions.
- 3. Precise square footage of the existing building.
- 4. Precise square footage of the proposed construction.
- 5. Floor area ratio calculation pursuant to Section 270-63 of the zoning ordinance (required for all applications)

V. PHOTOGRAPHS.

- 1. Photographs of the property in question and existing improvements may be helpful to the Board in presenting your information.
- 2. Photographs of views from the existing building or structure to neighboring properties and buildings which show existing plantings or other buffers are also helpful and may be requested by the Board.

(All photographs should be taken by you or someone who can testify to the Board as to when they were taken and that the photographs represent an accurate depiction of what they saw at the time.)

VI. LANDSCAPING AND LAND FEATURES.

- 1. The survey, plat or plan should locate and describe any proposed landscaping to be done in connection with the application.
- 2. The location of any unusual property features should be indicated, such as flood plain, streams, wooded areas, rock outcroppings or steep slopes.

VII. PREVIOUS APPLICATIONS.

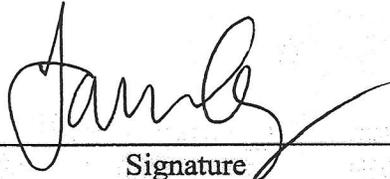
- 1. Applicants should be prepared to discuss prior applications to the Land Use Board, Board of Adjustment and Planning Board and the results thereof.

VIII. Any additional information which may be deemed necessary by the Land Use Board, its Consultants or Borough departments and agencies.

NOTE: ALL DIMENSIONS AND DISTANCES MUST BE DEPICTED TO SCALE ON DRAWINGS AND PLANS.

Any questions regarding your hearing or the checklist should be directed to the Land Use Administrator at the Borough of Allendale Municipal Building 201-818-4400 x202. Please submit ~~five~~ <sup>ten</sup> (15) packets with copies of all drawings and plans to the Land Use Administrator at least ten (10) days prior to the hearing. It is suggested that the property owner refer to the appropriate building code to assure proper engineering and construction techniques, or to secure the services of a local, reputable architect and/or engineer.

12/21/2023  
Date

  
Signature

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM  
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF  
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

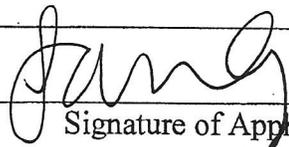
The petition of Laura Aquino  
shows that on or about the 1st day of DECEMBER, 2023  
an application to the Zoning Official for the purpose of (describe intended  
action) CONSTRUCTING A ONE STORY ADDITION, CONVERTING AN EXISTING  
GARAGE TO LIVING SPACE AND CONSTRUCTING A NEW DETACHED  
GARAGE.  
on the premises located at (street address) 203 WEST ALLENDALE AVENUE,  
ALLENDALE, NEW JERSEY Block 1708 Lot 14  
as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that  
after due consideration the Zoning Enforcement Officer did on the 7th day of Dec, 2023  
decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement  
Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of  
appeal with said Officer, together with the required fee of \$500, and requests that  
action of the Zoning Enforcement Officer be reversed or modified as the facts may be  
determined, and applicant further requests that a day be fixed for hearing on this appeal and  
states that the proper notice will be given to all owners of property situated within two hundred  
(200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

An application is hereby made for a (Hardship) (~~Floor Area Ratio~~) (~~Use~~) variance from the terms  
of Article(s) and Section(s) 270-64C(2) & 270-18B(2)  
of the Zoning Ordinance so as to  
permit CONSTRUCTION OF A ONE STORY REAR ADDITION, CONVERT  
AN EXISTING GARAGE TO LIVING SPACE AND CONSTRUCT A NEW  
DETACHED GARAGE.

  
Signature of Applicant

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 14 Block(s) V708  
Street Address 203 WEST ALLENDALE AVENUE  
Applicant LAURA AQUINO Address 203 WEST ALLENDALE AVENUE  
Owner LAURA AQUINO Address 203 WEST ALLENDALE AVENUE  
Lessee N/A Address \_\_\_\_\_  
Last Previous Occupancy RESIDENCE  
Size of Lot 25,043 SF  
Floor area ratio calculation 12.99% PROPOSED  
Percentage of lot occupied by building(s) 10.87% PROPOSED  
Height of building(s) 2 stories 21'6" feet  
Set back from front property line 32' ft. From side (if corner lot) N/A ft.  
Zoning requirements – Frontage 44', side yards 19.5', set-back 35', rear yard 50'  
"Prevailing set-back" of adjoining buildings within one block 30' ft  
Has there been any previous appeal involving these premises? NO  
If so, state character of appeal and date of disposition \_\_\_\_\_

Proposed use: RESIDENCE

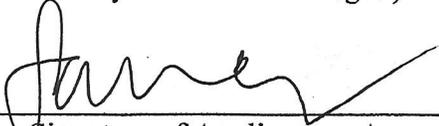
This application for a use variance includes an application for subdivision \_\_\_\_\_, site plan \_\_\_\_\_, conditional use \_\_\_\_\_ approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) ~~Fifteen~~ <sup>10</sup> (15) copies of all application documents
- (c) ~~Fifteen~~ <sup>10</sup> (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified "location map" and clearly indicate such buildings and their approximate location, together with "prevailing set-back" dimensions.
- (d) ~~Fifteen~~ <sup>10</sup> (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) ~~Fifteen~~ <sup>10</sup> (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) ~~Fifteen~~ <sup>10</sup> (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

Date: 2/21/2023

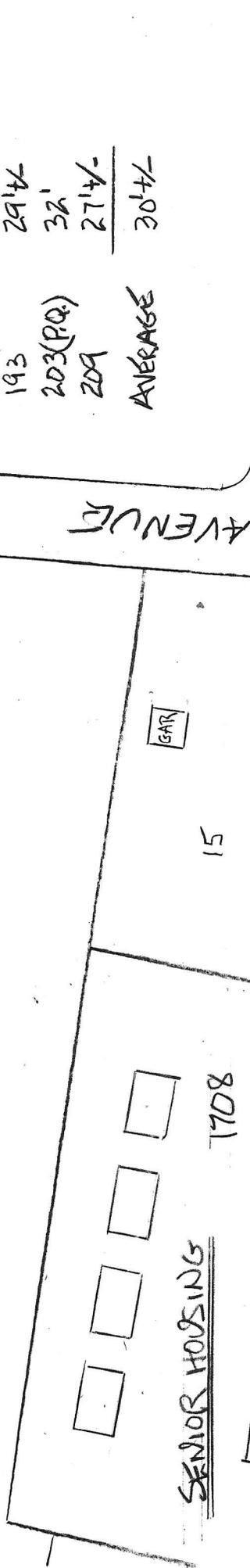
  
\_\_\_\_\_  
Signature of Applicant or Agent



1603

BALL FIELD

2



PREVAILING SET BACK

HOUSE #	FRONT YD.
191	32' +/-
193	29' +/-
203 (P.Q.)	32'
209	27' +/-
AVERAGE	30' +/-

DELTA CT

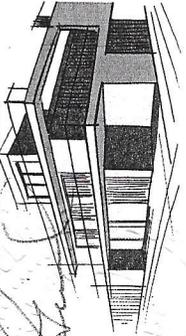
FROM ALLENDALE TAX MAP

(1" = 100' +/-)

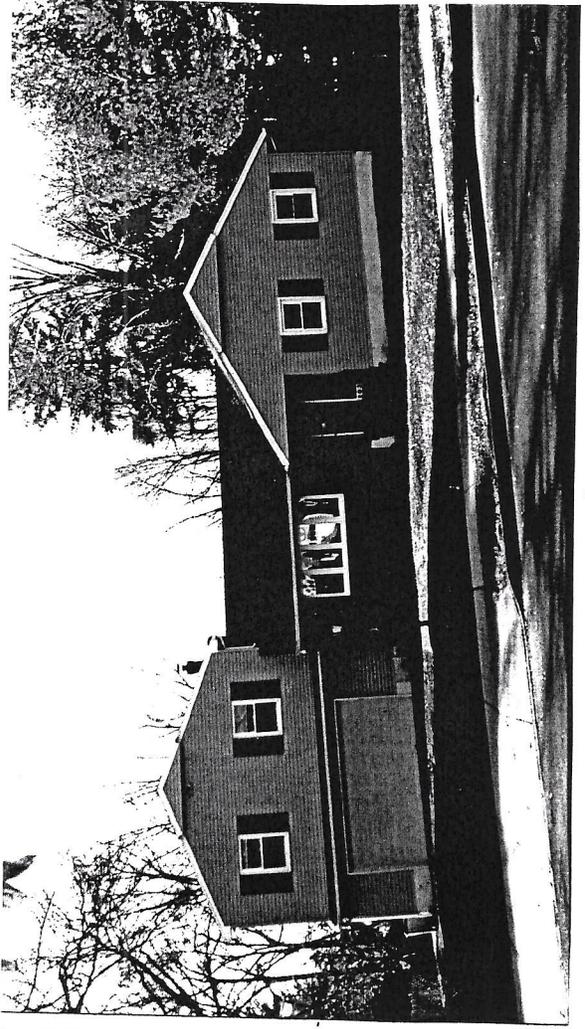
AQUINO VARIANCE APPLICATION  
 203 WEST ALLENDALE AVE  
 ALLENDALE NEW JERSEY

Christopher J. Greimel, P.E., R.A., P.P.  
 Professional Engineer, Registered Architect & Professional Planner  
 cgreimel@optonline.net

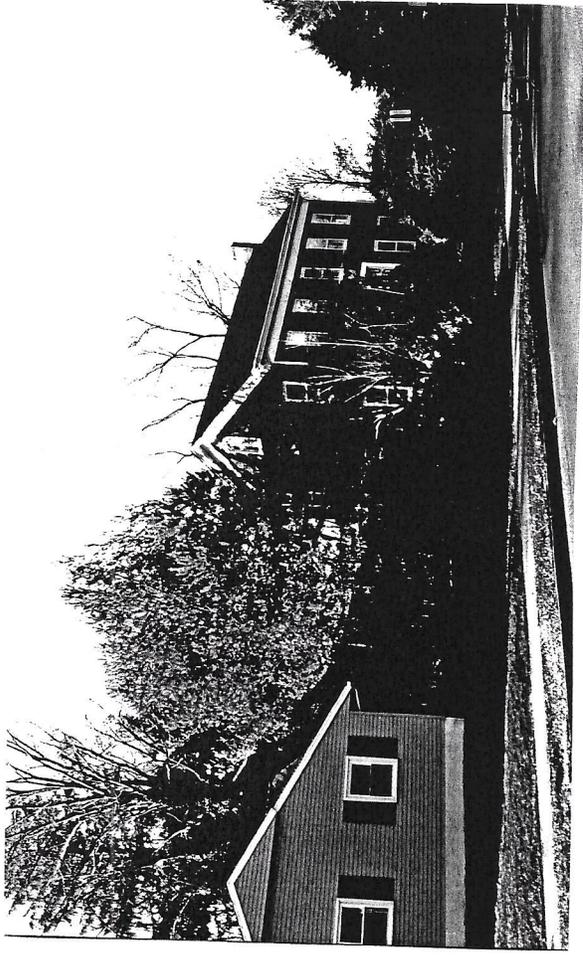
157 Park Avenue  
 Allendale, New Jersey 07401  
 201-825-7535



12/14/03

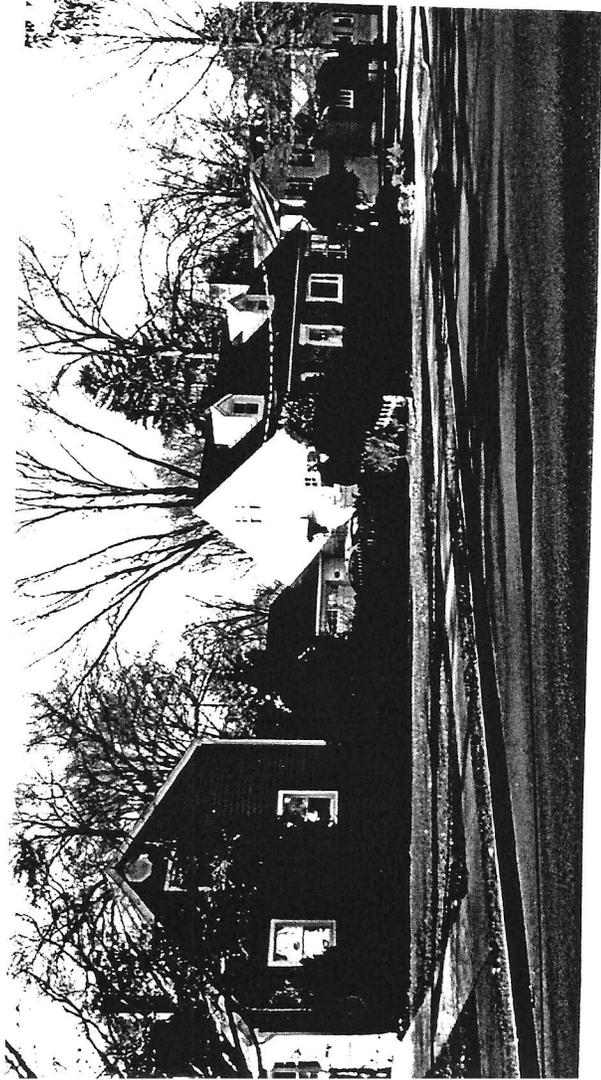


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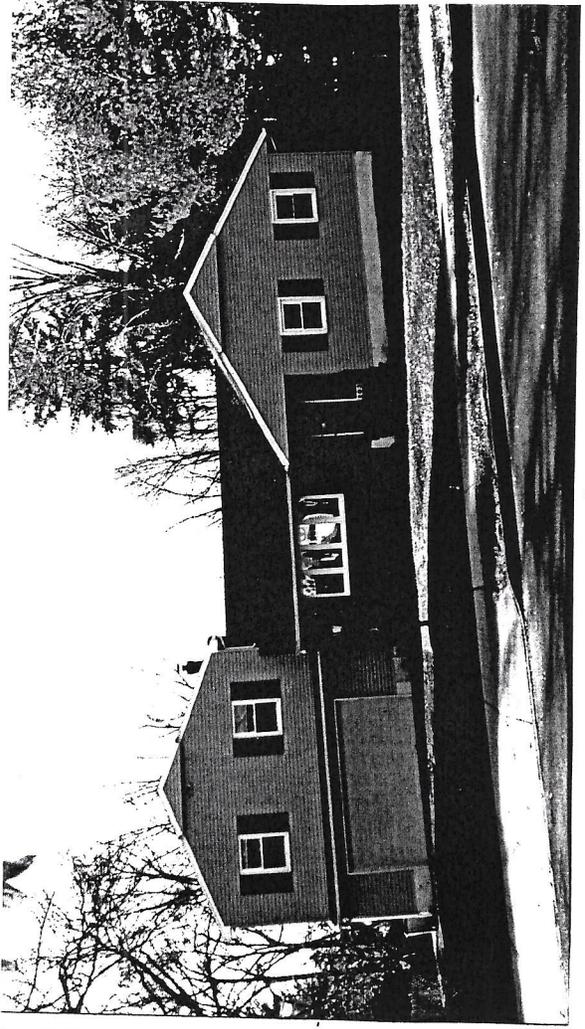
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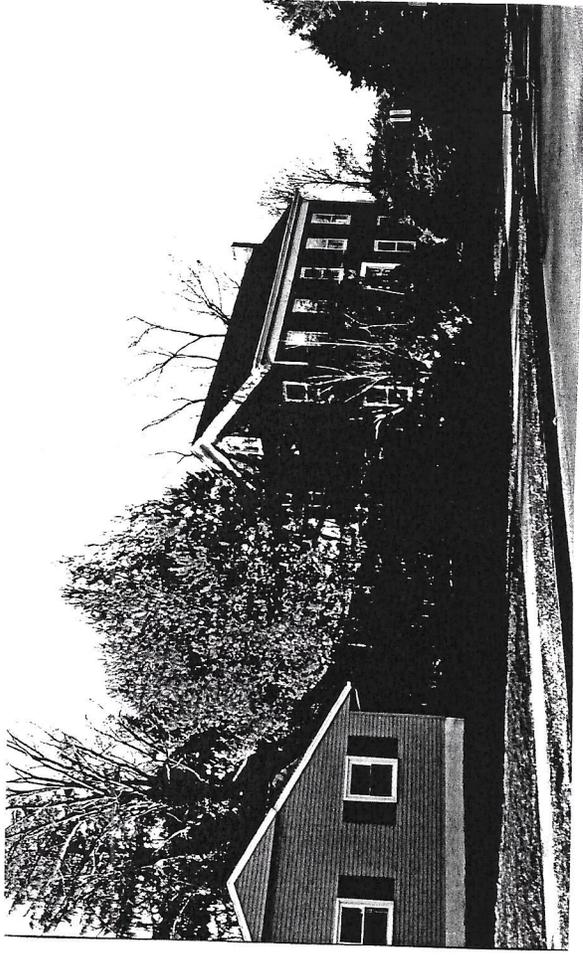
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WEST ALLENDALE AVENUE - STREET SCAPE

C. GREIMEL 12/20/23

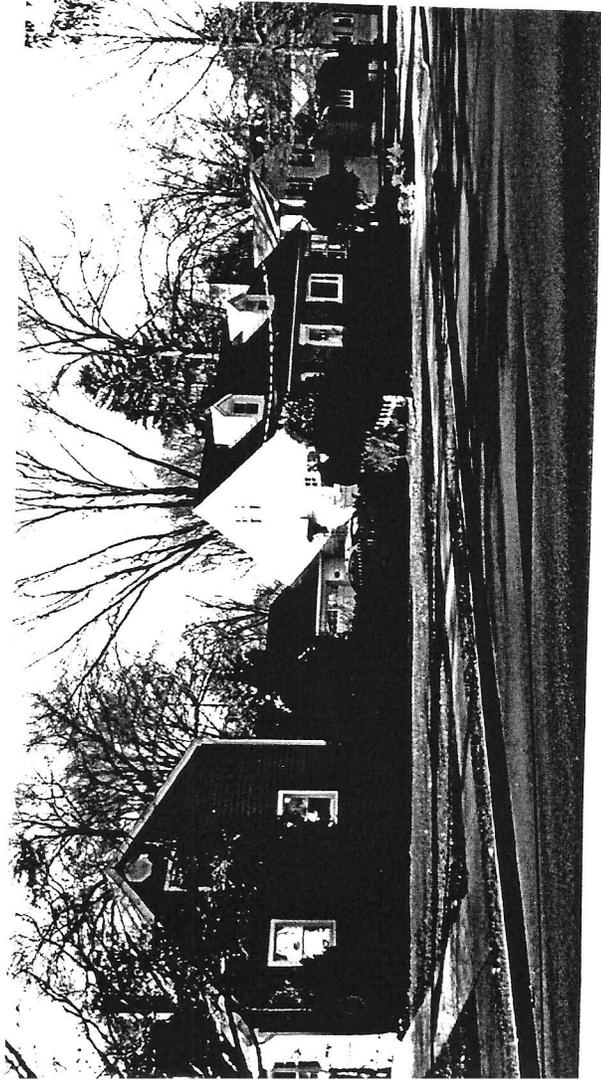


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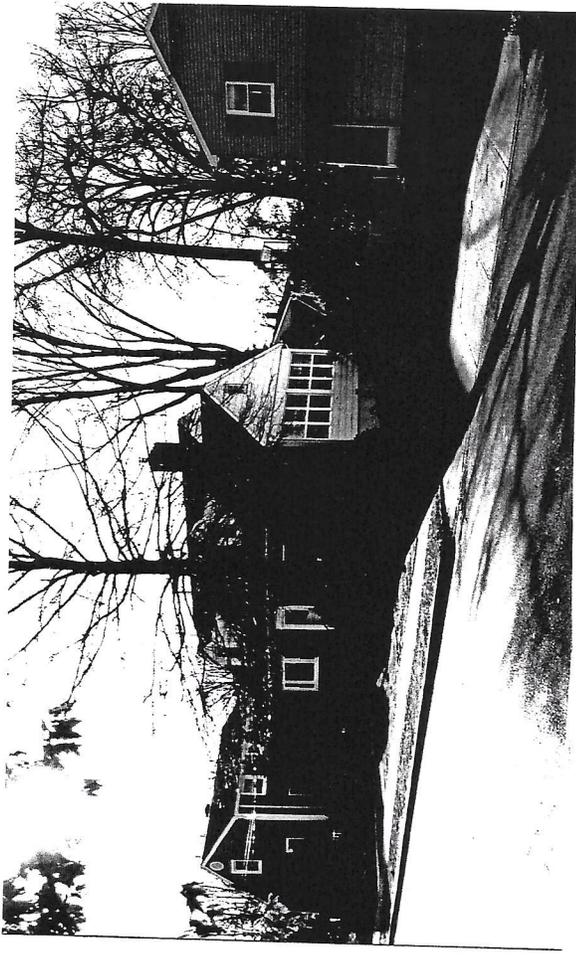
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203

WEST ALLENDALE AVENUE - STREET SCAPE

C. GREIMEL 12/20/23

**ROOF DRAINAGE CALCULATIONS**

- NEW ROOF AREA = 946 SF
- 2-HOUR STORM AT 1.0"/HOUR/SF  $(946 \text{ SF} \times 1.0"/\text{HR} \times 2 \text{ HRS}) / 12 = 157.7 \text{ CF} \times 7.48 \text{ GAL/CF} = 1,179.3 \text{ GAL}$

REQUIRED CAPACITY

**ZONING REQUIREMENTS - "A" ONE FAMILY RESIDENTIAL**

DESCRIPTION	REQUIREMENT	ORIGINAL ①	PROPOSED
LOT AREA	20,000 SF	25,043 SF	25,043 SF
LOT WIDTH	115'	100'	100'
FLOOR AREA RATIO ①	21.99% MAX	14.43%	12.99%
GROSS BUILDING FLOOR AREA ②	5,507 SF MAX	3,614 SF	3,252 SF
IMPERVIOUS COVERAGE ③	N/A	12.32%	10.81%
BUILDING COVERAGE	N/A	4.23%	4.84%
OTHER COVERAGE ④	N/A	2.49%	1.43%
TOTAL	34.76% MAX	19.04%	22.14%
PRINCIPAL BUILDING			
FRONT YARD	35' MIN	32.0'	32.0'
SIDE YARD #1 ⑤	19.5' MIN	17.5'	17.5'
SIDE YARD #2 ⑥	19.5' MIN	14.4'	14.4'
REAR YARD	50' MIN	164' +/-	164' +/-
BUILDINGS HEIGHT			
FEET	35' MAX	21' +/-	21' +/-
STORIES	2 1/2 STY. MAX	2 STY	2 STY
ACCESSORY BUILDING			
FRONT SETBACK	70' MIN	114' +/-	123' +/-
SIDE SETBACK #1	6' MIN	9' +/-	7'
SIDE SETBACK #2	6' MIN	53' +/-	67' +/-
REAR SETBACK	6' MIN	95' +/-	95' +/-
HEIGHT	21' MAX	28' +/-	20' +/-
DISTANCE TO PRINCIPAL BUILDING	10' MIN	41' +/-	44' +/-

- ① FAR =  $25.0002 \times (25,043 - 10,000) = 21.99\% \text{ MAX}$
- ② GBA =  $21.99 \times 25,043 = 5,507 \text{ SF MAX}$
- ③ IMPERVIOUS COVERAGE =  $55 / 125,043 = 34.76\% \text{ MAX}$
- ④ DECK IS PERVIOUS - NOT INCLUDED
- ⑤ SIDE YARD =  $.006 \times \text{GBA (WITH ADDITION \& NEW GARAGE)} = .006 \times 3,252 = 19.51'$
- ⑥ DENOTES EXISTING NON-CONFORMING CONDITION TO REMAIN UNCHANGED. PROPOSED ADDITION \& DETACHED GARAGE TO BE FULLY CONFORMING.
- ⑦ SIDE YARD REQUIREMENT BASED ON EXISTING GBA =  $.006 \times 2614 = 21.68'$ . THEREFORE, PROPOSED CONSTRUCTION REDUCES SIDEYARD REQUIREMENT BY 2.42' THEREBY REDUCING MAGNITUDE OF SIDEYARD NON-CONFORMANCE FOR THE EXISTING PRIMARY BUILDING.
- ⑧ INCLUDES BARN.

**N.T.U.C.C. DATA REQUIREMENTS**

- APPLICABLE CODES:
  - INT. RESIDENTIAL CODE, 2021 (NJ)
  - NAT. ELECTRIC CODE, 2020
  - NAT. STANDARD PLUMBING CODE, 2021
  - INT. MECHANICAL CODE, 2021
  - INT. FUEL GAS CODE, 2021
  - INT. ENERGY CONSERVATION CODE, 2021
- USE GROUP DESIGN CRITERIA: R5
- CONSTRUCTION TYPE: 5B
- NEW CONSTRUCTION # STORIES: 1
- NEW CONSTRUCTION HEIGHT (IRC DEF):
  - ADDITION: 13' +/-
  - DETACHED GARAGE: 15' +/-
- NEW BUILDING AREA: 270 S.F.
- NEW STRUCTURE VOLUME: 12,768 C.F.
- NEW ROOF AREA: 946 S.F.
- LAND AREA DISTURBED: 4,000 S.F.
- EXCAVATIONS: 60 CY.
- NEW PLUMBING FIXTURES: 4
- NEW ELECTRIC DEVICES: 89
- DESIGN LOADS:
 

	LIVE	DEAD
GARAGE FLOOR	50 PSF	60 PSF
1ST FLOOR (HOUSE)	40 PSF	15 PSF
ATTIC (LIGHT STORAGE)	20 PSF	10 PSF
ROOF/SNOW	30 PSF	15 PSF

**ENERGY CODE COMPLIANCE (PRESCRIPTIVE PACKAGE - CLIMATE ZONE 3A) FOR ADDITION**

DESCRIPTION	REQUIREMENT	PROVIDED
FENESTRATION "U" FACTOR	.30	.30 (ANDERSEN LOW E4)
FENESTRATION SHGC	.40	.29 (ANDERSEN LOW E4)
CEILING "R" VALUE	60	61 (FIBERGLAS BATT)
WOOD FRAME WALL "R" VALUE	30 OR 20 + 501	30 (FOAM IN STUD BAYS)
FLOOR "R" VALUE	30	30 (FIBERGLAS BATT)
CRAWL SPACE WALL "R" VALUE	1501	1801 (FOAM BD - INTERIOR)

**LEGEND**

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED
- NEW WOOD STUD WALL
- NEW CEMENT BLOCK WALL
- SILL ANCHOR
- DOOR \& WINDOW SCHEDULE ITEM #
- SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- 120 VAC RECEPTACLE
- 120 VAC GFCI RECEPTACLE
- CEILING MOUNT FIXTURE (LED)
- DOWNWITE (LED)
- WALL MOUNT FIXTURE (LED) - MEMOTION DETECTOR
- SMOKE ALARM (120 VAC/BATTERY BACKUP)
- CO ALARM (120 VAC/BATTERY BACKUP)
- CABLE TV OUTLET/DATA PORT
- TELEPHONE OUTLET
- CEILING FAN WITH LIGHT KIT
- FAN CONTROL SWITCH
- BATH EXHAUST FAN - VENT TO OUTSIDE
- ELECTRIC PANEL
- OVERHEAD DOOR OPENER
- UNDERGROUND ELECTRIC
- UNDERGROUND DRAIN
- SEALED SHOWER FIXTURE (LED)
- FLOOD LIGHT (LED) - M = MOTION DETECTOR

**CONSTRUCTION NOTES**

- SEE APPENDIX #1 FOR GENERIC NOTES AS APPLICABLE.
- UNLESS OTHERWISE NOTED, FRAMING LUMBER SHALL BE:
  - DOUGLAS FIR, #2 GRADE OR BETTER FOR PROTECTED AREAS, \&
  - ACQ PRESSURE TREATED SYP, #2 GRADE OR BETTER FOR FRAMING EXPOSED TO MOISTURE, ETC.
- FASTENERS, HANGERS \& CONNECTORS USED WITH ACQ SHALL BE:
  - HOT DIPPED GALVANIZED, OR
  - 316 TRIPLE ZINC COATED (ELECTROPLATED), OR
  - STAINLESS STEEL
- FLASHING IN CONTACT WITH ACQ SHALL BE COPPER.
- STRUCTURES SHALL BE FRAMED USING A COMBINATION OF STRUCTURAL SHEATHING, STEEL CLIPS, TIES, STRAPS, ANCHORS \& FASTENERS TO PROVIDE A COMPLETE \& CONTINUOUS LOAD PATH FROM THE ROOF TO THE FOUNDATION.
- ELECTRICAL CONTRACTOR SHALL DETERMINE:
  - BRANCH CIRCUIT LOADING \& SIZING
  - PANEL SERVICE LOADING \& SIZING
  - CONDUCTOR, CONDUIT \& BOX SIZING
  - CIRCUIT BREAKER SIZING \& TYPE
  - ROUTING FOR ALL WIRING

**PROPOSED ADDITION \& DETACHED GARAGE**

PLANS FOR: AQUINO RESIDENCE  
 LOCATION: 203 WEST ALLENDALE AVENUE  
 ALLENDALE, NEW JERSEY

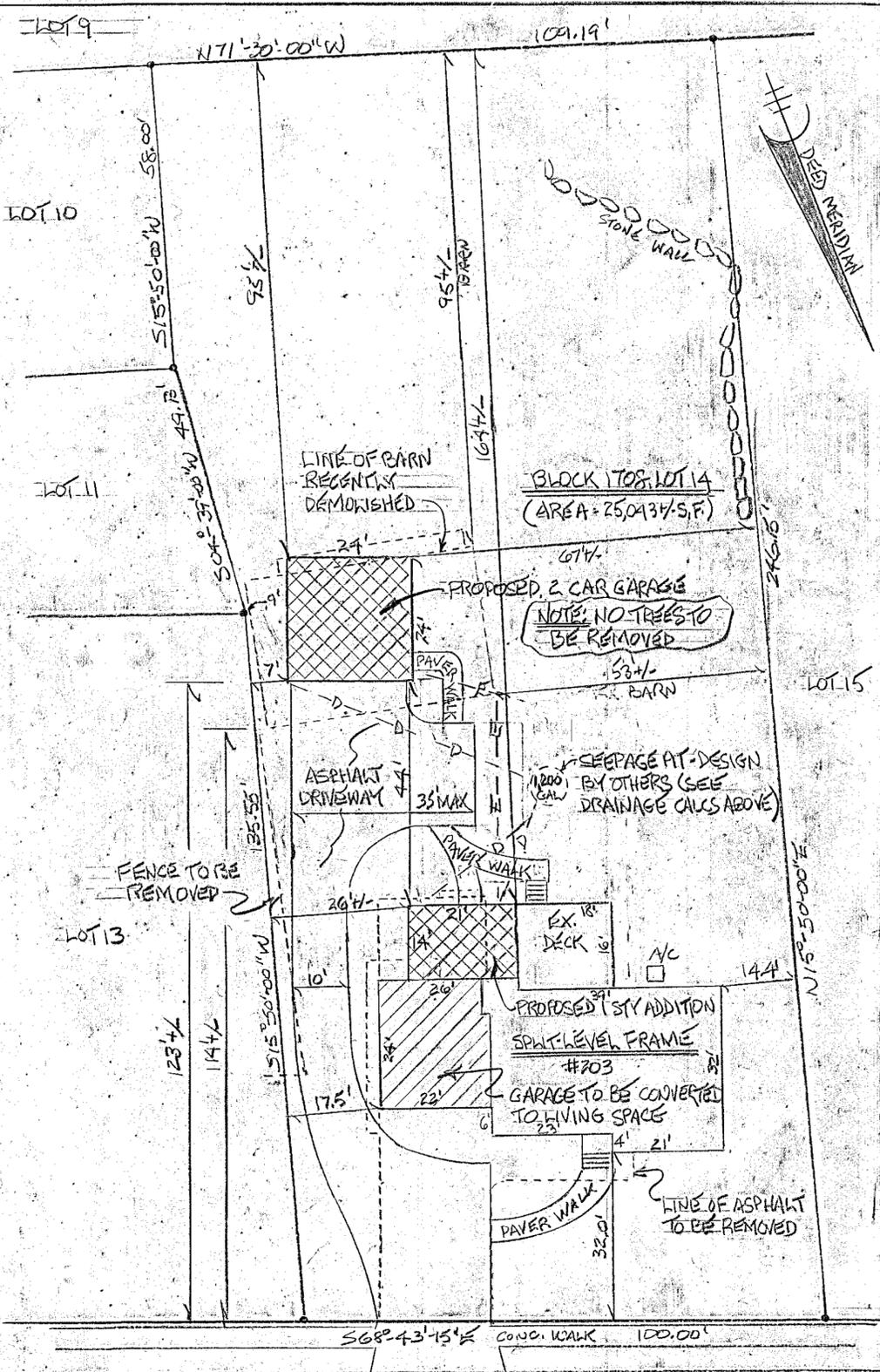
BLOCK # 1708 LOT # 14

CHRISTOPHER J. GRÉMEL, P.E., R.A., P.P.  
 PROFESSIONAL REGISTERED PROFESSIONAL  
 ENGINEER ARCHITECT PLANNER  
 NJ LICENSE #28992 NJ LICENSE #09959 NJ LICENSE #03435

DRAWN BY: CJC  
 APPROVED BY: CJC  
 DATE: 12/8/23  
 PROJECT #: 23-00-06  
 REVISION #: 2

157 Park Avenue, Allendale New Jersey 07401  
 201-825-7535

DRAWING #  
 1 OF 5



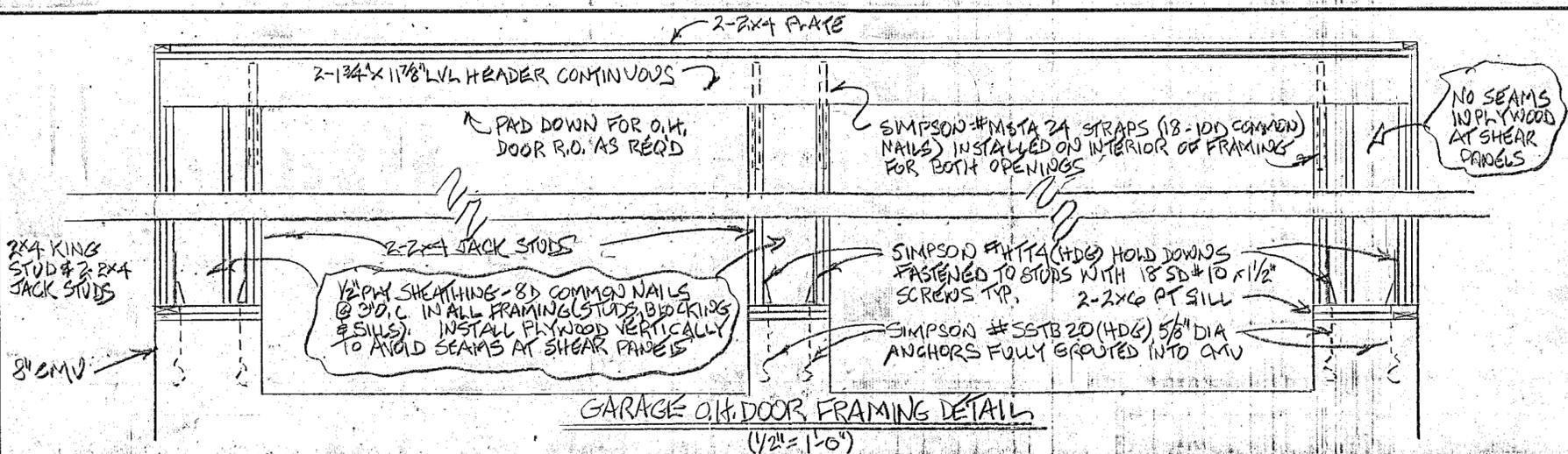
WEST ALLENDALE AVENUE (50' R.O.W.)

**SITE PLAN**

(1"=20'-0")

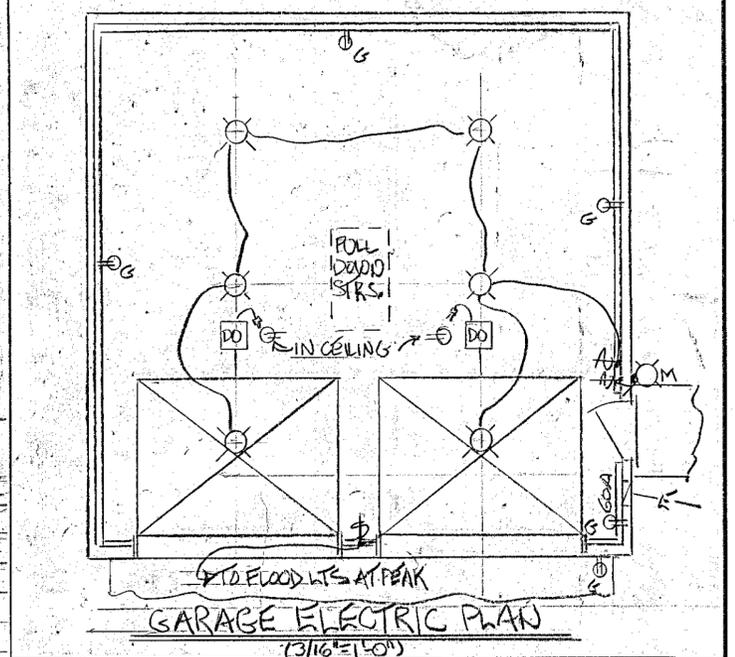
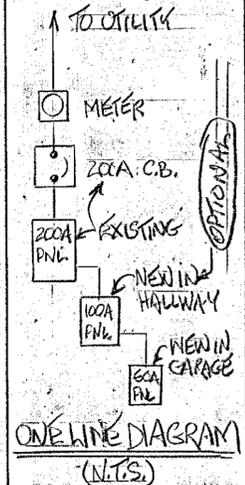
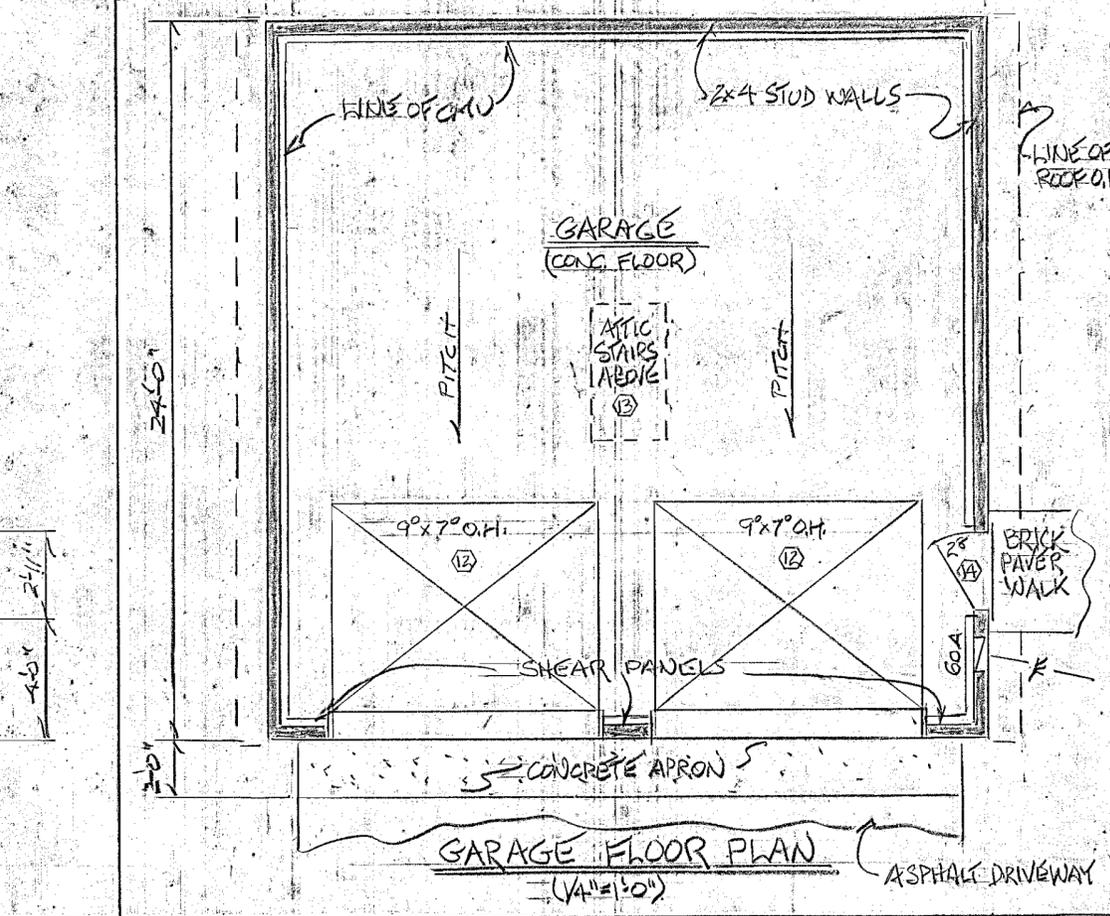
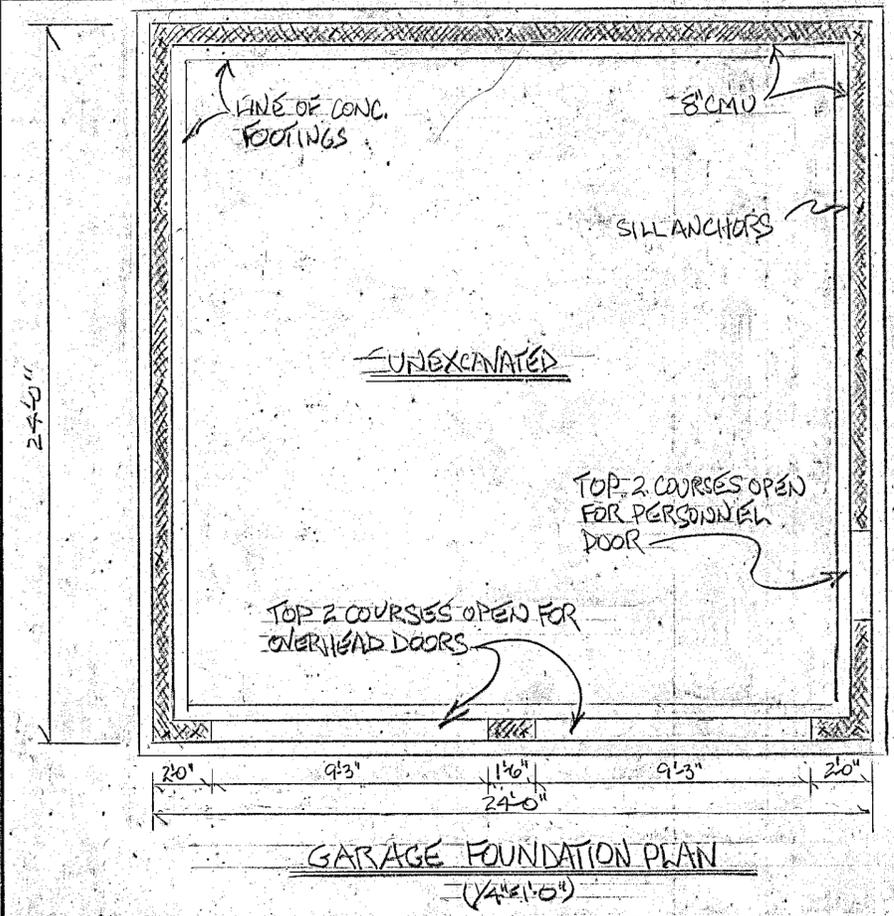
FROM SURVEY BY CHRISTOPHER J. LANTELME, P.E. \& LS (NJ LIC #39580) DATED 4/19/18. OFFSETS FOR PROPOSED ADDITION \& DETACHED GARAGE ARE SCALED OR CALCULATED.





- CONSTRUCTION NOTES CONTINUED**
- PLUMBING CONTRACTOR SHALL DETERMINE SIZE & ROUTING FOR:
    - COLD & HOT WATER LINES
    - WASTE LINES & CLEANOUTS
    - VENT LINES
    - NATURAL GAS LINES
  - NEW GYPSUM BOARD WALLS & CEILING SHALL BE TAPED, SPACKLED & PRIMED FIVE ONE COAT OF PAINT (COLOR BY OWNER).
  - INTERIOR TRIM SHALL MATCH EXISTING.
  - TRIM, DOORS & WINDOWS SHALL BE FRAMED PLUS ONE COAT OF ENAMEL (COLOR BY OWNER)
  - HARDWOOD FLOORING SHALL BE SANDED, STAINED, PLUS 3 COATS OF POLYURETHANE. (STAIN SELECTION BY OWNER).

- EXTERIOR DOORS & WINDOWS SHALL BE FLASHED, SEALED & INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS.
- HVAC CONTRACTOR SHALL DETERMINE DESIGN FOR HEAT PUMP HEATING & COOLING SYSTEM INCLUDING SIZE, LOCATION & ROUTING FOR:
  - HEAT PUMP
  - AIR HANDLER/COIL
  - HG/COOLING LINES
  - DUCTS/REGISTERS
  - CONDENSATE LINE
  - THERMOSTAT
- CONTRACTOR SHALL PROVIDE SEPARATE QUANTITIES IN THE BID FOR THE ITEMS LISTED BELOW. FINAL SELECTIONS BY OWNER.
  - ASPHALT PAVING
  - BRICK PAVEMENT WALKS
  - VINYL SIDING & SOFFITS
  - ALUMINUM GUTTERS & LEADERS
  - FIBERGLASS/ASPHALT ROOFING
  - LANDSCAPING
  - PLUMBING FIXTURES & FACETS
  - LIGHTING FIXTURES & FANS
  - GARAGE DOOR OPENERS
  - BATH & LAUNDRY CABINETS
  - COUNTERTOPS
  - MEDICINE CABINET
  - BATH TOWEL BARS, GRAB BARS, ETC.
  - SHOWER DOOR
  - CLOSET SHELVING SYSTEMS
  - LOCK SETS
  - HARDWOOD FLOORING
  - CERAMIC TILE



**DOOR & WINDOW SCHEDULE** NOTE: ALL GLAZING TO BE LOW-E4, HIGH EFFICIENCY. ALL OPERABLE SASH TO BE PROVIDED WITH FULL SCREENERS.

ITEM #	QUANTITY	DESCRIPTION	MANUFACTURER # MODEL #	ROUGH OPENING	MIN. HEADER SIZE	HARDWARE	U-FACTOR	SHGC
1	1	3'2 1/2" DOUBLE HUNG WINDOW	ANDERSEN # TW304R	3'2 1/8" X 4'4 7/8"	2-2x8	SASH LOCK	.30	.28
2	2	8'x3' CASEMENT WINDOW	ANDERSEN # CW13 (RIGHT & LEFT)	7'11" X 3'0 1/2"	2-2x6	SASH LOCK	.29	.29
3	1	4'x5' CASEMENT WINDOW (EGRESS)	ANDERSEN # CW25	4'0 1/2" X 5'0 3/8"	2-2x8	SASH LOCK	.29	.29
4	2	2'x3' CASEMENT WINDOW	ANDERSEN # CW13	2'5 1/8" X 3'0 1/2"	2-2x6	SASH LOCK	.29	.29
5	1	3'x6' INS. DOOR W/ LITES - FIGGL	THERMATRU # SZ62 LR	3'2 1/2" X 6'10 1/2"	2-2x6	DEADBOLT & PRIVACY	.26	.15
6	2	2'x6' INT. DOOR - 6 PANEL	CRAFTMASTER COLONIST	2'-2" X 6'-10"	2-2x4	PASSAGE/PRIVACY	N/A	N/A
7	1	2'x6' INT. DOOR - 6 PANEL	CRAFTMASTER COLONIST	2'-10" X 6'-10"	2-2x4	PASSAGE	N/A	N/A
8	3	3'x6' INT. DOOR - 6 PANEL	CRAFTMASTER COLONIST	3'-2" X 6'-10"	VARIABLES	PRIVACY	N/A	N/A
9	1	2'x6' INT. DOOR - 6 PANEL	CRAFTMASTER COLONIST	2'-6" X 6'-10"	2-2x4	PASSAGE	N/A	N/A
10	1	2'x6' INT. DOOR - 6 PANEL	CRAFTMASTER COLONIST	EXISTING	EXISTING	PASSAGE/PRIVACY	N/A	N/A
11	1	3'x4' DBL HUNG MULLION WIN (EGRESS)	ANDERSEN # TW3046-2	6'-3 1/2" X 4'-8 1/4"	EXISTING	SASH LOCK	.30	.28
12	2	9'x7' OVERHEAD ST. DOOR	CLOPAY #1000 OR EQUAL	9'-3" X 7'-1 1/2" (2xBUCKS)	3'2"x11'8" W/L	AUTOMATIC OPENER	N/A	N/A
13	1	2'x4' ATTIC ROLL DOWN STAIRS	BESSLER SPACE SAVER	2'-0" X 4'-0"	2-2x6	N/A	N/A	N/A
14	1	2'x6' INT. DOOR W/ LITES - STEEL	THERMATRU # TSZ6Z	2'-10 1/2" X 6'-10 1/2"	2-2x6	DEADBOLT & PRIVACY	N/A	N/A
15	2	4'x6' INT. SLIDER DOORS - 6 PANEL	CRAFTMASTER COLONIST	4'-2" X 6'-10"	2-2x6	FINGER-PULL	N/A	N/A
16	1	3'x4' DBL HUNG MULLION WINDOW	ANDERSEN # TW3042-2 (SUPPORT MULLION)	6'-1/2" X 4'-4 3/8"	2-2x8	SASH LOCK	.30	.28
17	1	2'x1' SKYLIGHT WINDOW	ANDERSEN # AR251	2'-4 7/8" X 1'-5 1/2"	2-2x4	SASH LOCK	.29	.29

PLANS FOR: AQUINO RESIDENCE  
 LOCATION: 203 WEST ALLENDALE AVENUE  
 ALLENDALE, NEW JERSEY

BLOCK # 1708 LOT # 14

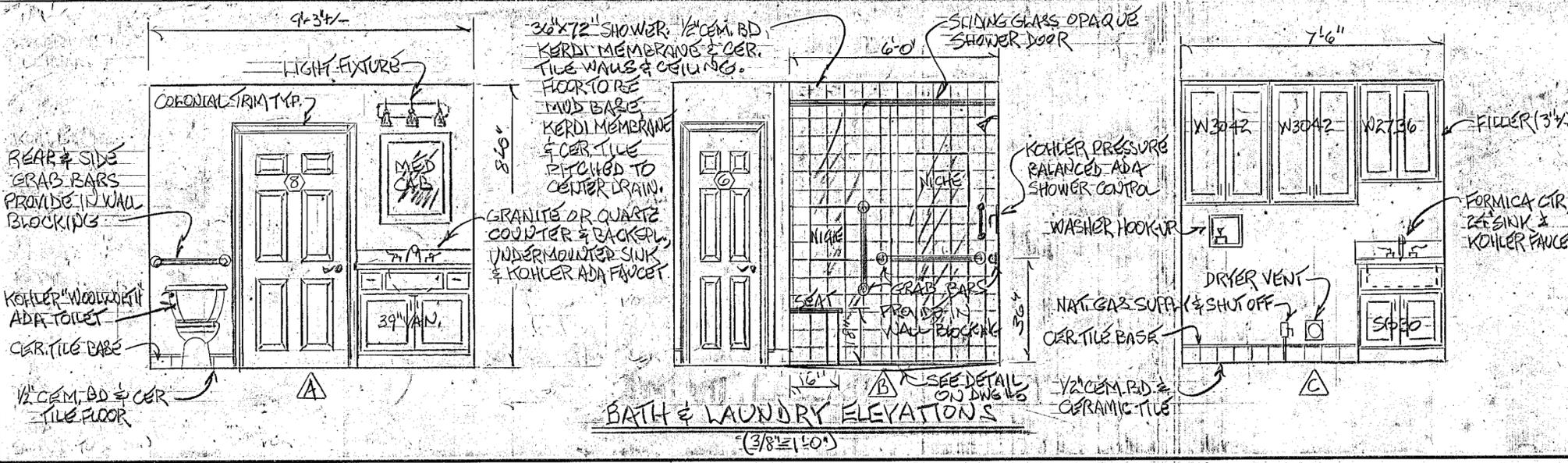
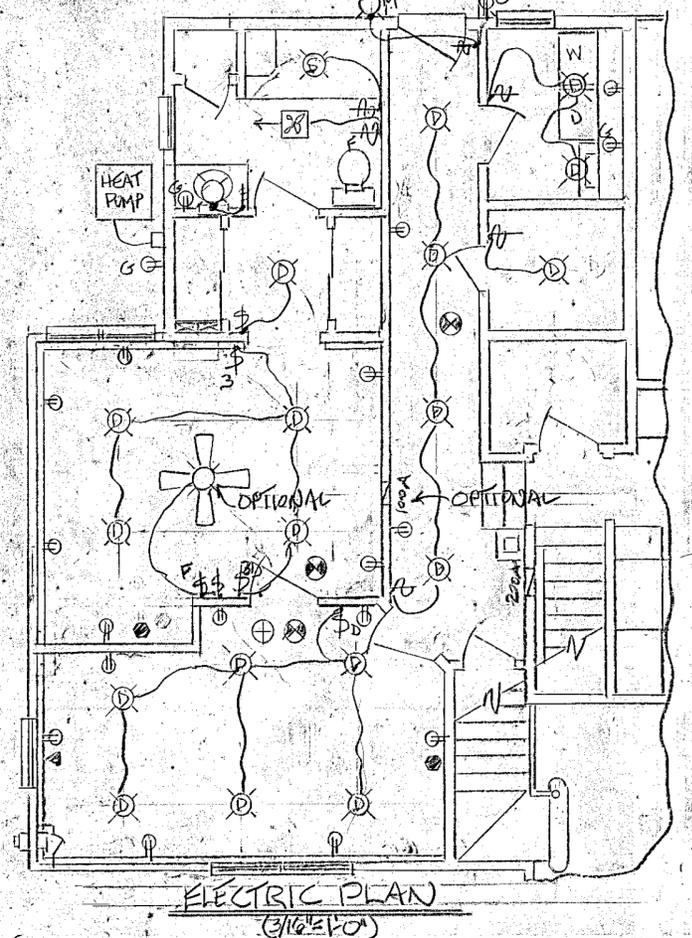
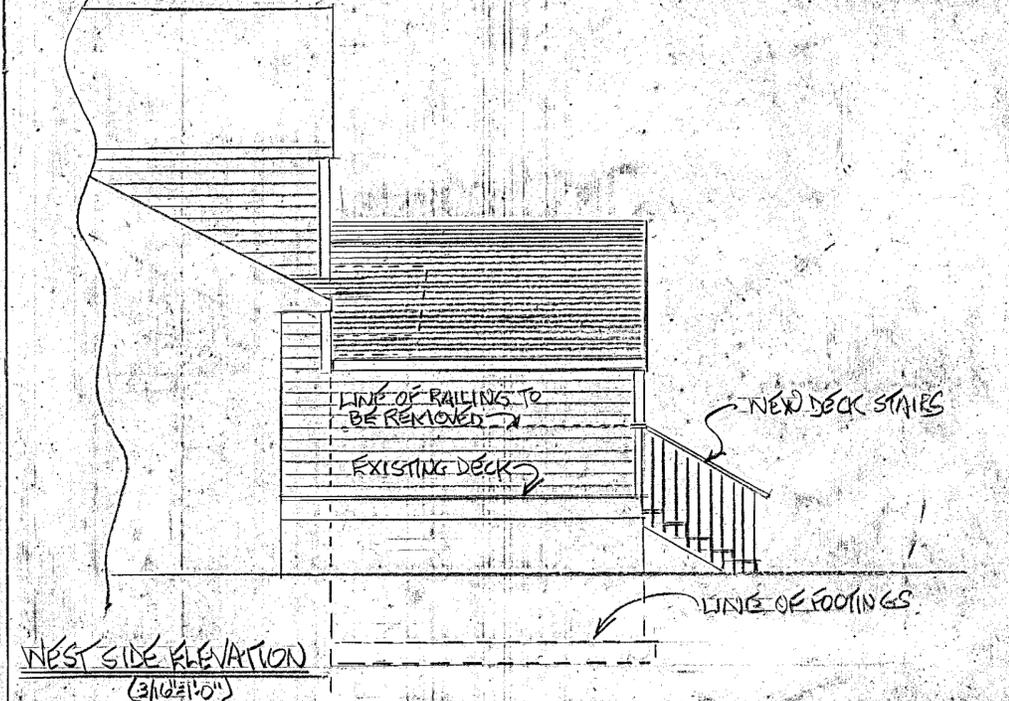
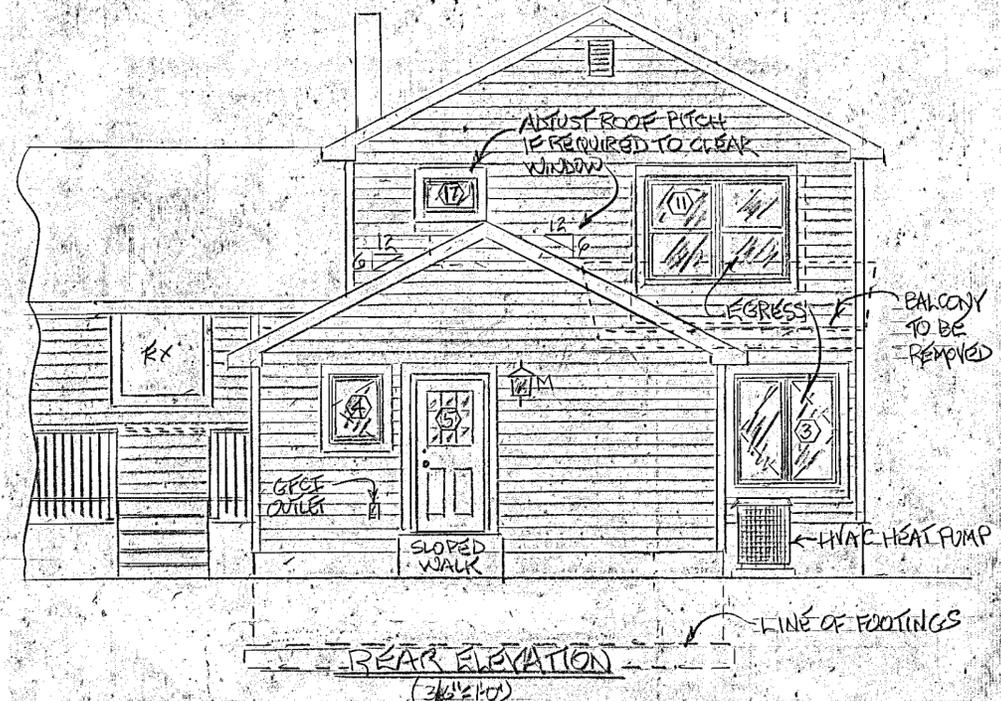
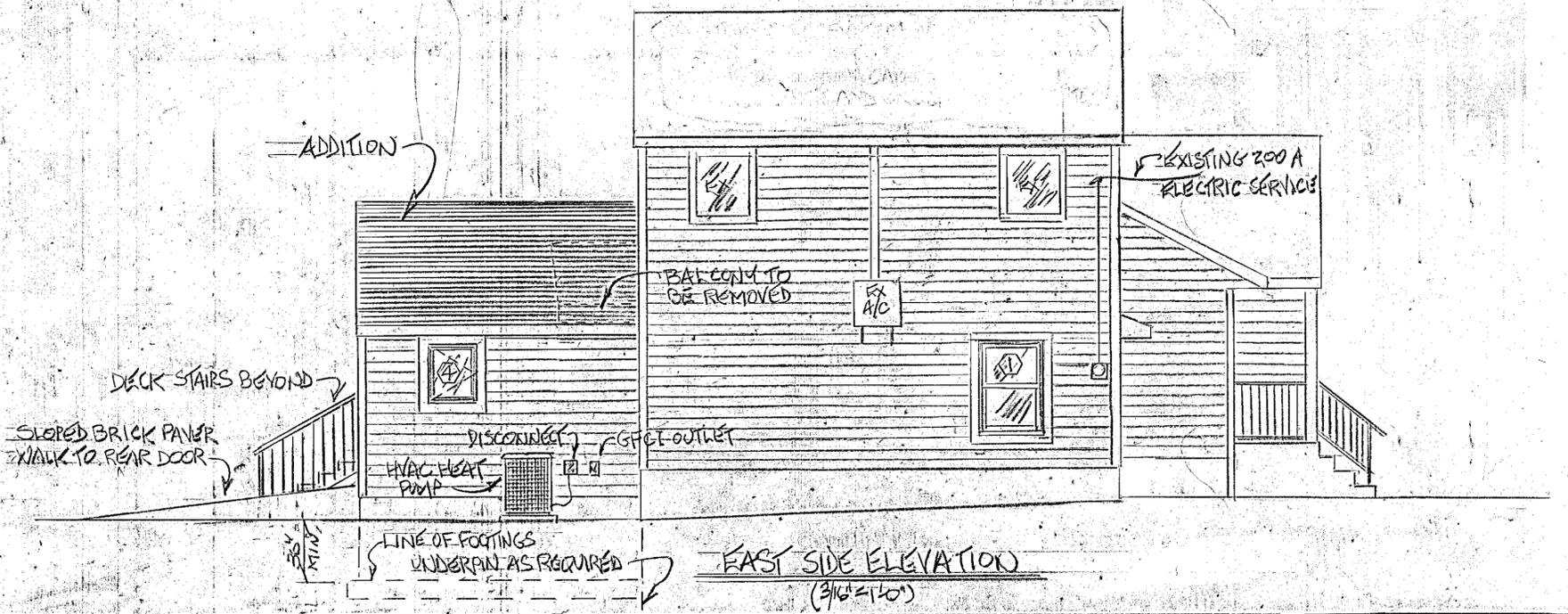
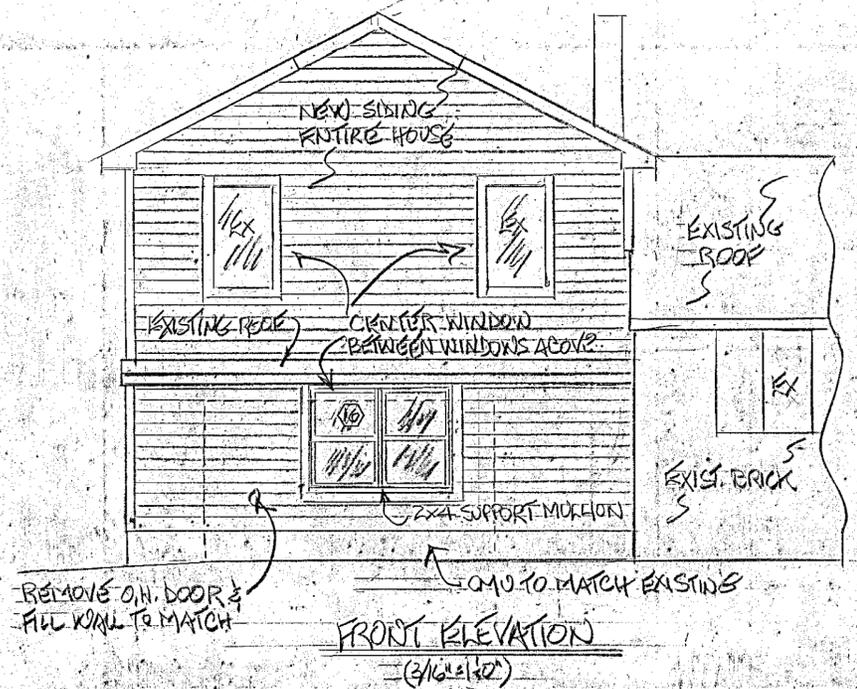
CHRISTOPHER J. GREIMEL, P.E., R.A., P.P.  
 PROFESSIONAL ENGINEER REGISTERED ARCHITECT  
 NJ LICENSE #28992 NJ LICENSE #09959 NJ LICENSE #03435

157 Park Avenue, Allendale New Jersey 07401  
 201-825-7535

DRAWN BY: GTC  
 APPROVED BY: GTC  
 DATE: 12/8/23  
 PROJECT #: 23-06-06  
 REVISION #: 2

DRAWING # 3 OF 5

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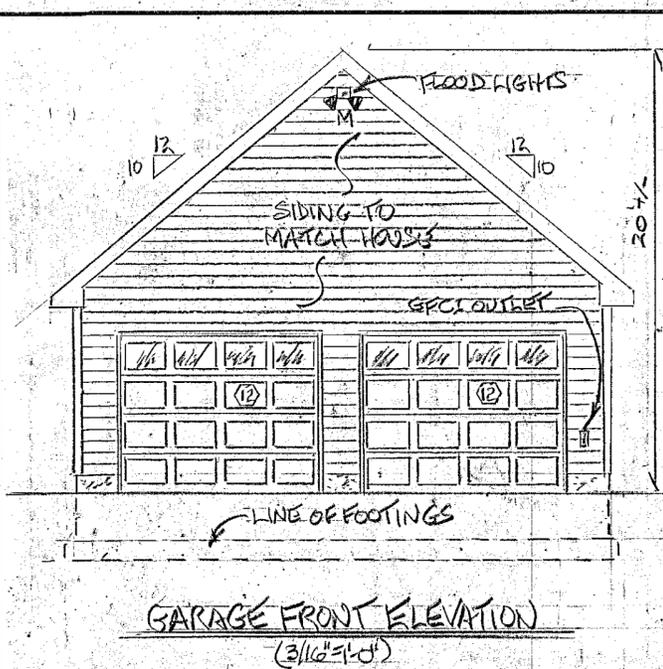


PLANS FOR: AQUINO RESIDENCE  
LOCATION: 203 WEST ALLENDALE AVENUE ALLENDALE, NEW JERSEY  
BLOCK # 1708 LOT # 14

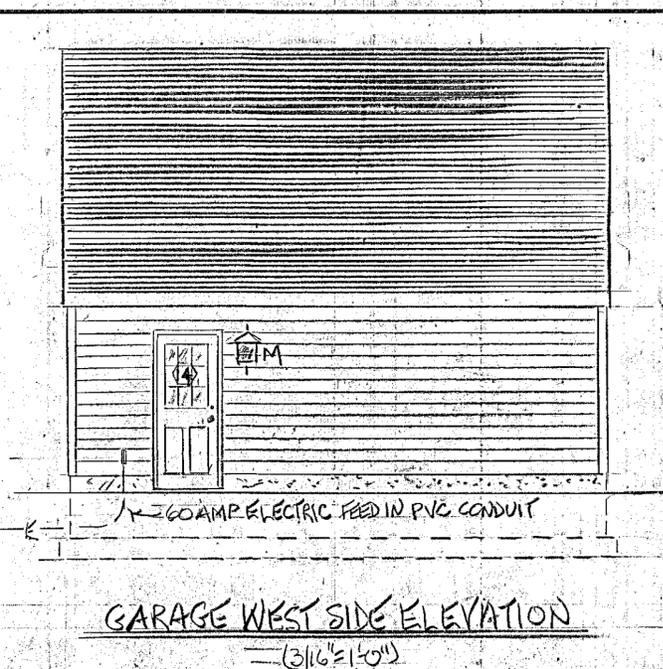
CHRISTOPHER J. GREIMEL, P.E., R.A., P.P.  
PROFESSIONAL REGISTERED PROFESSIONAL  
ENGINEER ARCHITECT PLANNER  
NJ LICENSE #28992 NJ LICENSE #09959 NJ LICENSE #03435  
157 Park Avenue, Allendale New Jersey 07401  
201-825-7535

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APPROVED BY: CSG  
DATE: 12/8/23  
PROJECT #: 23-00-05  
REVISION #: 2

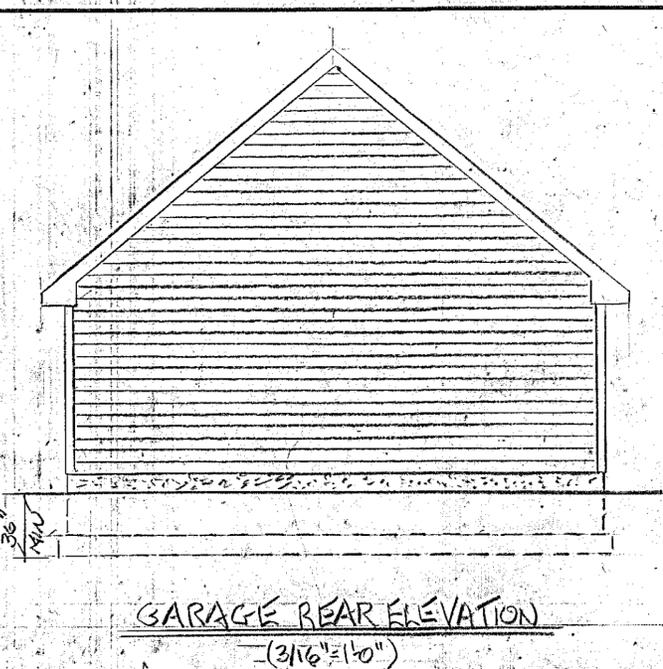
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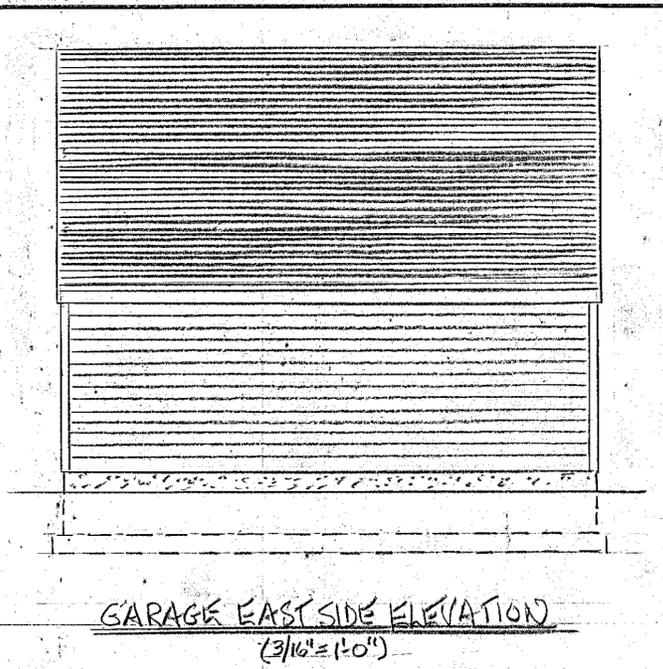
**GARAGE FRONT ELEVATION**  
(31/16' = 1'-0")



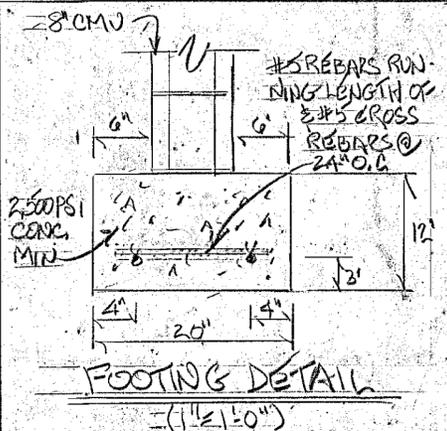
**GARAGE WEST SIDE ELEVATION**  
(31/16' = 1'-0")



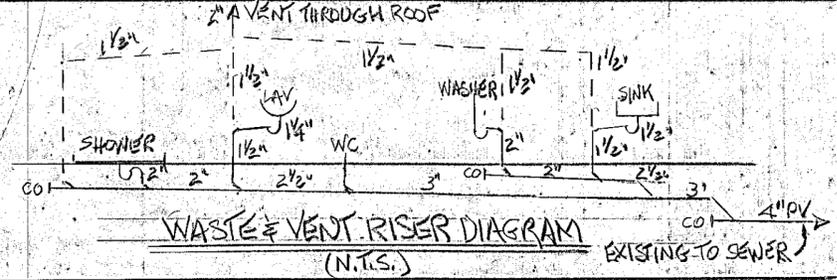
**GARAGE REAR ELEVATION**  
(31/16' = 1'-0")



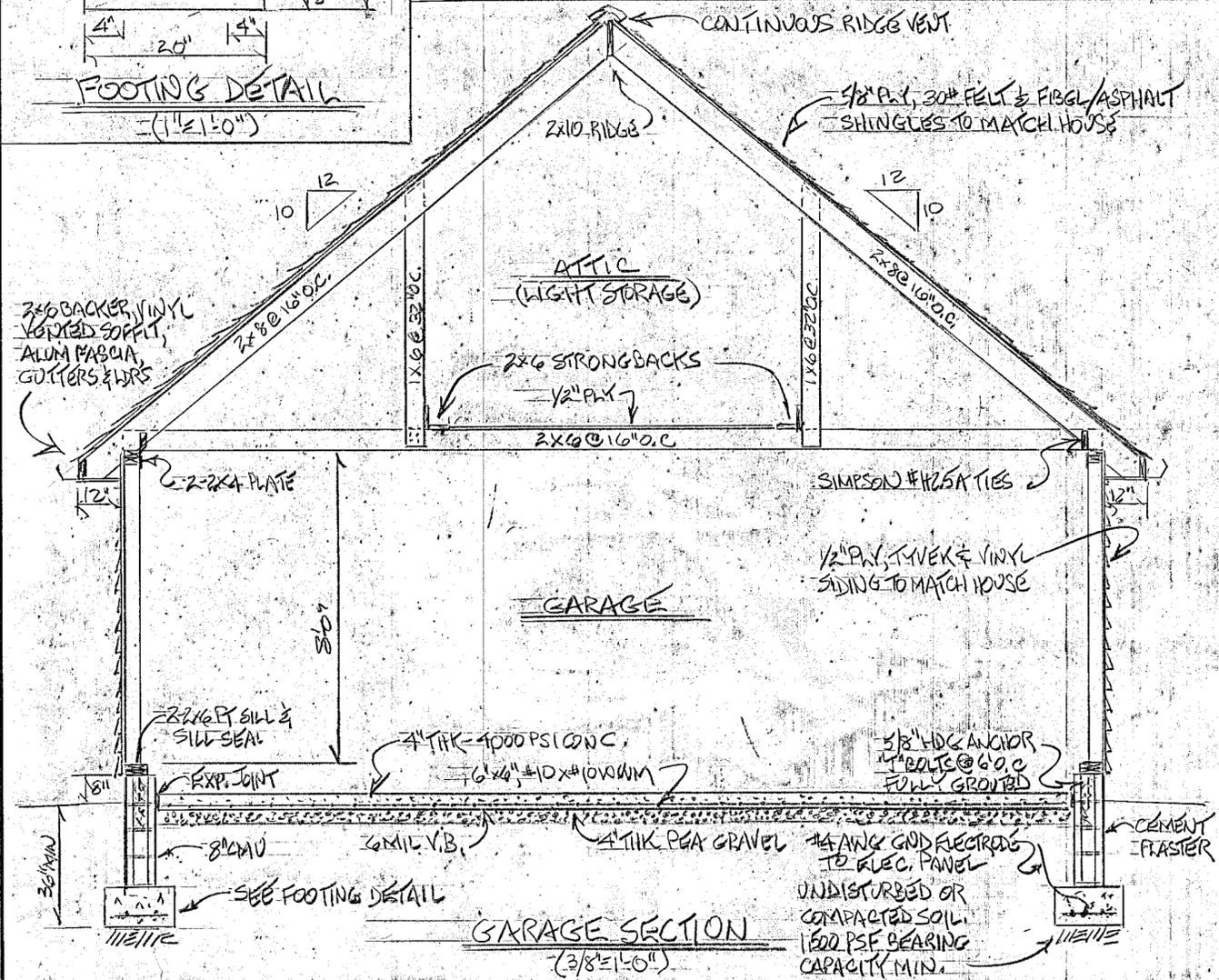
**GARAGE EAST SIDE ELEVATION**  
(31/16' = 1'-0")



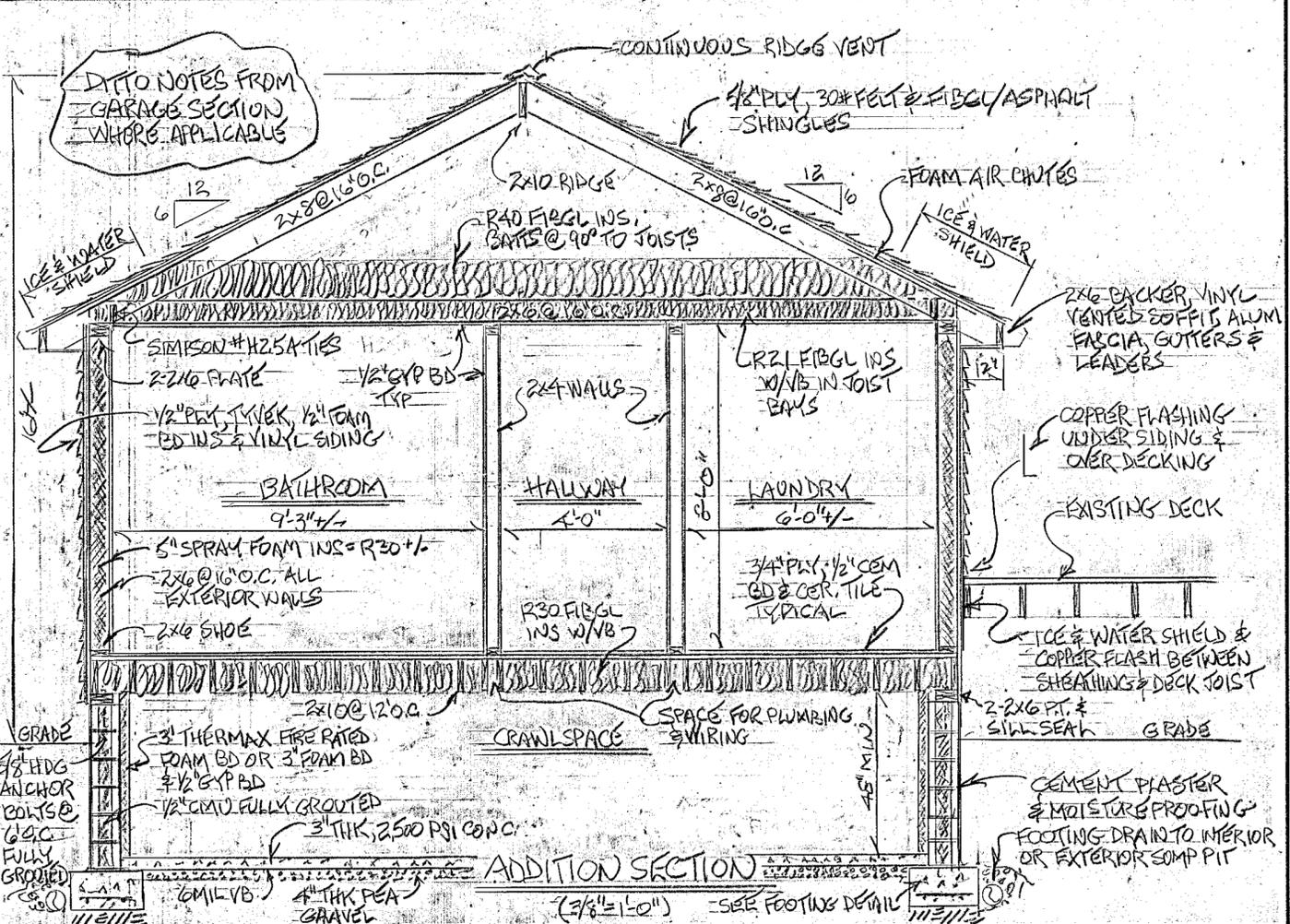
**FOOTING DETAIL**  
(11 1/2' = 1'-0")



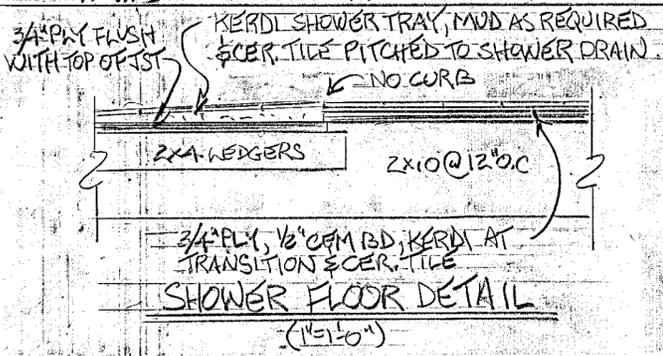
**WASTE & VENT. RISER DIAGRAM**  
(N.T.S.)



**GARAGE SECTION**  
(3 3/8' = 1'-0")



**ADDITION SECTION**  
(2 3/8' = 1'-0")



**SHOWER FLOOR DETAIL**  
(1' = 1'-0")

PLANS FOR: AQUINO RESIDENCE  
LOCATION: 303 WEST ALLENDALE AVENUE  
ALLENDALE, NEW JERSEY  
BLOCK # 1708 LOT # 14

*Christopher J. Gräimel*  
**CHRISTOPHER J. GRÄIMEL, P.E., R.A., P.P.**  
PROFESSIONAL REGISTERED PROFESSIONAL  
ENGINEER ARCHITECT PLANNER  
NJ LICENSE #28992 NJ LICENSE #09959 NJ LICENSE #03435  
157 Park Avenue, Allendale New Jersey 07401  
201-825-7635

DRAWN BY: *CTG*  
APPROVED BY: *CTG*  
DATE: 12/8/23  
PROJECT #: 23-06-06  
REVISION #: 2  
DRAWING #  
5 OF 5

**GENERAL NOTES**

- CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY AND ALL SAFETY RELATED ASPECTS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED TO PERFORM THE CONSTRUCTION WORK DETAILED HEREIN.
- CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK AND ADVISE ARCHITECT AS TO ANY MATERIAL DISCREPANCIES FOUND TO THIS PLAN AND ARCHITECT SHALL, IN A TIMELY MANNER, ISSUE REVISED CONSTRUCTION DRAWINGS REFLECTING ANY REQUIRED CORRECTIONS.
- CONSTRUCTION SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES HAVING JURISDICTION. WHERE DRAWINGS CONFLICT WITH CODE, THE CODE REQUIREMENT SHALL TAKE PRECEDENCE. STRUCTURAL DESIGN HAS BEEN PERFORMED AS PER THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND ANY APPLICABLE REFERENCED MODEL CODES.
- ARCHITECT SHALL NOT BE RESPONSIBLE WHERE WORK DEVIATES FROM DRAWINGS OR WRITTEN SPECIFICATIONS.
- IN ANY EVENT, ARCHITECT'S RESPONSIBILITY AND LIABILITY FOR DESIGN SHALL BE LIMITED TO THE AMOUNT OF THE FEE CHARGED FOR THE PROJECT IN QUESTION.
- USE OF THESE DRAWINGS SHALL CONSTITUTE LEGAL AND BINDING AGREEMENT TO THE PROVISIONS AND LIMITATIONS CONTAINED HEREIN.

**FOOTINGS & SLABS**

- FOOTINGS ARE DESIGNED TO AND SHALL BEAR ON FIRM UNDISTURBED OR COMPACTED EARTH HAVING A MINIMUM BEARING CAPACITY OF 4000 PSF.
- ALL DEEP FILLS UNDER SLABS SHALL BE IN 6" LAYERS COMPACTED TO 95% MINIMUM DENSITY.
- EXTENDING FOOTING DEPTH SHALL BE 3'-0" MINIMUM BELOW FINISHED GRADES OR DEEPER IF REQUIRED BY CODES.
- WHERE FOOTINGS ARE STEPPED, BOTTOMS SHALL NOT SLOPE MORE THAN ONE FOOT VERTICALLY FOR EACH TWO FEET HORIZONTALLY.
- CONCRETE SLABS SHALL BE PLACED OVER 6 MIL VAPOR BARRIER (WHERE APPROPRIATE) AND 4" MINIMUM OF POROUS FILL (CRUSHED STONE, GRANULUM OR SAND).
- MINIMUM SPREAD FOOTING SIZE FOR FOUNDATION WALLS SHALL BE AS FOLLOWS:  
 \* DEPTH = 3"  
 \* WIDTH = 4" WIDER EACH SIDE THAN WALL ABOVE IF FORMED  
 \* 6" WIDER EACH SIDE THAN WALL ABOVE IF NOT FORMED.
- MINIMUM FOOTING SIZE FOR MASONRY CHIMNEYS SHALL BE 12" DEEP AND 6" WIDER EACH SIDE THAN CHIMNEY ABOVE.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH SHALL BE:  
 LOCATION  
 \* FOOTINGS, FOUNDATION WALLS & SLABS NOT EXPOSED TO WEATHER (EXCEPT GARAGE FLOOR SLABS) 2,500 PSI  
 \* FOUNDATION WALLS, EXTERIOR WALLS & VERTICAL CONCRETE WORK EXPOSED TO WEATHER 3,000 PSI  
 \* GARAGE FLOORS & EXTERIOR SLABS 3,500 PSI
- ALL GARAGE FLOOR SLABS AND EXTERIOR SLABS TO BE PROVIDED WITH 6"x6", #10 STEEL MESH OR SUITABLE EQUIVALENT.

**MASONRY**

- FOUNDATION WALLS TO BE POURED CONCRETE OR HOLLOW CEMENT BLOCK, LAID UP IN RUNNING BOND WITH BOTTOM COURSE FILLED SOLID, DURABLE & EVERY OTHER COURSE, AND A 4" MINIMUM SOLID CAP UNDER FINISHING MEMBERS.
- MINIMUM CEMENT BLOCK SIZING SHALL BE:

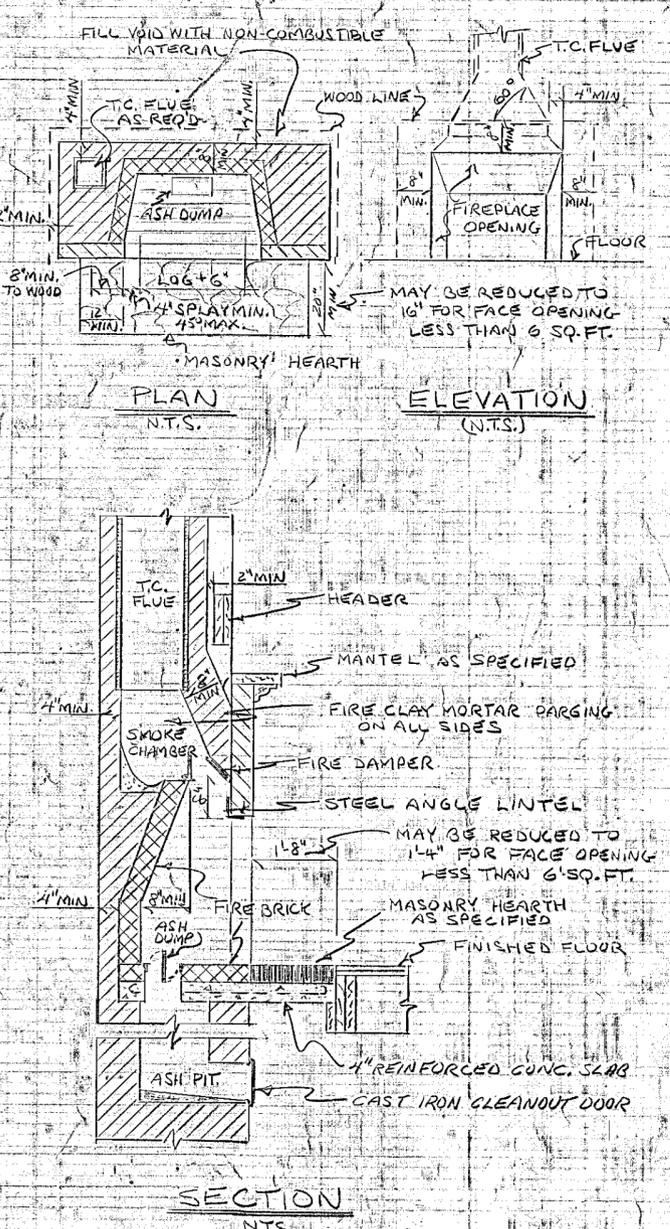
CEMENT BLOCK THICKNESS	MAXIMUM DEPTH UNBALANCED FILL FOR TYPE OF STRUCTURE ABOVE	WOOD FRAME MASONRY VEN.	MASONRY
8"	4'-0" (6'-0")*	4'-6" (6'-0")*	5'-0" (7'-0")*
10"	5'-0" (7'-0")*	5'-6" (7'-0")*	6'-0" (7'-0")*
12"	7'-0"	7'-0"	7'-0"

- \* WHERE WARRANTED BY SOIL CONDITIONS.
- APPLY 1/2" PORTLAND CEMENT PARGING TO EXTERIOR OF CEMENT BLOCK FOUNDATION WALLS FROM FOOTING TO CAP.
  - APPLY BITUMINOUS MOISTURE PROOFING OR SUITABLE SUBSTITUTE OVER PARGING OR DIRECTLY TO CONCRETE FOUNDATIONS BELOW GRADE.

- PROVIDE 1/2" DIAMETER "T" ANCHOR BOLTS AT 6'-0" O.C. FOR WOOD SILLS (OR APPROVED ANCHORING ALTERNATIVE).
- FILL ALL HOLLOW CEMENT BLOCK SOLID TO FOOTING UNDER GIRDER BEARING POCKETS.
- BRICK VENEER SHALL BEAR ON 12" BLOCK FOUNDATION WALLS WITH SOLID BLOCK UNDER FIRST COURSE OF BRICK. PROVIDE FLASHING & WEEP HOLES AT 8'-0" O.C.
- ANCHOR BRICK VENEER TO MASONRY BACK-UP OR TO WOOD SHEATHING WITH GALVANIZED STEEL TIES SPACED AT 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY. PROVIDE 1/2" AIR SPACE BETWEEN WOOD SHEATHING AND BRICK.
- UNLESS OTHERWISE SPECIFIED, PROVIDE ONE STEEL ANGLE LINTEL FOR EACH 4" INCHES OF MASONRY WIDTH ABOVE ALL OPENINGS AND RECESSES AS FOLLOWS:

SPAN	LINTEL SIZE
0'-0" - 4'-0"	3/4" x 3/4" x 5/16 (3.0K ALLOW)
4'-0" - 6'-0"	4" x 3/4" x 5/16 (3.2K ALLOW)
6'-0" - 8'-0"	5" x 3/4" x 5/16 (3.5K ALLOW)
8'-0" - 10'-0"	6" x 3/4" x 5/16 (4.0K ALLOW)

- MASONRY CHIMNEYS TO BE PROVIDED WITH FIRE CLAY (TERRA COTTA) FLUE LINING AND THIMBLE AS FOLLOWS:  
 \* FOR HEATING UNIT - SIZE AS RECOMMENDED BY MANUFACTURER  
 \* FOR FIREPLACES - SIZE AS REQUIRED BY DAMPER MANUFACTURER FOR FIREPLACE DIMENSIONS SHOWN.  
 \* PREFABRICATED FIREPLACE AND CHIMNEY FLUE UNITS SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
- THE FOLLOWING TYPICAL FIREPLACE/CHIMNEY DETAIL IS PROVIDED FOR REFERENCE.



**TYPICAL MASONRY FIREPLACE DETAIL**

**CARPENTRY**

- LUMBER AND ITS FASTENINGS SHALL CONFORM TO ALL APPLICABLE CODES AND STANDARDS.
- STRUCTURAL LUMBER, UNLESS OTHERWISE NOTED, SHALL BE DOUGLAS FIR WITH MINIMUM STRENGTH OF:  
 \* F<sub>b</sub> = 1200 PSI  
 \* F<sub>v</sub> = 90 PSI  
 \* E = 1,600,000 PSI.
- SILLS SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE BOLTED TO FOUNDATION WALLS AT 6'-0" O.C. WITH 1/2" DIA "T" BOLTS (OR APPROVED ANCHORING ALTERNATIVE), WITH SILL SEAL SANDWICHED BETWEEN SILL AND FOUNDATION WALL CAP.
- SET ALL JOISTS AND BEAMS WITH NATURAL CAMBER UP. ENDS LAPPED OVER BEARING SHALL BE SECURELY SPIKED TOGETHER. FIRE CUT ENDS BEARING IN MASONRY WALLS WITH "T" ANCHORS EVERY 4TH JOIST.
- DOUBLE UP JOISTS UNDER PARALLEL PARTITION WALLS ABOVE.
- FRAME OPENINGS LARGER THAN 16" WITH DOUBLE HEADERS AND TRIMMERS.
- UNLESS OTHERWISE NOTED, PROVIDE 3/4"x3" CROSS BRIDGING AT 8'-0" O.C. MAXIMUM FOR FLOOR JOISTS AND SOLID BLOCKING AT JOIST ENDS.
- SUBFLOORING, WALL SHEATHING, AND ROOF SHEATHING SHALL BE "C-D" PLYWOOD #3/16 OR BETTER WITH EXTERIOR GLUE IN SIZES SHOWN ON DRAWINGS, UNLESS OTHERWISE SPECIFIED, MINIMUM HEADER SIZES SHALL BE AS FOLLOWS:

SPAN	HEADER SIZE
0'-0" - 2'-0"	2-2x4
2'-0" - 3'-0"	2-2x6
3'-0" - 5'-0"	2-2x8
5'-0" - 7'-0"	2-2x10
7'-0" - 8'-0"	2-2x12

- HEADERS & GIRDERS SPANNING 6'-0" OR GREATER SHALL BEAR ON DOUBLE STUDS.
- LAMINATED HEADERS & GIRDERS SHALL BE THROUGH-BOLTED WITH 1/2" DIAMETER BOLTS PER MANUFACTURERS SPACING REQUIREMENTS.
- BUILT UP LAMINATED TRUSSES FOR FLOORS, CEILINGS AND ROOFS SHALL BE INSTALLED AND BRACED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. CUTTING AND BORING FOR PIPING, WIRING, & DUCTING SHALL BE PER MANUFACTURERS LIMITATIONS.
- WOOD INTERIOR STAIRS, UNLESS OTHERWISE SPECIFIED, SHALL BE CONSTRUCTED OF THE FOLLOWING:  
 STRINGERS: CLEAR PINE - 5/4"x12"  
 TREADS: HARDWOOD, 10" MINIMUM PLUS 1" NOSING (BASEMENT TREADS MAY BE PINE)  
 RISERS: CLEAR PINE, 7/8" MAXIMUM RISE (NOT REQUIRED ON BASEMENT STAIRS)

**PLUMBING**

- ALL PLUMBING PIPING DEVICES & APPLIANCES SHALL BE SIZED, LOCATED AND INSTALLED IN ACCORDANCE WITH THE N.T.U.C.C. AND ANY AND ALL REFERENCED PLUMBING CODES IN ADDITION TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING & INTERNATIONAL RES. CODE. IN THE EVENT OF A CONFLICT AMONG CODES, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
- THE PLUMBING CONTRACTOR SHALL SUPPLY ISOMETRIC DRAWINGS SHOWING SCHEMATICALLY THE SIZE, ROUTING AND CONNECTIONS FOR THE FOLLOWING:  
 \* WATER SUPPLY LINES (HOT & COLD)  
 \* DRAIN LINES  
 \* VENT LINES  
 \* NATURAL GAS LINES
- PLUMBING CONTRACTOR SHALL NOT NOTCH OR CORE THROUGH ANY GIRDER OR HEADER TO ACCOMMODATE PIPING SYSTEMS WITHOUT PRIOR APPROVAL FROM THE ARCHITECT AND/OR THE BUILDING INSPECTOR.
- BORING THROUGH FIRE-ENGINEERED JOISTS SHALL BE PER THE MANUFACTURERS SPECIFICATIONS.

**GLAZING**

- ALL EXTERIOR GLAZING SHALL BE DOUBLE PANE, 1/2" THICK LOW E" HIGH PERFORMANCE.
- ENTRANCE DOORS, SIDELITES, SASH EXTENDING WITHIN 16" OF THE FLOOR & EXCEEDING 9 SQ. FT., & GLAZED SHOWER DOORS SHALL BE PROVIDED WITH TEMPERED SAFETY GLASS.

*[Handwritten signature and stamp]*  
 CHRISTOPHER J. GREIMEL, P.E., R.A., P.P.  
 ENGINEER - ARCHITECT - PLANNER  
 #28892 #09955 #03435  
 SEAL

**INSULATION & WATER VAPOR CONTROL**

- INSULATION SHALL BE FIBERGLASS WITH FOIL-FACED VAPOR BARRIER UNLESS OTHERWISE NOTED, WITH MINIMUM RATINGS OF:  
 \* R15 FOR WALLS  
 \* R30 FOR FLOORS OVER UNHEATED SPACES  
 \* R14 FOR CEILINGS BELOW UNHEATED SPACES.
- ALL INTERIOR SLABS TO BE PROVIDED WITH A 6 MIL VAPOR BARRIER.
- SLABS ON GRADE FOR LIVING SPACES TO BE PROVIDED AT PERIMETER (24" HORIZONTALLY & VERTICALLY) WITH A MINIMUM OF 1" FOAM BOARD INSULATION.
- PROVIDE MINIMUM VENTING OF 1 SQ. FT. PER 150 SQ. FT. OF ATTIC OR ORALN SPACE. ATTIC SPACES TO BE PROVIDED WITH COMBINATION SOFFIT & RIDGE VENT SYSTEMS UNLESS OTHERWISE NOTED.
- BATHS AND LAVATORIES WITHOUT VENTABLE WINDOWS SHALL BE EQUIPPED WITH AN EXHAUST FAN DUCTED DIRECTLY TO THE OUTSIDE.

**FIRE SAFETY**

- SMOKE ALARMS (120V A.C. WITH BATTERY BACKUP) SHALL BE INSTALLED & LOCATED IN ACCORDANCE WITH THE PLAN HEREIN, THE IROC ONE & TWO FAMILY DWELLING CODES, OR AS OTHERWISE INSTRUCTED BY LOCAL FIRE CODE OFFICIAL.
- SMOKE ALARM UNITS SHALL BE POWERED FROM A DEDICATED CIRCUIT BREAKER (IN MAIN PANEL) EQUIPPED WITH A LOCK-ON DEVICE AND SHALL BE WIRED FOR SIMULTANEOUS ALARM.

**ELECTRICAL**

- ALL ELECTRICAL WIRING, BOXES, CONDUITS, & DEVICES SHALL BE SIZED, LOCATED, & INSTALLED IN ACCORDANCE WITH THE N.E.C.C. & THE NATIONAL ELECTRIC CODE.
- GROUND FAULT INTERRUPTER RECEPTACLES AND/OR PROTECTED CIRCUITS TO BE PROVIDED IN THE FOLLOWING AREAS:  
 \* BATHROOMS  
 \* KITCHENS (IN PROXIMITY TO SINK)  
 \* GARAGES  
 \* OUTDOOR LOCATIONS  
 \* ALL OTHER AREAS WHICH ARE DAMP OR WHICH ARE A SHOCK HAZARD.

**MISCELLANEOUS**

- UNLESS OTHERWISE INDICATED, WHERE EXCAVATION WORK HAS BEEN PERFORMED, CONTRACTOR SHALL REGRADE TO PRE-EXISTING CONTOURS, WHILE ASSURING ADEQUATE DRAINAGE OF SURFACE WATER AWAY FROM THE STRUCTURE.
- UNLESS OTHERWISE INDICATED, CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL CONSTRUCTION DEBRIS, SOIL, ETC. DISPOSAL SHALL BE VIA APPROPRIATE AND LEGAL MEANS.

PLANS FOR: **CONSTRUCTION NOTES**  
 LOCATION: **APPLICABLE TO RESIDENTIAL STRUCTURES.**

BLOCK # \_\_\_\_\_ LOT # \_\_\_\_\_

157 PARK AVENUE  
 ALLENDALE, N.J. 201-825-7535  
 CHRISTOPHER J. GREIMEL, P.E., R.A., P.P.  
 ENGINEER - ARCHITECT - PLANNER  
 #28892 #09955 #03435

OWN BY: **CTG**  
 APP. BY: **CTG**  
 DATE: **12/1/06**  
 PROJ. # \_\_\_\_\_  
 REV. # **5**  
 DRAWING # **APPENDIX #1**

**DR ROLANDO AQUINO**  
**DR EMMA AQUINO**  
 144 CARLOUGH RD  
 U SADDLE RIV NJ 07458-1414

**Cash Management Account®** 406  
 87-176/843  
 30

Date 12/21/23

Pay to the Order of Borough of Allendale \$ 500.00  
Five hundred & 00/100 — Dollars

 Photo Safe Deposit Details on back

**MERRILL**  
 A BANK OF AMERICA COMPANY

For Application fee El Aquino

⑆084301767⑆ 3019131570⑆0406

Harland Clarke GUARDIAN SAFETY® YELLOW

**DR ROLANDO AQUINO**  
**DR EMMA AQUINO**  
 144 CARLOUGH RD  
 U SADDLE RIV NJ 07458-1414

**Cash Management Account®** 407  
 87-176/843  
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Pay to the Order of Borough of Allendale \$ 1000.00  
One thousand & 00/100 — Dollars

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**MERRILL**  
 A BANK OF AMERICA COMPANY

For engineering iserow El Aquino

⑆084301767⑆ 3019131570⑆0407

Harland Clarke GUARDIAN SAFETY® YELLOW

BLQ: 1708. 14.  
Owner Name: AQUINO, ROLANDO B & EMMA S

Tax Year: 2023 to 2023  
Property Location: 203 W ALLENDALE AVE

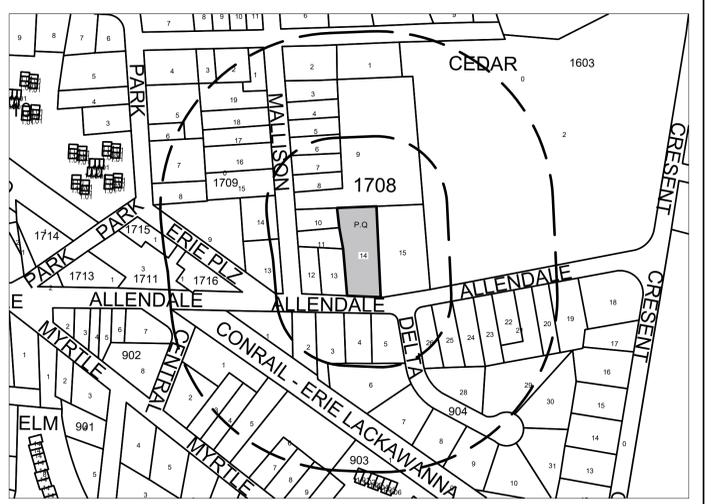
Tax Year: 2023	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	2,900.33	2,900.33	2,961.91	2,914.12	11,676.69
Payments:	2,900.33	2,900.33	2,961.91	2,914.12	11,676.69
Balance:	0.00	0.00	0.00	0.00	0.00

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2023 Prin Balance
								11,676.69		11,676.69
01/30/23	1	Payment h/o	001	38774358	CK	9282	36 COUNTER	2,900.26	0.00	8,776.43
05/05/23	1	Payment h/o	001	47478595	CK	9537	19 COUNTER	0.07	0.00	8,776.36
05/05/23	2	Payment h/o	001	47478595	CK	9537	20 COUNTER	2,900.33	0.00	5,876.03
05/05/23	3	Payment h/o	001	47478595	CK	9537	18 COUNTER	22.89	0.00	5,853.14
08/04/23	3	Payment h/o	001	55785875	CK	9764	31 COUNTER	2,939.02	0.00	2,914.12
11/06/23	4	Payment h/o	001	64141126	CK	9996	3 COUNTER	2,914.12	0.00	0.00

Total Principal Balance for Tax Years in Range: 0.00

# SOIL EROSION CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NJ STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
- STABILIZATION SPECIFICATIONS:
  - TEMPORARY SEEDING AND MULCHING:
    - GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
    - FERTILIZER - APPLY 11 LBS./1,000 SF. OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4" DEEP.
    - SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LB./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
    - MULCH - UNROTATED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
  - PERMANENT SEEDING AND MULCHING:
    - TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED.
    - GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
    - FERTILIZER - APPLY 11 LBS./1,000 SF. OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4" DEEP.
    - SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LB./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
    - MULCH - UNROTATED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIRECTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
- A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC FILTER FABRIC AND MAINTAINED.
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- DRIVEWAYS MUST BE STABILIZED WITH 1" - 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 30-1 OF THE NJ STANDARDS.
- STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
- DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
- TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DIRT LINE OR BEYOND IN ACCORDANCE WITH SECTION 31-1 OF THE NJ STANDARDS.
- THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE; BERGEN COUNTY SCD, 700 KINDERKAMACK RD., SUITE 106 ORADELL, NJ 07649 TEL: 201-261-4407; FAX: 201-261-7573.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.
- THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS IN AN URBAN REDEVELOPMENT AREA.



**KEY MAP**  
1" = 200'

- ### GENERAL NOTES
- OWNER & ARCHITECT: EMMA & LAURA AQUINO, 203 WEST ALLENDALE AVE, ALLENDALE, NJ 07446
  - PROPERTY IS KNOWN AS LOT 14 BLOCK 1708
  - ALL EXCESS SOIL IS TO BE REMOVED FROM THE SITE
  - PROPERTY PERIMETER IS BASED ON A SURVEY BY MICHAEL DARMSTATTER, L.S. CONKLIN ASSOCIATES
  - VERTICAL DATUM LOCAL DATUM FIRST FLOOR @ ELEV. 100.0
  - BOROUGH ROADS TO BE KEPT BROOM CLEAN.
  - LOT AREA = 25,052 SF AREA WITHIN 175' OF STREET LINE = 17,662 SF
  - SCD CERTIFICATION #23-4828, 12/15/23

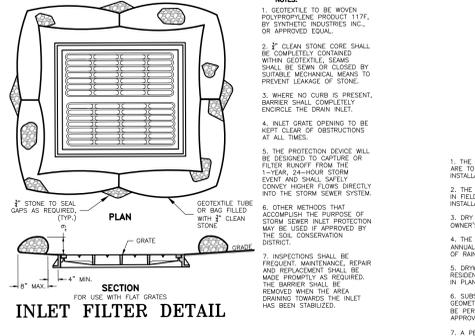
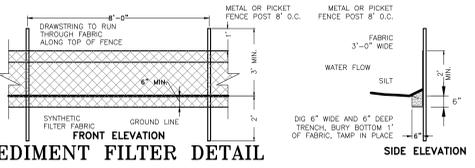
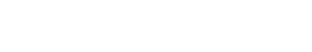
- ### SEQUENCE OF CONSTRUCTION
- STAKE PROPERTY CORNERS AND PROPERTY LINE.
  - INSTALL SILT FENCE & WHEEL BLANKET, IF REQUIRED.
  - STRIP TOPSOIL AND STOCKPILE.
  - EXCAVATE AND INSTALL SEEPAGE PIT.
  - EXCAVATE FOR ADDITION & GARAGE FOUNDATION. REMOVE EXCESS SOIL.
  - CONSTRUCT ADDITION, ROOF LEADERS TO BE CONNECTED TO SEEPAGE PIT.
  - INSTALL UTILITIES, FINAL GRADE.
  - UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4", FIRMED IN PLACE. STABILIZE.
  - REMOVE SILT FENCE AND WHEEL BLANKET.

### SOIL MOVEMENT

ADDITION CRAWL SPACE FOUNDATION = 10 CY  
GARAGE FOUNDATION = 10 CY  
DRIVEWAY GRADING = 50 CY  
TOTAL = 70 CY

## STABILIZED CONSTRUCTION ACCESS

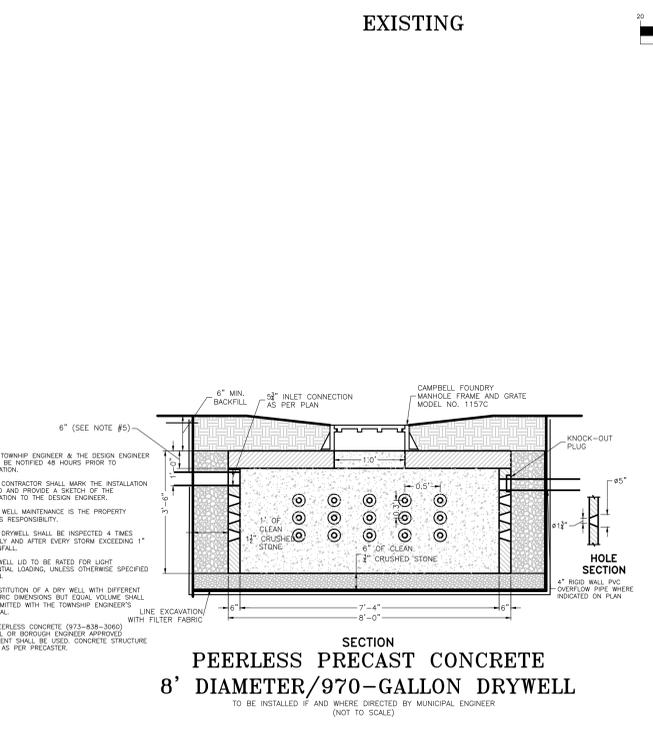
NOT TO SCALE



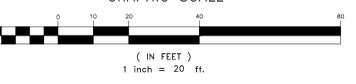
**INLET FILTER DETAIL**

NOTES:

- GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 117, BY BENTONITE INDUSTRIES INC. OR APPROVED EQUAL.
- IF CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE, SEAMS SHALL BE STITCHED OR CLOUSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE.
- WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCLOSE THE DRAIN INLET.
- INLET GRATE OPENING TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
- THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR TRAP DEBRIS FROM THE 1-HOUR, 24-HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
- OTHER METHODS THAT ACHIEVE THE PURPOSE OF STORM SEWER INLET PROTECTION SHALL BE PERMITTED BY THE SOIL CONSERVATION DISTRICT.
- INSPECTIONS SHALL BE FREQUENT MAINTENANCE, REPAIR AND RECONSTRUCTION AS REQUIRED. THE BARRIER SHALL BE REPAIRED WITHIN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.



**SECTION**  
**PEERLESS PRECAST CONCRETE**  
**8' DIAMETER/970-GALLON DRYWELL**  
TO BE INSTALLED IF AND WHERE DIRECTED BY MUNICIPAL ENGINEER (NOT TO SCALE)



## ALLENDALE NOTES

- THE APPLICANT/OWNER WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE ROADWAY.
- SEWER CLEAN-OUTS NEED TO BE FITTED WITH BRASS CAPS.
- THE DESIGN ENGINEER IS RESPONSIBLE FOR ENSURING THE EFFECTIVENESS OF THE PROPOSED STORMWATER MANAGEMENT SYSTEM AND SHALL PROVIDE SUFFICIENT REGULAR OVER-SIGHT DURING ITS CONSTRUCTION.
- INFILTRATION STORMWATER MANAGEMENT MEASURES MUST BE PROTECTED DURING CONSTRUCTION TO PREVENT ACCUMULATION OF SEDIMENT.
- THE INFILTRATION SYSTEM MUST BE INSTALLED 2 FEET ABOVE THE SEASONAL HIGH GROUNDWATER TABLE (SHGW).
- GUARDS, SUMPS, TRAPS AND/OR FILTERS WITH MAINTENANCE ACCESS SHOULD BE CONSIDERED FOR ALL DRAINAGE AND STORMWATER MANAGEMENT MEASURES, WHEREVER PRACTICAL, TO MINIMIZE THE AMOUNT OF COARSE PARTICLES AND VEGETATION THAT MAY ENTER THE STORMWATER SYSTEM.
- TO DEMONSTRATE ADEQUATE SOIL PERMEABILITY AND DOCUMENT THE DEPTH TO THE SHGW, CERTIFIED SOIL LOG(S) OR PERCOLATION TEST(S) AT THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT SYSTEM NEED TO BE PROVIDED (§225-5.d(2)). THE RESULTS MUST BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER AND THEN PROVIDED TO THE BOROUGH. SHOULD UNFAVORABLE CONDITIONS BE ENCOUNTERED, THE DESIGN ENGINEER WILL NEED TO PROVIDE AN ALTERNATIVE MEANS TO ADDRESS AND MANAGE STORMWATER.
- SHOULD SOIL CONDITIONS BE FAVORABLE FOR THE CONSTRUCTION OF THE PROPOSED INFILTRATION SYSTEM, THE APPLICANT SHALL CONTACT THE ALLENDALE CONSTRUCTION DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM TO SCHEDULE AN INSPECTION (§225-5.d(3)). IN ADDITION, THE APPLICANT SHALL CONTACT THE ALLENDALE CONSTRUCTION DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION TO SCHEDULE AN INSPECTION.
- THE APPLICANT/OWNER SHALL ENSURE THAT STORMWATER RUNOFF DOES NOT NEGATIVELY AFFECT NEIGHBORING PROPERTIES DURING AND AFTER CONSTRUCTION.
- THE OWNER WILL BE RESPONSIBLE FOR ENSURING THE PROPOSED STORMWATER MANAGEMENT SYSTEM IS REGULARLY AND EFFECTIVELY MAINTAINED WITHOUT NEGATIVE IMPACTS TO DOWNSTREAM PROPERTIES.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROVIDED AND IN PLACE PRIOR TO INITIATING SOIL DISTURBANCE. THE MEASURES MUST BE MAINTAINED UNTIL THE AREA OF DISTURBANCE HAS BEEN PERMANENTLY STABILIZED.
- UPON COMPLETION OF THE CONSTRUCTION OF THE BUILDING FOUNDATION, AN AS-BUILT FOUNDATION LOCATION PLAN PREPARED BY A LICENSED LAND SURVEYOR NEEDS TO BE SUBMITTED FOR REVIEW AND APPROVAL (§196-1.C).
- UPON COMPLETION OF THE PROJECT AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN AS-BUILT PLAN OF THE SITE NEEDS TO BE SUBMITTED AND APPROVED.

## ALLENDALE A-ZONE ZONING SCHEDULE

BULK ZONE REQUIREMENT	LOT AREA	FRONT YARD	1ST SIDE YARD	2ND SIDE YARD	REAR YARD	LOT WIDTH	GROSS BLD. FLOOR AREA	FLOOR AREA RATIO	LOT COVER	BLD. HGT.
	20,000 SF WITHIN 175' OF FRONT STREET	35'	15'	15'	50'	115' WITHIN 175' OF STREET	5508 SF MAX	21.99%	34.75%	35' IN 23' STYS.
EXISTING	17,662 SF	32.1'	17.5'	14.4'	177.5'	100.0'	2274 SF	9.10%	15.05%	21' IN 23' STYS.
PROPOSED	17,662 SF	32.1'	17.5'	14.4'	163.8'	100.0'	2634+576= 3210 SF	12.81%	23.44%	27.5' IN 23' STYS.

LOT COVER: 55 / SQRT(LOT AREA) [FOR 10,000 SF TO 40,000 SF] FAR: 25 - (0.0002)(LOT AREA - 10,000) [FOR 10,000 SF TO 40,000 SF] \*\* INCLUDES DETACHED GARAGE

## IMPERVIOUS SURFACE COVER

	BUILDING (PRIMARY)	BUILDING (ACCESSORY)	DRIVEWAYS & PARKING AREAS	PORCHES AND DECKS	WALKWAYS	GEN/AC PAD/PILLARS	TOTALS
EXISTING	1829 SF	47 SF	880 SF	392 SF	614 SF	9 SF	3771 SF
PROPOSED	2123 SF	576 SF	2542 SF	309 SF	314 SF	9 SF	5873 SF

<b>REVISION DIGEST</b> 12/20/23	<b>CONKLIN ASSOCIATES</b> PROFESSIONAL ENGINEERS AND LAND SURVEYORS 29 CHURCH STREET P.O. BOX 292, RAMSEY, NJ 07446 PHONE (201) 327-0443, FAX (201) 934-1097 CERTIFICATE OF AUTHORIZATION #24GA28046300	<b>ADDITION PLOT PLAN</b> <b>SOIL EROSION CONTROL PLAN</b> <b>LOT 14 - BLOCK 1708</b> 203 WEST ALLENDALE AVENUE IN THE <b>BOROUGH OF ALLENDALE</b> <b>BERGEN COUNTY, NEW JERSEY</b> FOR <b>AQUINO RESIDENCE</b>
SCALE: 1" = 20' ORIGINAL PLAN DATE: 11/29/23 SURVEY DATE: 11/27/23	TIBOR LATINCISCS N.J.P.E. 32444, N.J.P.P. 3736 	MICHAEL H. DARMSTATTER P.L.S., NJ License No. 246504349000 
FILE NO.:	PLOT NO.: ALL-B1708-L14-PLOT.dwg	

## Memorandum

**To:** Borough of Allendale Land Use Board  
L. Garofalo, Board Secretary / L. Calli, Board Attorney

**Cc:** L. Aquino, Applicant / C. Greimel, Applicant's Engineer & Planner

**From:** Michael Vreeland, Board Engineer 

**Date:** January 11, 2024

**Re:** LUB 2024-02 – Aquino  
Variance Application – Addition and Detached Garage  
203 West Allendale Avenue  
Block 1708, Lot 14  
ALN-1001.072

We are in receipt of the following information pertaining to the above-referenced application:

- A. Land Use Application and associated documents;
- B. Soil Movement Application and associated documents;
- C. Plan entitled, "Boundary & Topographic Plan of, Lot 14, Block 1708, 203 West Allendale Avenue, Borough of Allendale, Bergen County, New Jersey". The plan prepared by Darmstatter, Inc. (Michael H. Darmstatter, PLS), is dated November 27, 2023;
- D. Setback and photograph exhibits. The exhibits prepared by Christopher Greimel are dated December 14, 2023 and December 20, 2023, respectively;
- E. Plan set consisting of 6 sheets entitled, "Proposed Addition & Detached Garage, Aquino Residence, 203 West Allendale Avenue, Allendale, New Jersey". The plans prepared by Christopher Greimel, PE, RA, PP, are dated December 8, 2023; and
- F. Plan entitled, "Addition Plot Plan, Soil Erosion Control Plan, Lot 14 – Block 1708, 203 West Allendale Avenue, In The, Borough of Allendale, Bergen County, New Jersey, For Aquino Residence". The plan prepared by Conklin Associates (Tibor Latincsis, PE & Michael H. Darmstatter, PLS), is dated November 29, 2023.

We have reviewed the information along with the Borough Code (Code), visited the site and offer the following comments:

### OFFICE LOCATIONS

[www.vancleefengineering.com](http://www.vancleefengineering.com)

Lebanon, NJ  
908-735-9500

Hamilton, NJ  
609-689-1100

Toms River, NJ  
732-573-0490

Freehold, NJ  
732-303-8700

Bethlehem, PA  
610-332-1772

Hillsborough, NJ  
908-359-8291

Mt. Arlington, NJ  
862-284-1100

Phillipsburg, NJ  
908-454-3080

Doylestown, PA  
215-345-1876

Pottstown, PA  
610-323-4040

## 1. INTRODUCTION

The subject ±0.575 acre property is commonly known as 203 West Allendale Avenue. The property is currently developed with a single-family dwelling and associated amenities. The property is located within the Borough’s A Residence Zone District and is surrounded by residential uses.

The application and plans propose additions and renovations to the dwelling (including a rear addition, conversion of the existing garage to living space and a new detached garage).

The application and plans request relief for conflicts with §270-64C(2) (side yard setback). Relief may also be required to allow the driveway to remain in front of the dwelling §270-18B.(6).

## 2. TECHNICAL COMPLETENESS

We have reviewed the application for technical completeness in accordance with the Application Checklist. Based on the nature of the proposal, we believe the Applicant’s submission is sufficient to conduct technical review.

**We defer to the Land Use Administrator and the Board Attorney regarding administrative and legal completeness matters.**

## 3. ZONING

We have reviewed this application in accordance with the requirements of the Code. Based on this review we find the following:

3.1. Discrepancies exist between the information presented in the Greimel Zoning Requirements Table and the Conklin Associates Zoning Schedule. Testimony should address the discrepancies.

3.2. Non-Conforming Conditions:

3.2.1. §270-18B(2) – Driveway Width

**Comment:** The illustrated driveway appears to be 48 ft wide at the rear parking/turning area and exceeds the allowable 35 ft width.

3.2.2. §270-18B(3) – Driveway Curb Cuts

**Comment:** The illustrated curb cut appears to be 23 ft wide and exceeds the allowable 20 ft width. The application does not appear to alter this condition.

3.2.3. §270-57(B) – Front Yard Setback

**Comment:** The zoning information indicates the existing dwelling encroaches ±3 ft into the required 35 ft front yard setback. The application does not appear to alter this condition.

3.2.4. §270-57E – Minimum Lot Width

**Comment:** The zoning information indicates the existing 100 ft width is less than the required 115 ft. The application does not appear to alter this condition.

3.2.5. §270-64C(2) – Side Yard Setbacks

**Comment:** The Greimel zoning information indicates an original gross building area of 3,614 sf (prior to removing a barn from the property). The dwelling encroached  $\pm 4.2$  ft (left) &  $\pm 7.3$  ft (right) into the required  $\pm 21.7$  ft enhanced side yard setback.

Removal of the barn along with the proposal decreases the GBA to 3,252 sf and requires  $\pm 19.5$  ft enhanced side yard setback. The dwelling would encroach  $\pm 2$  ft (left) &  $\pm 5.1$  ft (right) into the required  $\pm 19.5$  ft enhanced side yard setback.

3.3. Discussion:

Since this proposal does not meet the requirements noted above, the Applicant must seek relief from the Board pursuant to the Municipal Land Use Law under N.J.S.A. 40-55D-70c.

The Applicant has requested “C” variances in conjunction with this proposal.

“C(1)” or “Hardship” Variances:

In judging an application by the C(1) criteria, the core question presented to the Board is whether there has been a showing of (1) peculiar and exceptional practical difficulties to, or (2) exceptional and undue hardship upon, the Applicant arising out of (a) the exceptional narrowness, shallowness or shape of the subject property, or (b) by reason of exceptional topographic conditions or physical features uniquely affecting the subject property, or (c) by reason of an extraordinary and exceptional situation uniquely affecting the subject property or the structures lawfully existing thereon. In all cases, the alleged hardship must relate to a specific piece of property.

“C(2)” or “Benefits v. Detriments” Variances:

In judging an application by the C(2) criteria, the core questions presented to the Board is whether the grant of a variance would promote or advance the purposes of the Municipal Land Use Law and the benefits of such deviation outweigh any detriment.

As in all variance cases, the Applicant bears the burden of proving both the positive and negative criteria. Relief cannot be granted unless it can be granted without substantial detriment to the public good and unless it will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

We specifically note that it is the Applicant’s burden to show the special reasons and satisfy the negative criteria. As such, the Applicant will need to present additional information concerning the aforementioned issues as well as the positive and negative elements pertaining to the subject proposal.

#### **4. TECHNICAL REVIEW COMMENTS**

- 4.1. Testimony should address proposed building finishes, colors, and materials.
- 4.2. Testimony should address exterior lighting.
- 4.3. Roof runoff from the proposed garage and existing downspout located along the proposed driveway should not be directed towards adjacent properties.
- 4.4. Should the Board approve this application:
  - 4.4.1. The Applicant will need to obtain Soil Movement Permit (\$225) and Plot Plan Approval (\$196). A soil movement application has been submitted.
  - 4.4.2. We recommend an “As-Built Plan” be required prior to requesting a certificate of occupancy.

Please contact me should you have any questions.