

ADLER RESIDENCE

22 BONNIE WAY, ALLENDALE, NJ

DRAWING LIST

- SK-1 TITLE SHEET
- SK-2 PROPOSED BASEMENT PLAN
- SK-3 1ST FLOOR DEMO PLAN
- SK-4 PROPOSED FIRST FLOOR
- SK-5 PROPOSED SECOND FLOOR
- SK-6 PROPOSED ROOF PLAN
- SK-7 PROPOSED EXTERIOR ELEVATIONS
- SK-8 PROPOSED EXTERIOR ELEVATIONS
- SK-9 PROPOSED CABANA PLANS
- SK-10 PROPOSED CABANA ELEVATIONS
- SK-11 EXISTING PHOTOS
- SK-12 EXTERIOR VIEWS
- SK-13 EXTERIOR VIEWS

PROJECT DESCRIPTION

ADDITION AND RENOVATION TO
EXISTING SINGLE-FAMILY RESIDENCE

CONSTRUCTION OF A NEW CABANA.



PROGRESS PRINTS
NOT FOR CONSTRUCTION



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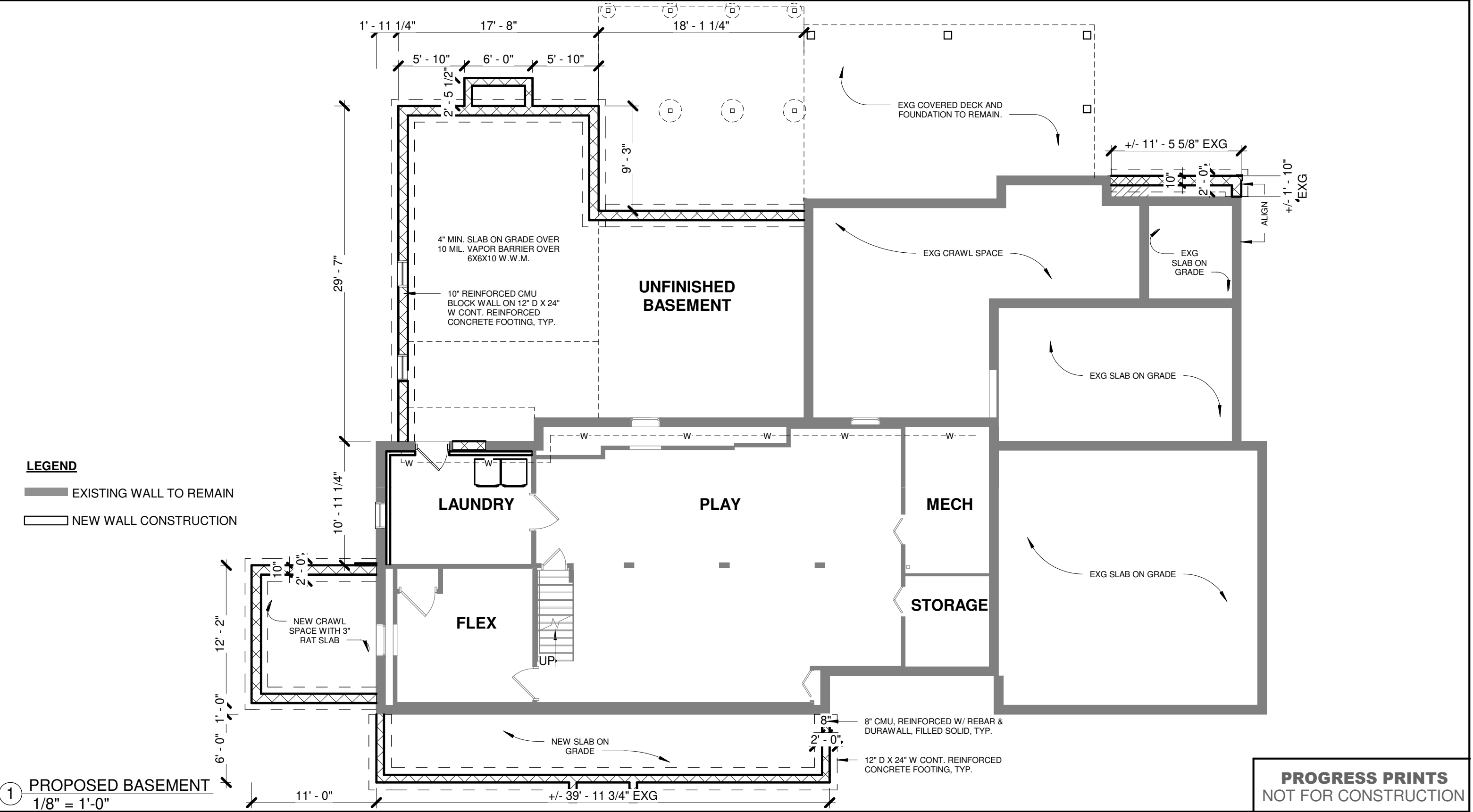
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2119
PROJECT: ADLER RESIDENCE
22 BONNIE WAY
ALLENDALE, NJ

TITLE: TITLE SHEET
DATE: 02/04/22
SCALE:

DRAWING #: **SK-1**



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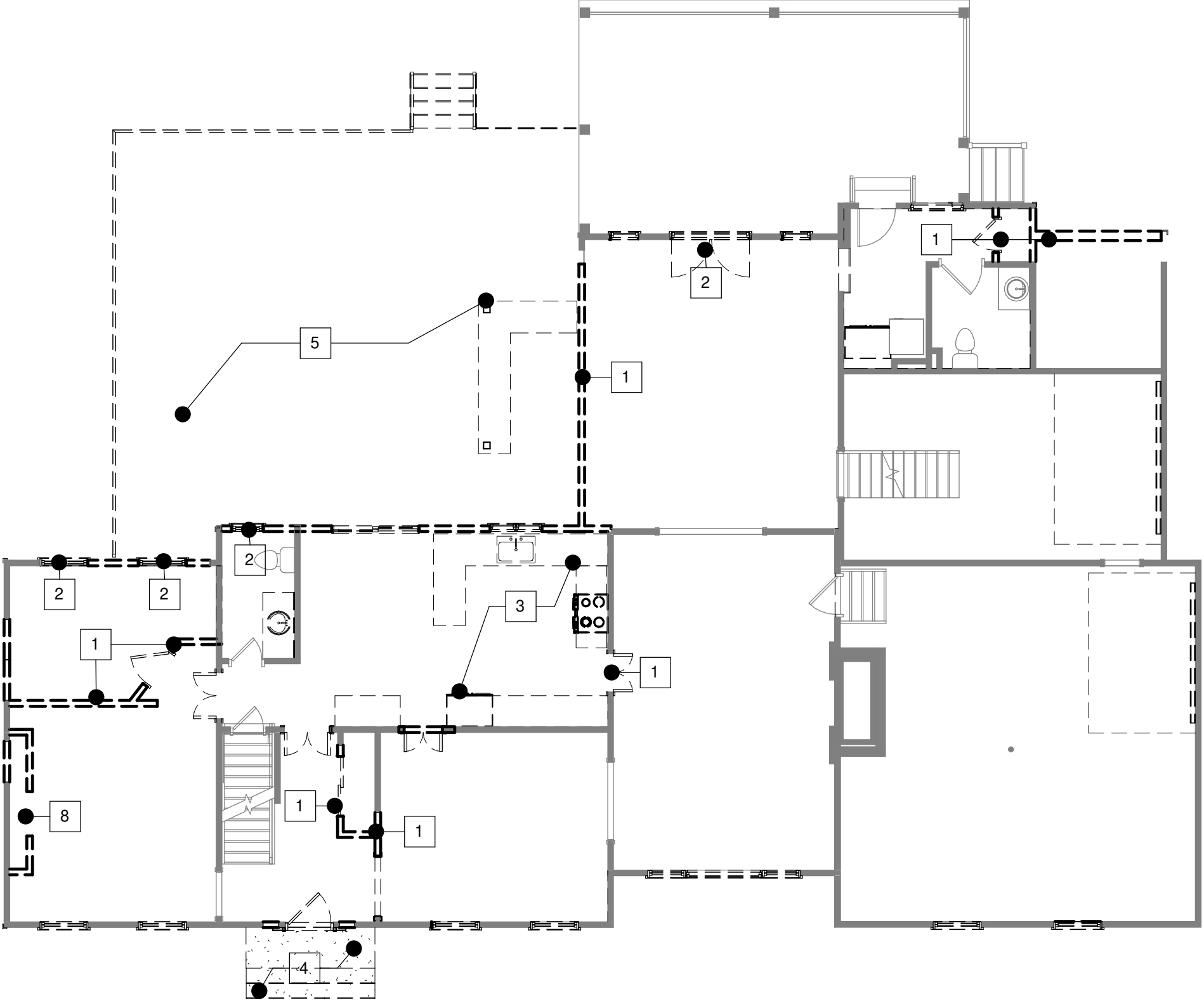
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ZONING BOARD APPLICATION

PROJECT #: 2119
PROJECT: ADLER RESIDENCE
22 BONNIE WAY
ALLENDALE, NJ

TITLE: PROPOSED BASEMENT PLAN
DATE: 02/04/22
SCALE: 1/8" = 1'-0"

DRAWING #: **SK-2**



DEMOLITION LEGEND

- 1 REMOVE EXISTING WALL CONSTRUCTION AS INDICATED. TEMPORARILY SHORE STRUCTURE AS NECESSARY. SEE FLOOR PLAN FOR NEW CONFIGURATION AS REQUIRED.
- 2 REMOVE EXISTING DOOR/WINDOW AND INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED.
- 3 CAREFULLY REMOVE EXISTING KITCHEN IN ITS ENTIRETY, AND SAFELY STORE/PROTECT FOR RE-INSTALLATION. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
- 4 REMOVE EXISTING DECK AND ASSOCIATED DECKING, RAILING, STEPS, STRUCTURE, AND SUPPORTING FOOTINGS.
- 5 REMOVE EXISTING PORCH AND ASSOCIATED STEPS, FOOTINGS, AND SLAB AS REQUIRED.
- 6 REMOVE EXISTING ROOF IN ITS ENTIRETY. TEMPORARILY SHORE STRUCTURE AS NECESSARY.
- 7 REMOVE EXG DROP CEILING AND CEILING TILES IN FINISHED BASEMENT.
- 8 REMOVE EXISTING FIREPLACE, CHIMNEY, MANTLE, AND ASSOCIATED ELEMENTS.

1 PROPOSED DEMO FLOOR PLAN
1/8" = 1'-0"

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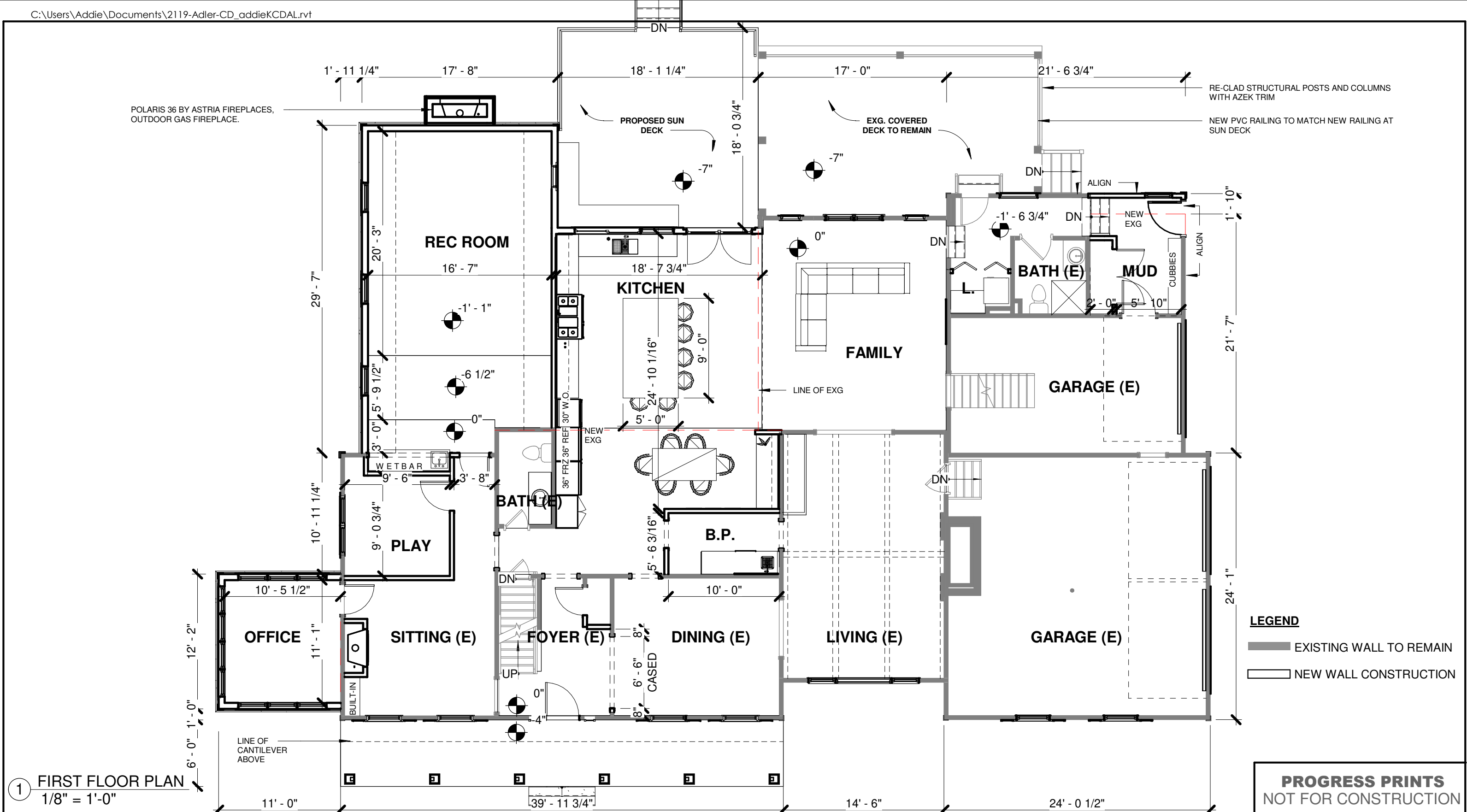
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ZONING BOARD APPLICATION

PROJECT #: 2119
PROJECT: ADLER RESIDENCE
22 BONNIE WAY
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TITLE: 1ST FLOOR DEMO PLAN
DATE: 02/04/22
SCALE: As indicated

DRAWING #: SK-3



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ZONING BOARD APPLICATION

PROJECT #: 2119
PROJECT: ADLER RESIDENCE
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ALLENDALE, NJ

TITLE: PROPOSED FIRST FLOOR
DATE: 02/04/22
SCALE: 1/8" = 1'-0"

DRAWING #: SK-4



1 PROPOSED SECOND FLOOR PLAN
1/8" = 1'-0"

LEGEND
— EXISTING WALL TO REMAIN
— NEW WALL CONSTRUCTION

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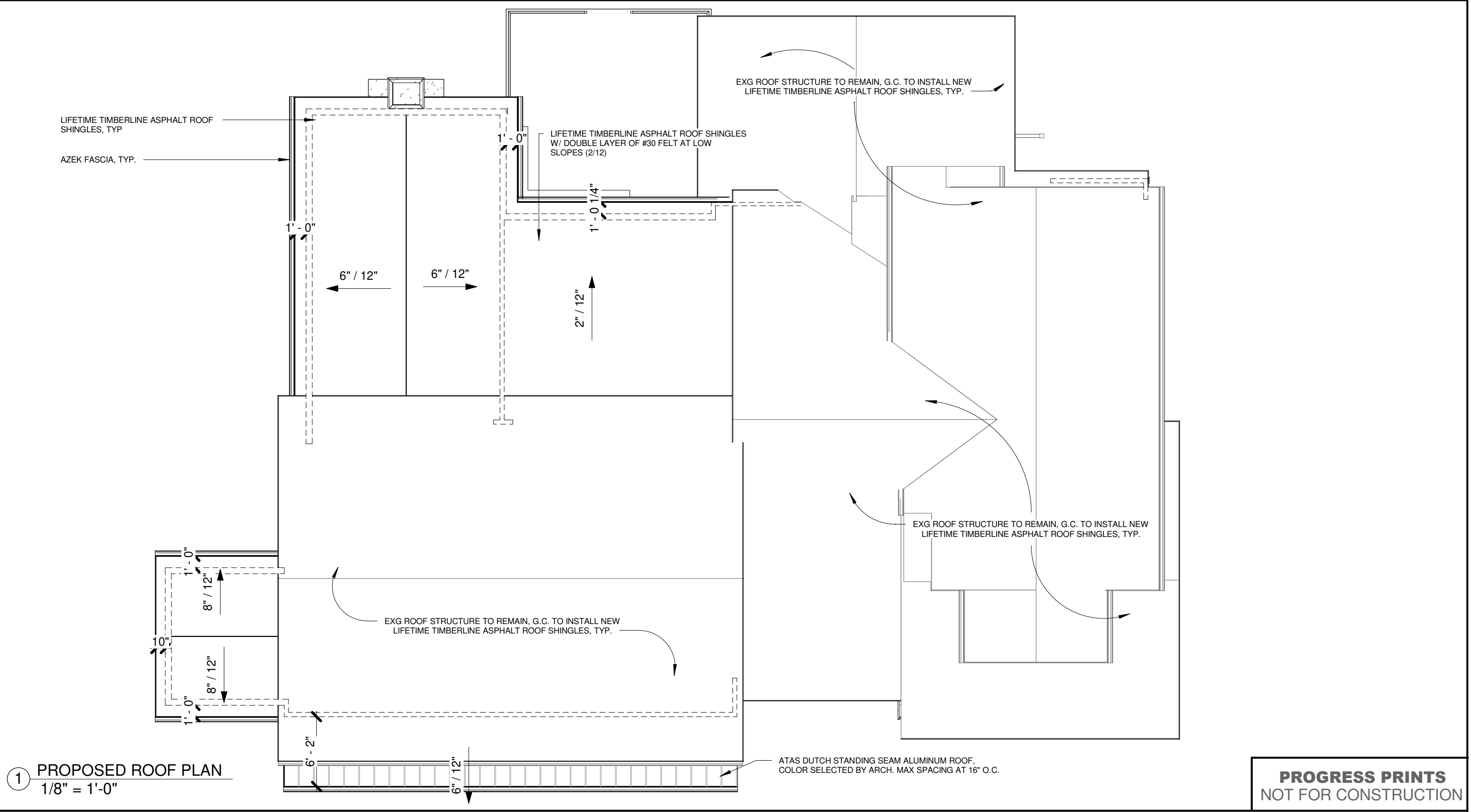
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ZONING BOARD APPLICATION

PROJECT #: 2119
PROJECT: ADLER RESIDENCE
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TITLE: PROPOSED SECOND FLOOR
DATE: 02/04/22
SCALE: 1/8" = 1'-0"

DRAWING #: **SK-5**



ZONING BOARD APPLICATION

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TITLE: PROPOSED ROOF PLAN
DATE: 02/04/22
SCALE: 1/8" = 1'-0"

DRAWING #: **SK-6**



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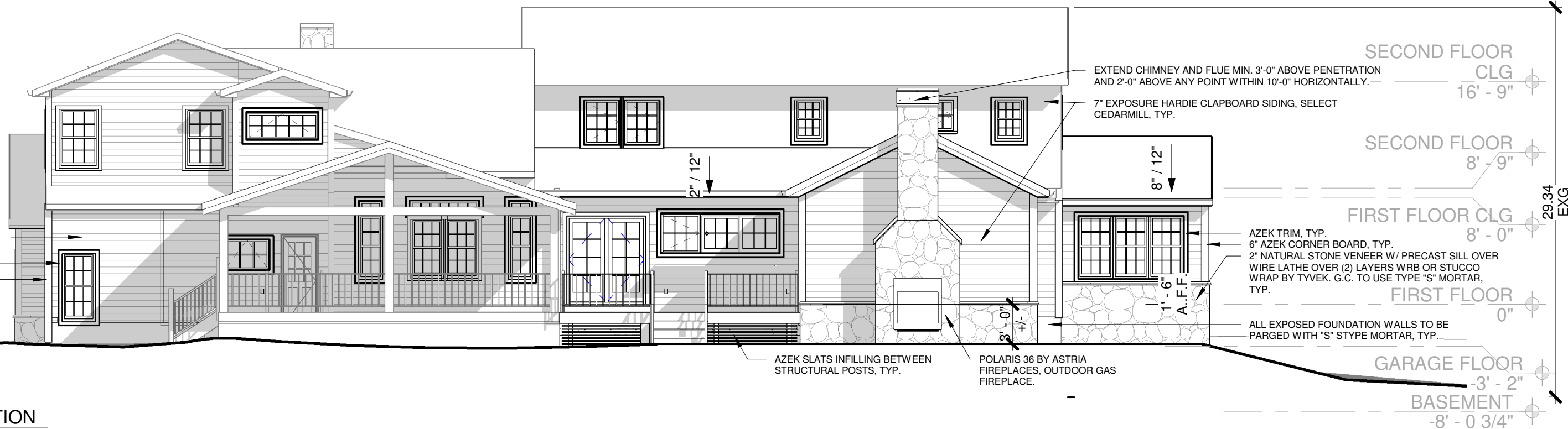
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ZONING BOARD APPLICATION

PROJECT #: 2119
PROJECT: ADLER RESIDENCE
22 BONNIE WAY
ALLENDALE, NJ

TITLE: PROPOSED EXTERIOR ELEVATIONS
DATE: 02/04/22
SCALE: 1/8" = 1'-0"

DRAWING #: **SK-7**



① REAR ELEVATION
1/8" = 1'-0"



② RIGHT ELEVATION
1/8" = 1'-0"

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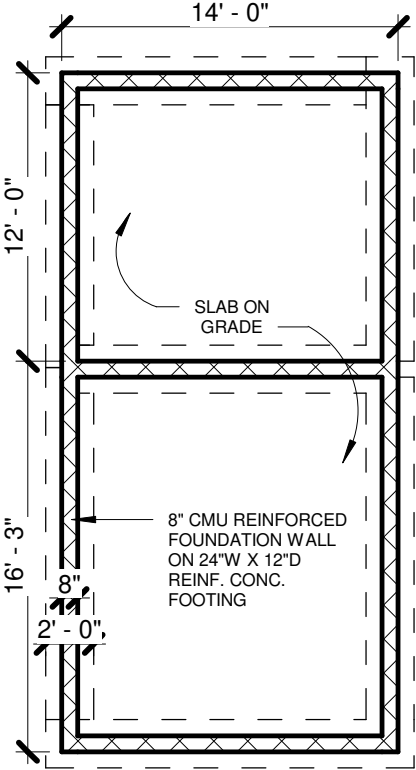
PROJECT #: 2119

PROJECT: ADLER RESIDENCE
22 BONNIE WAY
ALLENDALE, NJ

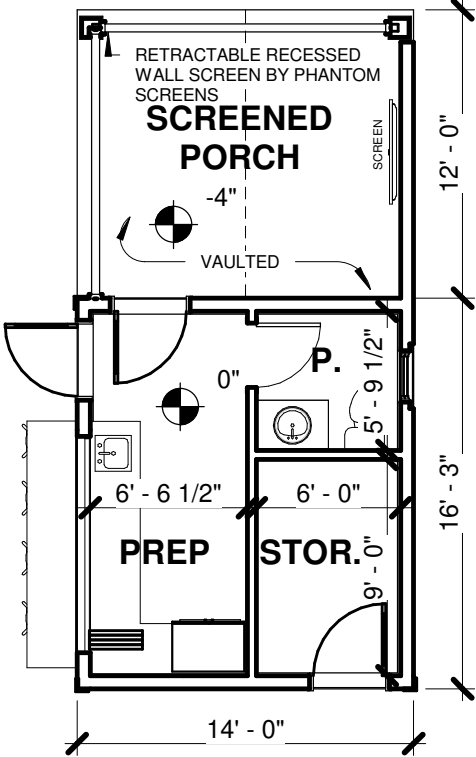
TITLE: PROPOSED EXTERIOR
ELEVATIONS
DATE: 02/04/22

SCALE: 1/8" = 1'-0"

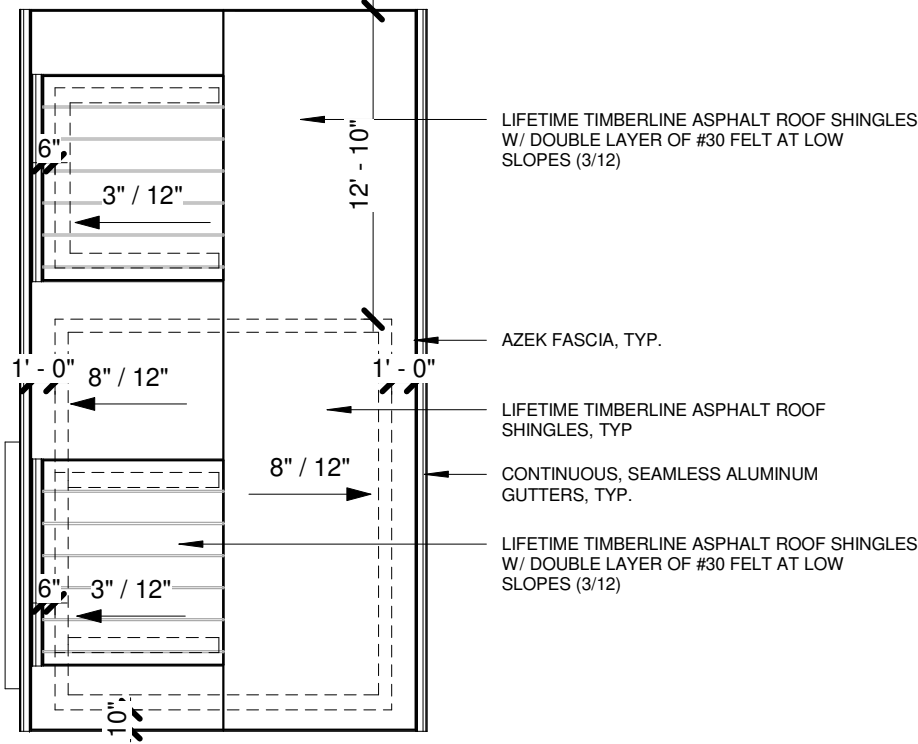
DRAWING #: **SK-8**



① CABANA FOUNDATION PLAN
1/8" = 1'-0"



② PROPOSED CABANA PLAN
1/8" = 1'-0"



③ CABANA ROOF PLAN
1/8" = 1'-0"

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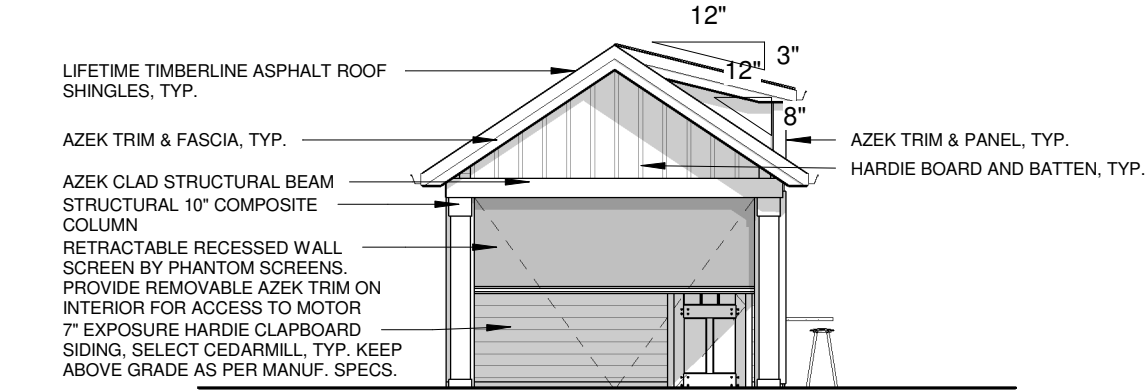
PROJECT #: 2119
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TITLE: CABANA PLANS
DATE: 02/04/22
SCALE: 1/8" = 1'-0"

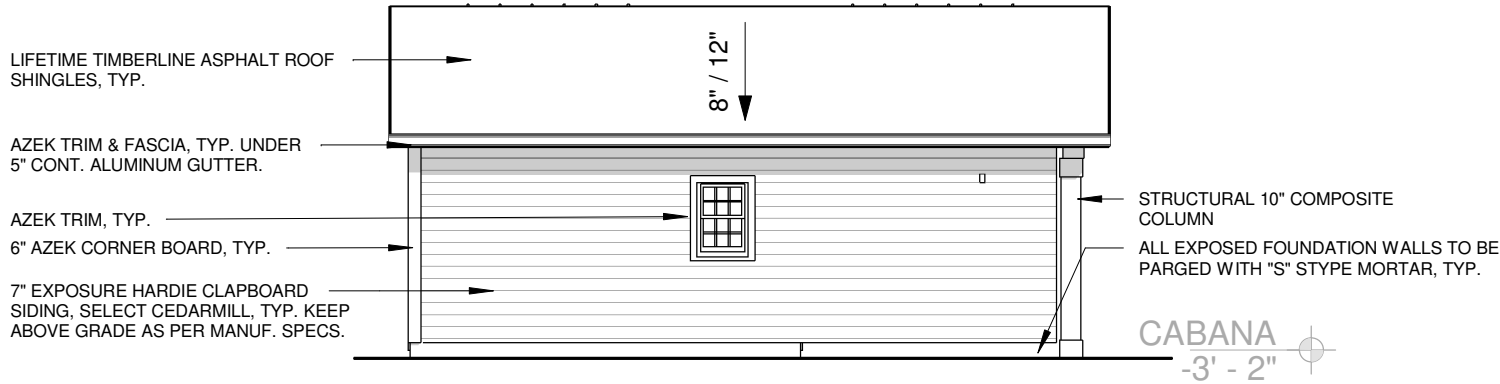
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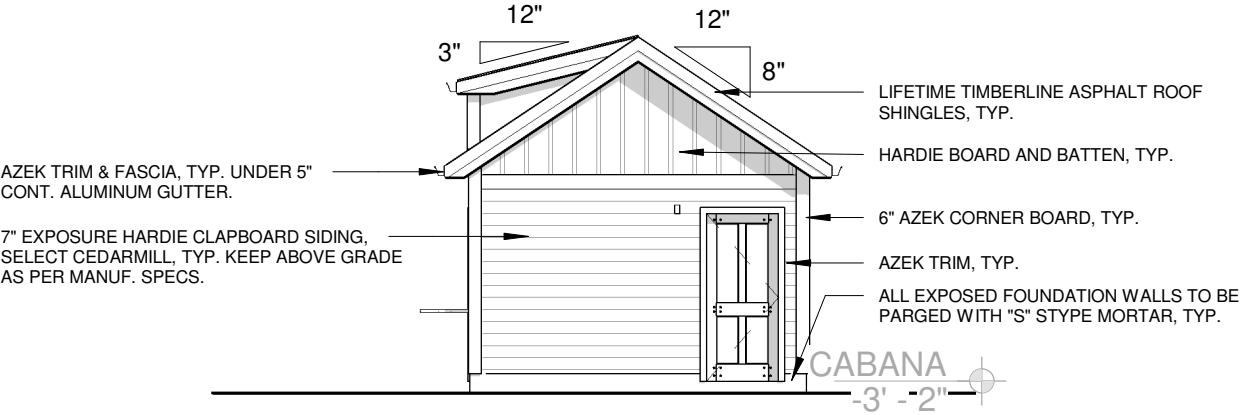
1 CABANA FRONT ELEVATION
1/8" = 1'-0"



2 CABANA LEFT ELEVATION
1/8" = 1'-0"



3 CABANA REAR ELEVATION
1/8" = 1'-0"



4 CABANA RIGHT ELEVATION
1/8" = 1'-0"

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ZONING BOARD APPLICATION

PROJECT #: 2119
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ALLENDALE, NJ

TITLE: CABANA ELEVATIONS
DATE: 02/04/22
SCALE: 1/8" = 1'-0"

DRAWING #: **SK-10**



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ZONING BOARD APPLICATION

PROJECT #: 2119
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ALLENDALE, NJ

TITLE: EXISTING PHOTOS
DATE: 02/04/22
SCALE:

DRAWING #: **SK-11**



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PROJECT #: 2119
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TITLE: EXTERIOR VIEWS
DATE: 02/04/22
SCALE:

DRAWING #: **SK-12**



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ZONING BOARD APPLICATION

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ALLENDALE, NJ

TITLE: EXTERIOR VIEWS
DATE: 02/04/22
SCALE:

DRAWING #: **SK-13**

