

LAND USE BOARD  
BOROUGH OF ALLENDALE  
Municipal Building  
500 West Crescent Ave  
Allendale, NJ

The Regular Meeting of the Allendale Land Use Board will be held in the Council Chambers in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401 on April 20, 2022 at 7:30 p.m. Formal action will be taken.

- I. CALL TO ORDER
  - A. Open Public Meetings Act Announcement
  - B. Salute to Flag

- II. ROLL CALL

- III. PUBLIC HEARINGS:

Application File No: LUB 2022-02

Applicant: ABC Vault Partners, LLC

Address: 22 Maple Street, Allendale, NJ 07401

Block: 1808 Lot 2

Proposed: Two-Story Apartment Building – 6 one bedroom units. Preliminary & Final Site Plan approval; Use variance relief pursuant to 40:55D-70 (d) et. seq; Bulk Variance relief pursuant to 40:55D-70© et. seq.; Design Waivers. The applicant seeks to convert an existing bank drive up facility into a two story, six –unit residential apartment building, consisting of six one bedroom apartments.

**(carried from the meeting of March 14, 2022)**

- IV. OPEN TO THE PUBLIC FOR COMMENT

- V. OTHER

- VI. ADJOURNMENT

**\*\*AGENDA & AGENDA MATERIALS SUBJECT TO CHANGE\*\***



Andrew Omland  
Kiersten Osterkorn, PE, PLS, PP

---

**VIA EMAIL**

April 8, 2022

Linda Garofalo, Land Use Administrator  
500 W. Crescent Avenue  
Allendale, NJ 07401

**RE: Preliminary and Final Site Plan Application  
ABC Vault Partners, LLC  
Block 1808, Lot 2  
Borough of Allendale  
Bergen County, New Jersey  
O&O Project #210812**

Dear Ms. Garofalo:

We are hereby submitting to address the Borough Engineer's review letter dated January 10, 2022, as well as comments from the Land Use Board Meeting held on March 14, 2022 for the above noted project. Please find the following in response to the comments:

- Ten (10) copies of the Preliminary and Final Site Plans for 22 Maple Street, dated October 15, 2021, revised through April 8, 2022.

The following are itemized responses to review letters:

**Land Use Board Comments from March 14, 2022 Meeting**

From the board meeting on March 14, 2022, we have addressed the following comments and made revisions to the plans as necessary:

1. We conducted a soil test pit on site to evaluate soil percolation rates as well as look for groundwater. During our test pit, we did not hit groundwater or mottling as deep as 10 feet. We took a soil sample for percolation rates which we have not received yet. Once results are obtained, we will forward to Mr. Vreeland.
2. We met with the engineer, Michael Vreeland, on site to walk the property to look at the trees that were discussed at the meeting, as well as the drainage pattern in the rear of the property. We agreed that we would remove the northern fence line and install consistent 5 foot high fence along the northern, eastern and southern side of the property. The trees that are on or near the property lines we are not proposing to remove but will work the fence line around the trees.
3. We have relocated the HVAC units to the east side of the building.
4. We have added notes to state no patios, bbq areas or balconies will be proposed nor permitted along the rear (north) side of the building or the eastern landscaped portion of the property.

5. We have moved the garbage area to the end of the building, noted to consist of residential cans and private collection.
6. We have shifted the handicap parking space to utilize the area where the existing utility pole is (and still have enough room for car door clearance), therefore gaining an extra parking space.
7. We have additional landscaping along the rear (north) side of the building as well as the eastern portion of the property.
8. We obtained additional topography to the south of the property and modified the grading to ensure the development does not impact the parking lot or neighbor to the south.
9. We added note for the lighting to be evaluated in 6 months.

#### **Borough Engineer Michael Vreeland January 10, 2002 Review Memo**

##### **4. Layout and Circulation**

- a. Setback discrepancy revised
- b. Testimony provided for garbage/recycling. Area to be fenced in.
- c. Vehicle circulation to be provided at 4/20/22 meeting.
- d. ADA curb, ramp and details provided.
- e. Proposed fence to be 6 inches from property line. Detail provided.
- f. Fence proposed at compliant 5 feet in height.
- g. A stop sign, stop bar and pavement markings added to plan.
- h. We will need to work with Borough of Allendale to provide compliant paver sidewalk and driveway apron details to match existing improvements.
- i. A paver apron is now proposed. A detail will be provided.
- j. The 4 HVAC units are now located to east of building.
- k. The lighting fixtures on the plan are labeled.
- l. The roof overhangs are shown on the plan.
- m. The architectural plans will be revised to show overall building length.
- n. Testimony was provided that no signs are proposed.

##### **5. Grading and Stormwater Management**

- a. We will provide pretreatment measures in the two inlets proposed.
- b. A maintenance plan will be provided as condition of approval.
- c. We will provide oversight during construction.
- d. The distance to the property lines from the underground system has been added to the plans.
- e. Soil testing has been done. Results will be provided once received. No groundwater was observed during the test pit.
- f. All gutter downspouts will be collected to the underground detention system.
- g. We will revise the grading as necessary to ensure there are no negative impacts to the adjoining properties.
- h. Applicant/owner will maintain the underground system.
- i. The length, slope, cleanouts and inverts of the roof leader system will be provided as condition of approval.
- j. Inverts and pipe information of the chamber system have been added to the plan.



- k. The chamber detail will be modified in detail pending the soil test results.
- l. The chamber detail will be revised.
- m. We will evaluate an overflow from the chamber system to the Maple Street drainage system.
- n. The applicant/owner agrees to install gutter guards.

6. Utilities

- a. Testimony was provided regarding the HVAC units.
- b. The applicant/owner is responsible for on-site water and sewer improvements.
- c. The side for the proposed water, sewer and gas has been provided. The material type will provided as condition of approval.
- d. Testimony was provided regarding the sprinkler system.
- e. Water and sewer details will be provided to the Borough's standards as condition of approval.
- f. Will serve confirmations will be provided as condition of approval.

7. Landscaping

- a. No comment necessary

8. Lighting

- a. Testimony was provided regarding the lighting.
- b. A complete lighting detail to show overall height with light fixture will be provided as condition of approval.
- c. There will be building mounting lights at the door entrances.
- d. Testimony was provided regarding lighting hours of operation
- e. Testimony was provided regarding potential glare.

9. Other Agency Approvals

- a. All outside agency approvals will be obtained.

We believe that this response letter, revised plans and additional information address the Board Professional's comment letters. If you have any questions, or need anything else, please call or email.

Very truly yours,  
OMLAND & OSTERKORN, INC.



Kiersten Osterkorn, PE, PLS, PP  
Principal

[kosterkorn@o-o-inc.com](mailto:kosterkorn@o-o-inc.com)



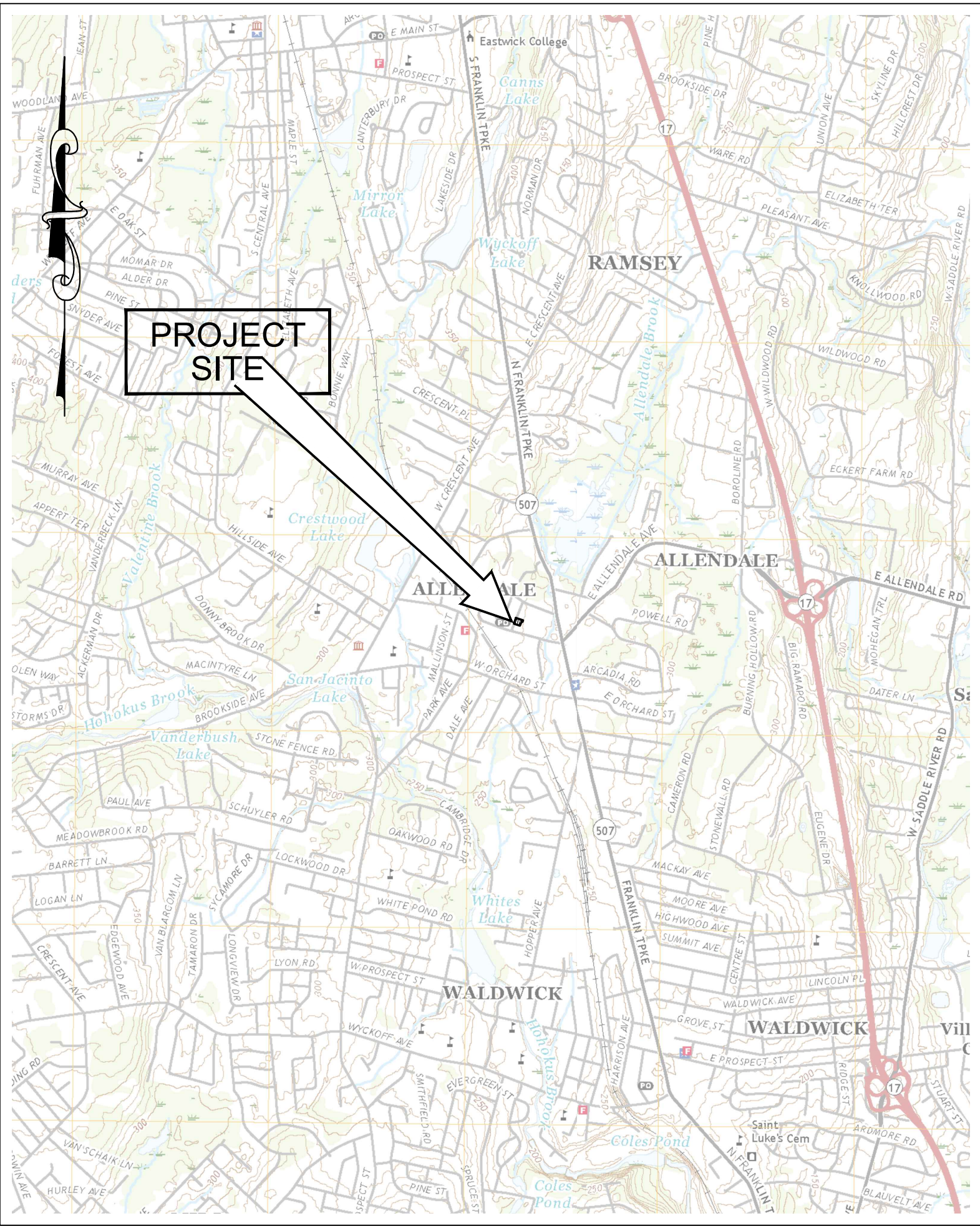


PRELIMINARY AND FINAL SITE PLAN FOR  
22 MAPLE STREET

TAX MAP BLOCK 1808, LOT 2 - ZONE C-1 (CENTRAL BUSINESS)

BOROUGH OF ALLENDALE  
BERGEN COUNTY, NEW JERSEY

| INDEX OF SHEETS |   |
|-----------------|---|
| SHEET           | DESCRIPTION   |
| 1               | COVER SHEET \ LOCATION MAP                                      |
| 2               | ZONING MAP/GENERAL NOTES  |
| 3               | SITE PREPARATION PLAN/<br>LAYOUT & DIMENSIONING PLAN            |
| 4               | GRADING & UTILITY PLAN/<br>SOIL EROSION & SEDIMENT CONTROL PLAN |
| 5               | LANDSCAPE & LIGHTING PLAN                                       |
| 6-7             | CONSTRUCTION DETAILS  |



LOCATION MAP  
SCALE: 1"= 2,000'

OWNER/APPLICANT:  
ABC VAULT PARTNERS, LLC  
PO BOX 342  
ORADELL, NJ 07649

APPROVALS:  
I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT COMPLIES  
WITH ALL APPROVALS GRANTED BY THE APPROVING AUTHORITY .

BOROUGH ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY BOARD OF ADJUSTMENT OF THE BOROUGH OF  
ALLENDALE.

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

EXPIRATION OF APPROVAL (PRELIMINARY - 3 YRS; FINAL - 2 YRS)

DATE (WITHOUT EXTENSIONS) \_\_\_\_\_

BOND/TAXES CERTIFICATION:

VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR  
ASSESSMENTS IS CURRENT.

TAX COLLECTOR \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THAT A BOND HAS BEEN POSTED FOR ALL THE  
REQUIRED IMPROVEMENTS IN COMPLIANCE WITH ALL  
APPLICABLE CODES AND ORDINANCES.

BOROUGH CLERK \_\_\_\_\_ DATE \_\_\_\_\_

OWNERS CERTIFICATION:

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE BOARD OF  
ADJUSTMENT OF THE BOROUGH OF ALLENDALE.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

BOROUGH OF ALLENDALE SITE PLAN CONTROL NUMBER \_\_\_\_\_

SEE SHEET 2 OF  
THIS SET FOR  
GENERAL NOTES  
AND REFERENCES.  
THESE PLANS ARE  
NOT TO BE USED  
FOR BID OR  
CONSTRUCTION

|   |  |  |  |          |      |
|---|--|--|--|----------|------|
| 6 |  |  |  |          |      |
| 5 |  |  |  |          |      |
| 4 |  |  |  |          |      |
| 3 |  |  |  |          |      |
| 2 | REV PER REVIEW LTRS AND 3/1/22 BOARD MTG |  |  | 04/08/22 |      |
| 1 | REV SITE PLAN FOR LESS UNITS             |  |  | 02/22/22 |      |
|   | REVISION                                 |  |  | DATE     | CHKD |

PROJ.: 210812  
DATE: 10/15/21  
THIS DRAWING AND ALL INFORMATION  
CONTAINED HEREIN IS AUTHORIZED FOR  
USE ONLY FOR THE PROJECT AND SITE  
THE WORK WAS CONTRACTED FOR BY  
THE CLIENT AND IS NOT TO BE REPRODUCED  
OR USED FOR ANY OTHER PURPOSES  
WITHOUT THE WRITTEN CONSENT OF  
OMLAND & STERKORN, INC.  
ALL RIGHTS RESERVED



Omland & Sterkorn, Inc.  
Professional Engineers & Professional Land Surveyors  
NJ Certificate of Authorization  
No. 24GA0293300  
Phone: 973-647-7920  
www.osterkorn.com  
Email: kosterkorn@o-s-inc.com  
Kirsten Osterkorn

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR  
22 MAPLE STREET  
COVER SHEET / LOCATION MAP  
TAX MAP BLOCK 1808, LOT 2  
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

SHEET No.  
1  
OF  
7

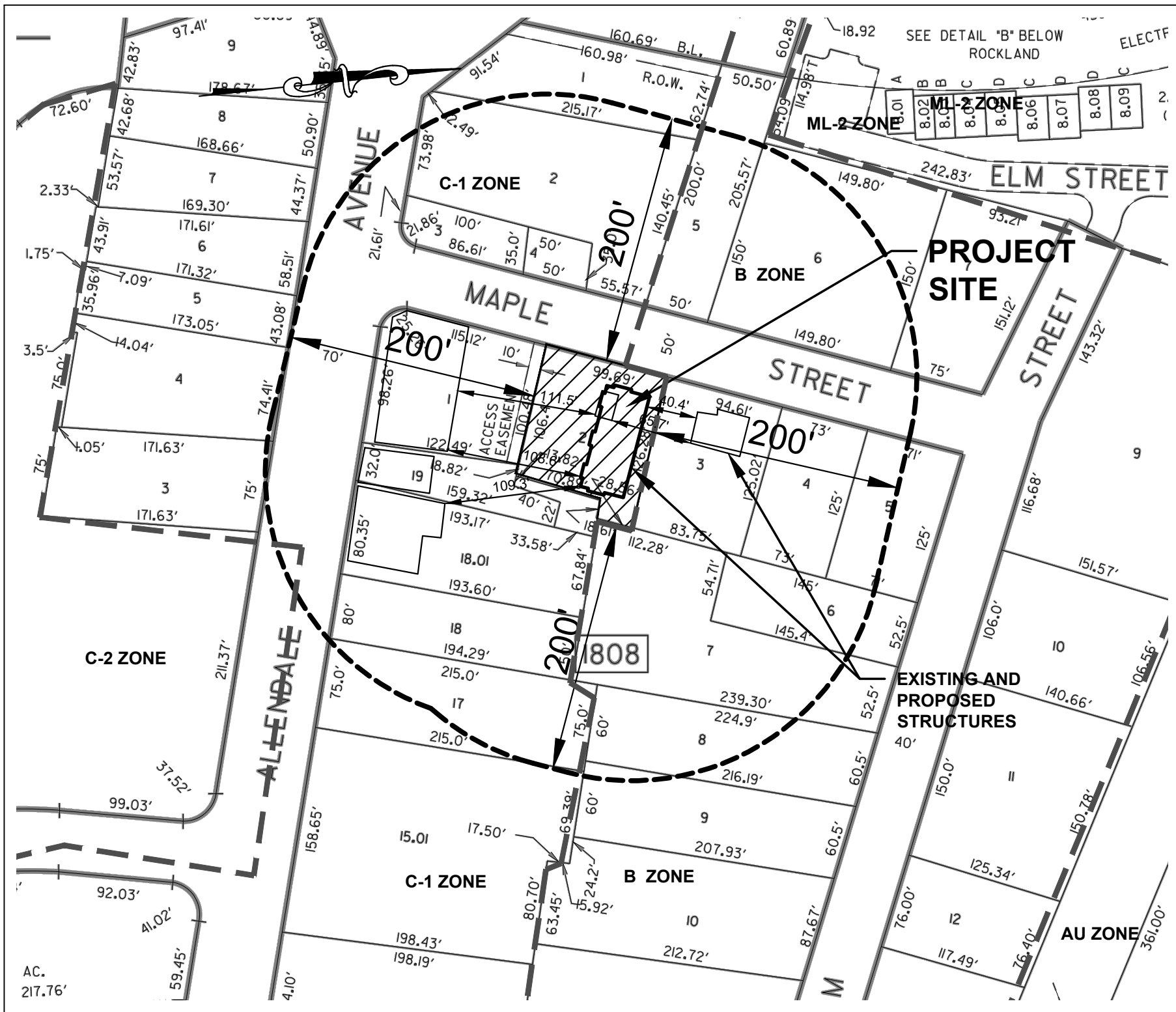


### GENERAL NOTES

- Boundary and topographic information shown hereon taken from property survey prepared by Omland & Osterkorn, Inc. dated 8/27/21. Elevations on assumed datum.
- The engineer signing this plan is not qualified to make a determination as to the presence or absence of wetlands. Therefore, no statement is being made or implied by the fact that no evidence of wetlands or wetland transition areas (buffers) are shown on this plan.
- Underground utilities shown hereon are approximate and based solely upon above ground observations, mark-outs and/or plans provided by utility companies. The accuracy or completeness of the information shown regarding underground utilities is not guaranteed by the engineer. Contractors between structures, if and where shown, may not represent actual below ground conditions. Contractors and subcontractors are responsible for ordering mark-outs, coordination with the various utility companies and for making their own determination as to the location and depth of all underground utilities prior to any construction to assure disturbance and/or disruption of existing utilities is avoided where possible and minimized in all cases. As the exact elevation of existing utilities may be unknown to engineer, contractor is advised that the potential for conflicts with proposed work may exist. Exploratory excavations, contract contingencies or exclusions with Owner should be made to accommodate such an event. In the event the Contractor identifies a conflict between the proposed work and existing utilities, the conflict shall be reported to the attention of Omland & Osterkorn, Inc. and the Owner prior to any work being performed.
  - The Contractor shall determine the location and depth of the existing utility to which connection is being made before laying any pipe, conduit, etc. Discrepancies shall be reported to Omland & Osterkorn, Inc.
  - Any temporary interruption of service to the site and/or adjacent properties shall be pre-approved in writing (email) by the respective utility.
  - Electric, telephone, cable television and all other utility services shall be installed underground at locations determined by each respective utility entity, subject to any required municipal approval, regardless of whether or not the utilities are shown on the plans. The Contractor shall coordinate the construction of all utility mains and services with each utility entity and provide whatever construction support is required for achieving utility service. The Contractor is advised to contact each respective utility company prior to construction to identify and coordinate any scheduling requirements.
  - Should it be required to excavate one or more trenches in existing roadways, backfilling and pavement replacement/repair shall be in accordance with the specifications of the municipality or county, as applicable. Verification of backfill requirements shall be made prior to bid.
- Contractors and subcontractors are responsible for making their own determinations regarding subsurface conditions, including but not limited to soil characteristics, as well as depth to rock and groundwater. Omland & Osterkorn, Inc. was not contracted to make any such determinations.
- The proposed buildings shown hereon are as taken from plans/CADD files prepared by Z+ Architects, dated 5/5/21.
- The Owner shall provide a copy of all permits and approvals issued for the project to the Contractor. The Contractor shall be responsible for reading and complying with the terms and conditions of all permits, approvals and authorizations issued by the various regulatory authorities for the project. The Contractor is also responsible for confirming with the Engineer that the permits and approvals provided by the Owner is complete.
- Responsibility for any additional permits required as construction progresses, such as building permits (including building permits for retaining walls) and road opening permits shall be coordinated between the Contractor and Owner.
  - Prior to any construction or site preparation activity, the Contractor shall complete the following:
    - Verify the plans contain the raised seal of the engineer and display the latest revision as "Issued for Construction." The use of any other plans is at the Contractor's risk.
    - Verify the information shown on these plans is consistent with the information shown on all other plans (architectural, landscaping, etc.) being used for construction of the project. Also, verify the plans are consistent with all conditions and requirements set forth in the permits. Report any discrepancies/inconsistencies to the Owner and Omland & Osterkorn, Inc. prior to any construction.
    - Determine all applicable specifications, as well as all requirements for shop drawings, inspections and testing applicable to project by contacting the local building official, municipal engineer and each affected utility company (or agency). In the event of a conflict between any specifications and the information shown on these plans, Omland & Osterkorn, Inc. and the Owner shall be notified in order to resolve the conflict prior to any construction.
    - Contact the local police department relevant to any work to be performed in or near public streets, as well as ingress and egress requirements during construction. Traffic control requirements shall be established between the Contractor and police department at this time.
- These plans are intended specifically and solely for the construction of the subject project and shall not be used for any other purpose. The copying or modification of these plans or any portion thereof is a violation of copyright law.
- Contractor shall consider the information provided on the full set of plans for the construction of all project elements. Notes and information provided on one drawing may also be relevant to information or details provided on another drawing.
- Relevant documentation pertaining to any product proposed by the Contractor on the basis of an "approved equal" shall be submitted to the municipal engineer and Omland & Osterkorn, Inc. at least two weeks in advance of ordering product. The product must be approved for incorporation into the project by both the municipal engineer and Omland & Osterkorn, Inc.
- All confirmations/verifications between the Contractor, Owner and/or Engineer shall be via email or other written form(s) of communication.
- Contractor to notify the applicable Soil Conservation District in writing at least 72 hours prior to any site preparation or construction activities.
- Contractor to call the New Jersey One Call System (800-272-1000) to have all underground utilities located prior to any site disturbance.
- The Contractor shall provide the Owner and Omland & Osterkorn, Inc. with a list of all shop drawings, inspections, testing, certifications, as-built plans and similar post-construction approval requirements pertaining to the project. The list shall also identify the specific individual responsible for performing each test and/or providing each certification and/or as-built plan. In particular, should NJDEP permits apply to any utility construction and should the permit require a certification of the work upon completion, the Contractor shall determine the individual responsible for providing the certification. The Contractor shall then be responsible for coordinating with each individual identified on the list and scheduling his work to assure each individual has sufficient opportunity to conduct the required tests, obtain required measurements and/or perform any services or work required to prepare the required post-construction approval documents.
- Contractor to coordinate all work with all utility companies and/or public agencies providing utility service, as applicable, and abide by all of their requirements relevant to the performance and inspection of all work affecting their utilities, including complying with any and all testing requirements. In the event requirements or specifications of the utility company or public authority conflict with the plans, the municipal requirements shall govern. In such case, the Contractor shall advise the Owner and Engineer prior to proceeding with any work.
- Contractor to coordinate with the Owner relevant to the scheduling of all work and any restrictions thereto, (such as maintaining operations at the site or ingress/egress restrictions, etc.). Any requirements for phasing and/or multiple mobilizations shall be identified and resolved prior to commencement of the work.
- It is the Contractor's responsibility to protect all property markers and monuments from disturbance throughout construction. Notify the Owner immediately should any property markers or monuments be inadvertently disturbed or damaged.
- Prior to any construction, the horizontal limits of the work (Limits of Disturbance - LOD) shall be established and delineated on-site. Disturbance beyond these permitted limits exposes the contractor to fines and penalties by regulatory agencies.
- The exact location of all work shall be established from the control points and all stakeout shall be referenced from baselines established from the control points. All dimensions and distances, both horizontal and vertical, shall be verified for consistency with the plans by the entity responsible for layout prior to the construction of each project element. In the event of any discrepancies between the layout and dimensions/distances shown on the plans, the layout entity shall notify Omland & Osterkorn, Inc. for resolution of the discrepancy prior to any construction for the specific element.
- Information for field layout shall be taken from the plans. Graphical information as may also be provided via electronic files is intended as drawing data only and is not to serve as basis for survey layout. Standard practice requires the layout entity check dimensional data for consistency and to make survey calculations as customary for layout.
- The location and inverts of all existing storm and sanitary sewers shown hereon shall be verified by the Contractor prior to any construction. Any discrepancies shall be reported to Omland & Osterkorn, Inc. immediately and no construction shall commence until any such discrepancies are resolved. Storm and sanitary sewer layout and construction shall proceed from downstream to upstream throughout the entire project.
- The intent of the plans is to provide a smooth transition, maintaining effective positive drainage, at all locations where the proposed construction is to connect to existing infrastructure, such as for curb, pavement, and sidewalk. The entity responsible for stakeout shall—prior to any construction—verify the intended smooth connection will be achieved. Unless otherwise noted on the plans or directed by the inspecting authority, smooth transitions shall be considered to meet the following minimum criteria:
  - No low points or "bird baths" will be created, except at locations where drainage inlets exist or will be constructed.
  - All final grades will have a minimum slope of 0.5%.
  - Abrupt changes in grade are avoided. Slope changes exceeding 2.0% shall be considered abrupt for the purpose of this requirement.
- In the event the entity responsible for layout should determine a smooth transition cannot be achieved at one or more locations, Omland & Osterkorn, Inc. shall be notified for resolution prior to any construction.
- Contractor is responsible for their own verification of existing topographic information, should there be any suspected discrepancies with the topography depicted on the plans and actual physical conditions. Any confirmed discrepancy identified by the Contractor's verification shall be reported to the Engineer for resolution prior to any site disturbance. Once any site disturbance occurs, the Contractor shall have no claim for extra work based upon suspected or confirmed topographic discrepancies.
- The Contractor is solely responsible for construction site safety and for determining the means and methods for all construction activities. All safety precautions must be undertaken and maintained as required by

local, State and Federal codes.

- Contractor to comply with the traffic control plan, if provided. If a traffic control plan is not provided, the Contractor shall determine and comply with any and all traffic control requirements of the local police department and any public agency having jurisdiction relevant to any construction in or near public streets as well as for ingress and egress during construction.
- The Contractor shall provide necessary barricades, sufficient lights, signs, and other traffic control measures as may be necessary within the project for the protection and safety of the public. All such traffic control devices shall be maintained in satisfactory condition throughout the construction period.
- The plan has been designed with the intent to comply with all applicable requirements for barrier free access, including the satisfying all requirements of Subchapter 7 of the New Jersey Uniform Construction Code for Barrier Free Access (NJAC 5:23-7), as well as the Americans with Disabilities Act (ADA). In general, barrier free access for site construction is to be provided (between all parking spaces designated as ADA and the front door of adjacent buildings). However, prior to construction, the Contractor shall verify the routes required to be barrier free with the local building code official. Should any identified routes conflict with the grading shown on the plans, the Contractor shall notify Omland & Osterkorn, Inc. for resolution prior to any construction.
- The Contractor is responsible for the completed construction along barrier free routes complying with all applicable requirements at NJAC 5:23-7, whether specifically stated on the plans or not. In particular, the following requirements are noted:
  - Slopes within accessible parking spaces and adjacent access aisles shall not exceed two percent (2.0%) in any direction.
  - Slopes for curb ramps shall not exceed 1:12 (8.3%).
  - All doorways shall have an exterior landing at least four feet wide and five feet long, sloped for positive drainage at two percent (2.0%), unless otherwise specified on the plans.
  - Each barrier free route shall provide for a minimum four foot unobstructed (car overhangs at curbs must be considered) width with a longitudinal (direction of route) slope no greater than 1:20 (5%). Cross slopes shall not exceed two percent (2.0%). In turning areas, cross slopes must be less than 2.0 % in all directions. Where shown on the plans and/or where the grading along the path of travel exceeds 5%, a ramp with a maximum slope of 1:12 (8.3%) shall be constructed, having a maximum rise of 30 inches. Hand rails complying with the Subchapter 7 requirements shall be installed for all such ramps, except curb ramps at pavement edges.
  - Refer to the detail sheets for landings at curb ramps. All other ramps shall be provided with landings at each end and each landing shall be at least five feet long with a width matching the width of the ramp. Landings shall slope no more than two percent (2.0%) in any direction.
- The Contractor is responsible for assuring all construction along barrier free routes complies with all requirements.
- Prior to the actual pouring of concrete along barrier free routes, the Contractor shall check all formwork to verify compliance with the applicable barrier free requirements and request confirmation of same by the inspecting authority.
- Unless indicated otherwise in the plan, all sidewalk shall be a minimum of four feet wide, except adjacent to the end of parking stalls where sidewalk shall be a minimum of six and a half feet in width.
- The details shown on these plans for retaining walls have been prepared for the purpose of Preliminary/Final Municipal agency review and approval. Structural designs for all walls must be procured by the Contractor (or Owner) and prepared by an engineer licensed in New Jersey. The wall design must abide by any specifications relevant to type of wall, color and/or texture. A building permit is required for any wall exceeding four feet in height.
- A building permit is required for all walls four or more feet in height. Contractor (Owner) is responsible for securing said permit(s).
- Bottom of wall elevations (BW) shown on the plans indicate ground elevation at toe of wall upon completion of construction. Footing elevations to be taken from the structural plans procured by the Contractor (Owner).
- It is not the intent of these plans to provide structural design for any pre-cast or cast in place concrete structure. All structural design of pre-cast and/or cast-in-place concrete structures shall be prepared by a Professional Engineer retained by the Contractor.
- Post-construction certification as to the construction of a retaining wall and other structural components to be provided by a professional engineer engaged by the Contractor (Owner).
- Where shop drawings are specified on the plans or required by an inspecting authority, at least three copies of the drawings shall be provided to Omland & Osterkorn, Inc. for approval. Contractor to determine the number of copies required by the inspecting authority. All shop drawings are to be prepared by a New Jersey professional engineer.
- All construction shall conform to the requirements of any applicable Federal, State or Local law, regulation and/or ordinance.
- Unless otherwise noted, all materials and workmanship shall conform to the New Jersey Department of Transportation Standard Specifications for Road and Bridge Construction, latest edition.
- Contractor shall complete all work in a workmanlike manner to the full satisfaction of the Owner.
- Contractor shall be responsible for site clean-up following completion of construction. All disposal of debris shall be in accordance with applicable local, county, state and federal regulations.
- Any damage to existing infrastructure, including but not limited to, pavement, sidewalks, curb, lighting facilities, utilities, or landscaping, due to the actions of the Contractor shall be repaired by the Contractor (at his sole expense) to the satisfaction of the owner of the damaged item.
- All equipment, materials, etc. shall be confined to the project site. No encroachment onto public right-of-ways or adjacent properties is permitted unless specified on the plans or granted to the Contractor in writing.
- Any omissions in the standard details or lack of information must be brought to the attention of Omland & Osterkorn prior to construction.
- Existing pavement shall be saw cut in straight lines to the full depth of the existing asphalt (except at the edge of butt joints).
- The frame and grates of all inlets, manholes and sewer cleanout boxes shall be adjusted as necessary to match proposed grades. All such elevation adjustments shall be performed in accordance with all applicable specifications and regulations.
- All on-site water main shall have a minimum cover of 4 feet.
- Sanitary sewer shall be separated from water mains by a distance of at least 10 feet horizontally or 18-inches vertically, if horizontal separation is not possible.
- All storm and sanitary sewer pipe lengths shown hereon are from center of structure to center of structure, unless otherwise indicated.
- All materials and construction shall conform to the requirements specified in the Residential Site Improvement Standards (NJAC 7:21-5), latest edition.
- All RCP to be reinforced concrete pipe conforming to ASTM D-76, Class III, Wall B, unless otherwise indicated.
- All HDPE to be N-12 double walled, (soil tight, water tight) corrugated pipe as manufactured by Advanced Drainage Systems, or approved equal.
- All PVC sanitary sewer pipe shall be 8-inches. Service connections shall be 6-inches.
- All water main pipe shall be cement lined ductile iron pipe, Class 52, unless otherwise noted on the plan or required by the water purveyor.
- All roof leader drains to be 6-inch Schedule 40 PVC, unless otherwise noted on the plans. All leader drains to be installed with two foot minimum cover.
- All roof drains shall be connected to the northeast underground stormwater system on-site.
- All pipe shall be installed in accordance to applicable manufacturers' specifications.
- Fire lanes shall be provided in accordance with fire official's requirements.
- If stormwater runoff drainage problems occur as a result of the site improvements that are detrimental to the property and/or neighboring properties as a result of this construction, it shall be the responsibility of the occupant of the property to remedy the drainage issue.
- All excavated material shall be removed from the site unless approved for backfill by the Borough. Any soil disturbance shall be done as set forth by Borough Ordinance.
- The applicant/contractor is responsible to repair any damage to improvements within the Right-Of-Way, including but not limited to, sidewalk, driveway apron, curb, and asphalt pavement as required by Ordinance.
- The applicant/contractor shall call to coordinate inspections within the Borough at least 24-hours prior to start of construction as related to grading and drainage improvements on site.
- No patios, BBQ areas or balconies shall be located on the property.
- Garbage and recycling area to be residential cans with private collection pickup.
- No generators or deck boxes permitted.
- LED adjustable lights and site lighting shall be reviewed in 6 months after installation.



### ZONING MAP SCALE: 1"= 100'

### 200' PROPERTY OWNERS LIST

OWNER & ADDRESS REPORT  
ALLENDALE 200 FOOT LIST - 1808/22 10/21/21 Page 1 of 2

| BLOCK | LOT   | QUAL | CLA | PROPERTY OWNER   | PROPERTY LOCATION     | Add'l Lots |
|-------|-------|------|-----|--|-----------------------|------------|
| 1807  | 4     |      | 4A  | PLEASANT BROOK INV GP-ALLENDALE LLC<br>300 E LAKE RAMSEY, NJ 07446           | 75-77 W ALLENDALE AVE |            |
| 1807  | 5     |      | 4A  | ROCK EM LLC<br>81 W ALLENDALE AVE ALLENDALE, NJ 07401                        | 81 W ALLENDALE AVE    |            |
| 1807  | 6     |      | 4A  | 83-89 W ALLENDALE LLC<br>83 W ALLENDALE ALLENDALE, NJ 07401                  | 83-89 W ALLENDALE AVE |            |
| 1809  | 1     |      | 4A  | ALLENDALE L L C<br>8 FORESTER AVE PO BOX 400 WARHICK, NY 10990               | 2 MYRTLE AVE          |            |
| 1809  | 2     |      | 4A  | DEEPER LITE A N J CORPORATION<br>80 GREENWOOD AVENUE MIDLAND PARK, NJ 07432  | 96 W ALLENDALE AVE    |            |
| 1809  | 3     |      | 4A  | ABC VAULT PARTNERS LLC<br>753 JONES RIDGEMOOD, NJ 07450                      | 90 W ALLENDALE AVE    | 4          |
| 1809  | 5     |      | 2   | GROSMAN JACK R & GALE M<br>126 HILLSIDE AVE ALLENDALE NJ 07401               | 23 MAPLE ST           |            |
| 1809  | 6     |      | 2   | DAVIS, RICHARD J.<br>14 BRICK CT MAHWAH, NJ 07430                            | 33 MAPLE ST           |            |
| 1809  | 7     |      | 2   | ROACH, SPENCER Q& COURTNEY W<br>45 MAPLE ST ALLENDALE, NJ 07401              | 45 MAPLE ST           |            |
| 1808  | 17    |      | 4A  | 54 W ALLENDALE AVE LLC<br>C/O 54 W ALLENDALE AVE ALLENDALE, NJ 07401         | 54 W ALLENDALE AVE    |            |
| 1808  | 18    |      | 4A  | L A K REALTY LLC<br>64 W ALLENDALE AVE ALLENDALE, NJ 07401                   | 64 W ALLENDALE AVE    |            |
| 1808  | 18.01 |      | 4A  | LK01, LLC<br>538 COWBOY ROAD MAHWAH, NJ 07430                                | 70 W ALLENDALE AVE    |            |
| 1808  | 19    |      | 4A  | 72 W ALLENDALE AVENUE LLC NJ<br>43 DAIRY ST MIDLAND PARK, NJ 07432           | 72 W ALLENDALE AVE    |            |
| 1808  | 3     |      | 2   | BONACORTE, MICHELE<br>30 MAPLE ST ALLENDALE, NJ 07401                        | 30 MAPLE ST           |            |
| 1808  | 6     |      | 2   | PARSHIN, DMITRY & PARSHINA, NADEZDA S<br>45 ELM STREET ALLENDALE, NJ 07401   | 45 ELM ST             |            |
| 1808  | 7     |      | 2   | ROCCO, MATTHEW A<br>37 ELM ST ALLENDALE, NJ 07401                            | 37 ELM ST             |            |
| 1808  | 5     |      | 2   | MONASTER, MICHAEL R & MOHINA J<br>44 MAPLE ST ALLENDALE, NJ 07401            | 46 MAPLE ST           |            |
| 1808  | 8     |      | 2   | ORTIZ, ROBYN<br>35 ELM ST ALLENDALE, NJ 07401                                | 35 ELM ST             |            |
| 1808  | 9     |      | 2   | PFLEGER, CHRISTOPHER & GARGIULO, ANNA S<br>25 ELM STREET ALLENDALE, NJ 07401 | 25 ELM ST             |            |
| 1808  | 1     |      | 4A  | SAFIC CORPORATION<br>175 COLUMBIA AVENUE HARTSDALE, NY 10530                 | 74-86 W ALLENDALE AV  |            |
| 1807  | 3     |      | 4A  | W C K INC<br>67 W ALLENDALE AVE ALLENDALE W J 07401                          | 67 W ALLENDALE AVE    |            |
| 1808  | 4     |      | 2   | CARLDO, ANTHONY J & GARCIA CAROL<br>54 MAPLE ST ALLENDALE NJ 07401           | 34 MAPLE ST           |            |

### ZONING TABLE

BLOCK 1808, LOT 2  
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY  
TOTAL LOT AREA = 11,301 S.F. (0.2594 ACRES)  
ZONE: RESIDENCE C-1  
PERMITTED USE: TWO-FAMILY DWELLING, PROVIDED NO RESIDENTIAL BELOW 2ND FLOOR  
EXISTING USE: BANK DRIVE-THRU  
PROPOSED USE: FOUR (4) APARTMENTS (USE VARIANCE)

| ITEM                              | PERMITTED  | EXISTING  | PROPOSED          |
|-----------------------------------|--|-----------|-------------------|
| Lot Area                          | N/A*   | 11,301 SF | 11,301 SF         |
| Building Coverage                 | N/A*   | 1,022 SF  | 2,827 SF          |
| Other Impervious Coverage         | N/A*   | 5,280 SF  | 4,487 SF          |
| Total Coverage                    | N/A*   | 6,302 SF  | 7,314 SF          |
| Gross Building Area               | N/A*   | 285 SF    | 5,654 SF          |
| Floor Area Ratio                  | N/A*   | 0.025     | 0.50              |
| Minimum Side Yard Setback (right) | 10 Ft. when adjoining a residential zone 0 Ft. otherwise   | 50.7 Ft.  | 51.2 Ft.          |
| Minimum Side Yard Setback (left)  | 10 Ft. when adjoining a residential zone 0 Ft. otherwise   | 34.4 Ft.  | 10 Ft. (VARIANCE) |
| Minimum Rear Yard Setback         | 24 Ft. when abuts a residential zone   | > 24 Ft.  | 42 Ft.            |
| Minimum Front Yard Setback        | 42 Ft. from Street Centerline  | 43.8 Ft.  | 9.1 Ft.           |
| Minimum Lot Width                 | N/A*   | 99.69 Ft. | 99.69 Ft.         |
| Maximum Building Height           | Lesser of 2 Stories or 28 Ft.  | 1 Story   | 27.6 Ft.          |
| Parking                           | Residential Site Improvements Standards<br>2-BR Apt Unit = 2 spaces/unit<br>Four 2-BR Units = 2 x 4 = 8 Spaces | N/A       | 8 Spaces Proposed |

\*requirement not given for this zone in ordinance

### COVERAGE TABLE - ZONE C-1 BLOCK 1808, LOT 2

| Existing Coverages        |           |            | Proposed Coverages              |           |            |
|---------------------------|-----------|------------|---------------------------------|-----------|------------|
| Description               | Area (SF) | Percentage | Description                     | Area (SF) | Percentage |
| Building / Awning         | 1,022     |            | Apartment Building              | 2,827     |            |
| Driveway / Concrete       | 5,280     |            | Walkway                         | 580       |            |
|                           |           |            | Driveway & Parking Lot          | 3,745     |            |
|                           |           |            | Garbage area                    | 162       |            |
| Total Impervious Coverage |           |            | Total Impervious Coverage       | 7,314     | 64.7%      |
|                           |           |            | Increase in Impervious Coverage | 1,012     |            |

### UTILITY COMPANY LIST

200' BAND PERIMETER PROPERTIES  
BOROUGH OF ALLENDALE, NEW JERSEY 07401  
BEFORE YOU DIG  
YOU MUST CONTACT "UNDERGROUND ALERT"  
AT 1-800-272-1000 AND PROVIDE THEM WITH  
THE LOCATION OF THE SUBJECT PROPERTY  
IN ORDER TO DETERMINE IF ANY OF THE  
FOLLOWING UTILITIES MUST BE NOTIFIED:

PERIMTER PROPERTIES:

BLOCK/LOT UTILITIES WITHIN THE BOROUGH OF ALLENDALE

Rockland Electric Company - 1 Blue Hill Plaza, Pearl River, NY 10965

New Jersey Department of Transportation, Box 600, Trenton, NJ 08625

PSE&G Company, 20 Van Voorzen Drive, Oakland, NJ 07436

Cablevision of New Jersey, 40 Potash Road, Oakland, NJ 07436

Verizon New Jersey, 114 Paterson Street, Paterson, NJ 07501

Bergen County Planning Board, 1 Bergen County Plaza, Hackensack, NJ 07601

SEE SHEET 2 OF  
THIS SET FOR  
GENERAL NOTES  
AND REFERENCES.  
THESE PLANS ARE  
NOT TO BE USED  
FOR BID OR  
CONSTRUCTION

| NO. | DATE  | REVISION |
|-----|---|----------|
| 6   |   |          |
| 5   |   |          |
| 4   |   |          |
| 3   | REV/PEER REVIEW 1/15/21 AND 3/14/22 BOARD MTG | 04/09/22 |
| 2   | REV SITE PLAN FOR LESS UNITS                  | 02/22/22 |
| 1   | ADD DISTANCES TO NEIGHBORING STRUCTURES       | 12/09/21 |

|   |
|---|
| PROJ.: 210812<br>DATE: 10/15/21<br>DRAWN BY: J. L. L. L.<br>CHECKED BY: J. L. L. L.<br>ALL INFORMATION CONTAINED HEREIN IS UNAUTHORIZED FOR REPRODUCTION OR TRANSMISSION IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. NO PART OF THIS PUBLICATION MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF OMLAND & OSTERKORN, INC. ALL RIGHTS RESERVED. |
|---|



Omland & Osterkorn, Inc.  
Professional Engineer & Professional Land Surveyor  
Phone: 973-647-7920  
NJ Certificate of Authorization  
No. 24GAS2893300  
Email: osterkorn@omlgo-cme.com  
Website: NJ07401  
www.oomlgo.com

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR  
22 MAPLE STREET  
ZONING MAP / GENERAL NOTES  
TAX MAP BLOCK 1808, LOT 2  
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

SHEET No.  
2  
OF  
7











## GENERAL LANDSCAPE NOTES

### PLANTING:

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING AND LIGHTING PURPOSES ONLY. EXAMINE ALL ENGINEERING'S DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. AND NOTIFY THE LANDSCAPE ARCHITECT IN REFERENCE TO ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR SHALL ENSURE THAT WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
- IN THE EVENT OF VARIATION BETWEEN WRITTEN QUANTITIES AND QUANTITIES SHOWN ON THE PLAN, THE PLANS SHALL TAKE PRECEDENCE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD AND SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
- PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD.
- ALL PLANT MATERIAL SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). TREES SHALL BE NURSERY-GROWN, FREE OF DISEASE, SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS.
- ALL PLANTS (BAG OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR ENGINEER.
- ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- PLANT SUBSTITUTIONS SHALL BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT RELATIVE TO SIZE, SPECIES AND VARIETY. PLANT MATERIAL SHALL BE TO TRUE SPECIES, VARIETY, AND SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. WRITTEN PROOF OF UNAVAILABLE PLANT MATERIAL MUST BE DOCUMENTED.
- ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH A 3 INCH LAYER OF SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
- TRANSPLANTING:
  - PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
  - ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
  - IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
  - UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
  - TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
  - IF TRANSPLANTS DIE, SHRUBS LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND.
- BULBS SHALL BE PLANTED IN ACCORDANCE WITH SECTION 11 OF THE ANLA STANDARDS.
- THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE AS INDICATED ON DOCUMENTS.
- ALL TREE STAKES AND WIRES WILL BE REMOVED BY THE APPLICANT AFTER ONE (1) YEAR FROM THE DATE OF INSTALLATION.
- VEGETATION PROPOSED AMONG EXISTING VEGETATION IS TO BE PLANTED TO AVOID DAMAGE TO THE EXISTING VEGETATION.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7' ABOVE GRADE.
- MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, ENGINEER, OR OWNER.
- ALL PLANTING BEDS SHALL RECEIVE 3 INCHES OF SHREDDED HARDWOOD MULCH WITH WEED INHIBITING FABRIC BENEATH.
- PLANT MATERIALS SHALL NOT BE INSTALLED UNTIL FINISHED GRADING HAS BEEN COMPLETED.
- UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE MEETING OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR ENGINEER OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- ALL TREES SHALL BE GUARANTEED FOR 24 MONTHS FROM TO DATE OF ACCEPTANCE. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR 24 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.
- PLANTING DATES:

|        |                           |                 |
|--------|---------------------------|-----------------|
| FALL   | AUGUST 15 - DECEMBER 15:  | EVERGREEN TREES |
| FALL   | OCTOBER 15 - DECEMBER 15: | DECIDUOUS TREES |
| SPRING | MARCH 1 - MAY 15:         | ALL PLANTS      |

### LAWN:

- ALL DISTURBED AREA OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED OR SODDED.
- ALL SOD SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILAR TO AREAS TO BE COVERED. AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, BUTTED WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
- ALL PLANTING BEDS ADJACENT TO LAWN AREAS (SOD OR SEEDED) SHALL BE SPADE EDGE.

### SOILS:

- CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL TEST OF EXISTING ON SITE SOILS TO BE USED AS PART OF PLANTING BACKFILL MIXTURE.
- PLANT BACKFILL MIXTURE: BACKFILL PLANT PITS WITH A MIXTURE OF TOPSOIL AND SOIL AMENDMENTS. AMENDMENTS SHALL BE ADDED AS RECOMMENDED BY CERTIFIED SOIL TEST.
- CONTRACTOR SHALL PROVIDE PLANTING BACKFILL MIXTURE TO PROPOSED DEPTHS AS FOLLOWS: TREES (24 INCH MINIMUM BACKFILL MIXTURE), SHRUBS (18 INCH MINIMUM PLANTING BACKFILL MIXTURE), PERENNIALS AND GROUND COVER (12 INCH MINIMUM OF PLANTING BACKFILL MIXTURE).
- IF WET SOIL CONDITIONS EXIST THEN PLANT PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND THE ADDITIONAL AREA FILLED WITH SAND.
- IMPORTED OR ON-SITE TOPSOIL MAY BE USED TO REFILL THE EXCAVATED AREA. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. CONTRACTOR TO MODIFY THE SOIL AS NEEDED TO MEET REQUIRED PH AND NUTRIENT LEVELS.
- LAWN/LANDSCAPE RESTORATION AREAS: CONTRACTOR TO COMPLETELY REMOVE ALL UNDERLYING CONSTRUCTION MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24", INCLUDING A MINIMUM OF 6" THICK TOPSOIL.
- ALL AREAS, WHICH ARE TO BE SEEDED, SHALL RECEIVE 5" OF TOPSOIL PRIOR TO SEEDING. PRIOR TO TOPSOIL PLACEMENT THE EXISTING SOIL SHALL BE RAKED CLEAN OF WEEDS, VEGETATION AND EXTRANEOUS MATERIALS SUCH AS WOOD, STONES, ROCKS, CONSTRUCTION DEBRIS, ETC. LARGER THAN TWO (2) INCHES IN ANY DIMENSION. TOPSOIL SHALL BE SANDY LOAM FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL. CONTAIN 5% ORGANIC MATTER, 6.0 TO 6.5 PH. TOPSOIL SHALL NOT BE WORKED IN MUDDY OR WET CONDITIONS.
- TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES AND STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND SOD PRIOR TO SUBMITTING A BID.
- THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS.
- ALL PLANTING AREAS WITHIN EXISTING ASPHALT PAVEMENT AREAS SHALL BE DECOMPACTED A MINIMUM DEPTH OF 24 INCHES. CONTRACTOR TO REMOVE ASPHALT BASE MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24". TAKE CARE TO NOT RIP SOIL WITHIN THE DRIP LINE OF EXISTING TREES.

### COORDINATION:

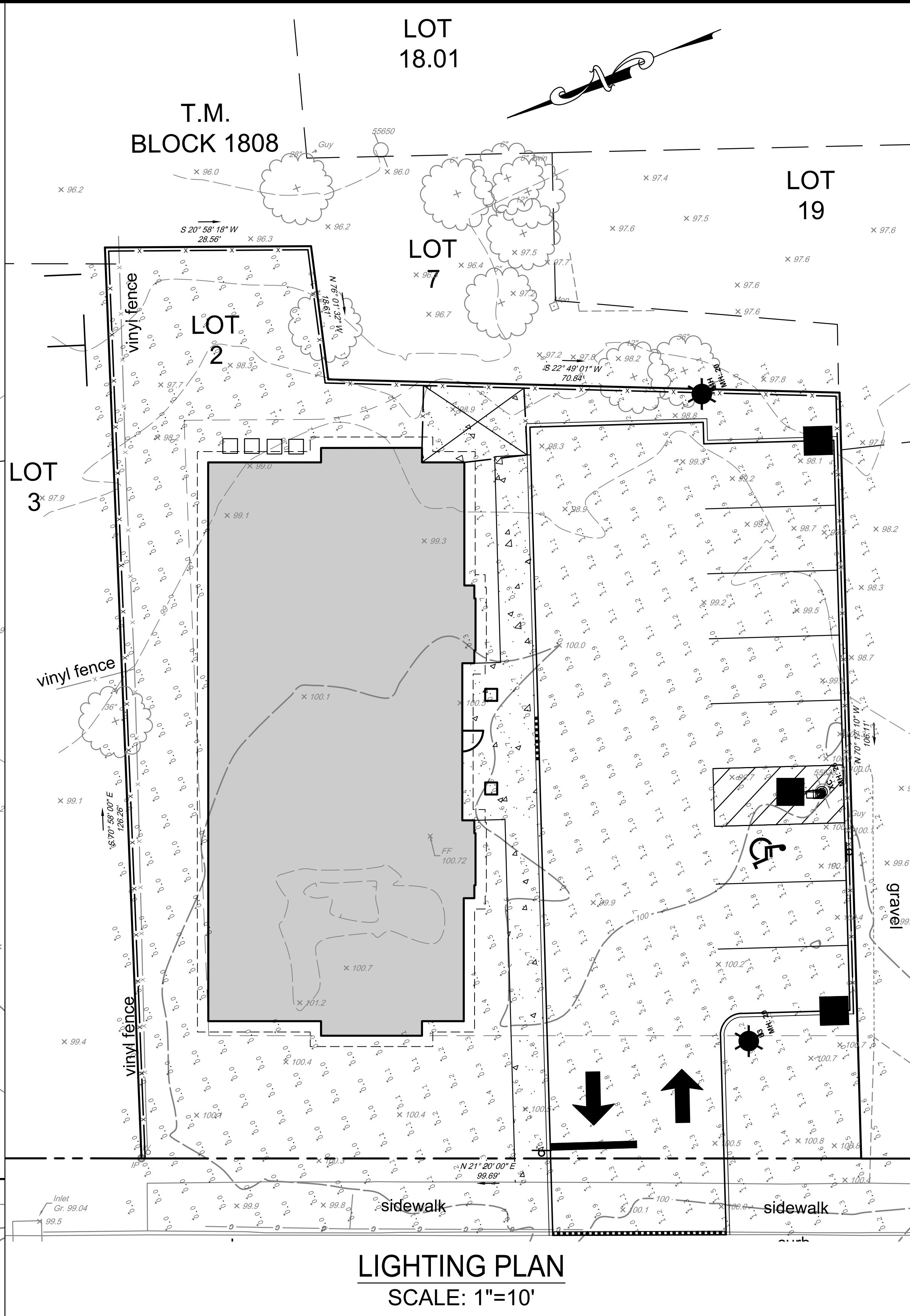
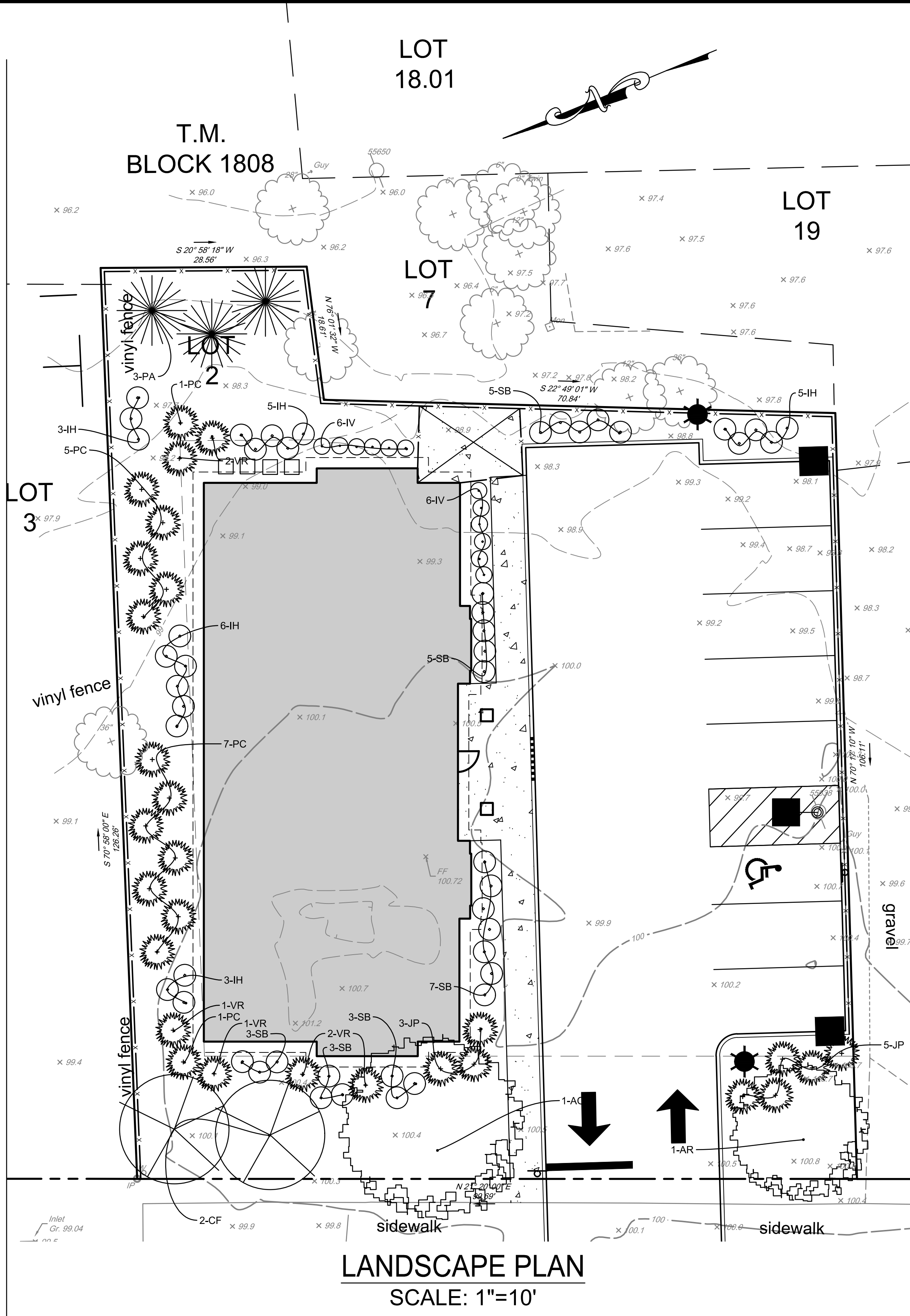
- THE CONTRACTOR SHALL COORDINATE WITH LIGHTING CONTRACTOR (WHEN / WHERE APPLICABLE) REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE THREE (3) DAYS PRIOR TO ANY EXCAVATION. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT UTILITIES ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO THE UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. ANY DAMAGE OF UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.

### INSTALLATION:

- ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
- DURING PLANTING OPERATIONS EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
- EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.

### MAINTENANCE:

- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDES: WATERING, FERTILIZING, WEEDING, MULCHING, REPLACEMENT OF DISEASED OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF PLANTS.



| PLANT SCHEDULE         |           |                                      |                                  |         |        |         |
|------------------------|-----------|--------------------------------------|----------------------------------|---------|--------|---------|
| Key                    | Qty       | Scientific Name                      | Common Name                      | Caliper | Height | Root    |
| <b>Evergreen Trees</b> |           |                                      |                                  |         |        |         |
| PA                     | 3         | Picea abies                          | Norway Spruce                    | -       | 7'     | B&B     |
| PC                     | 14        | Picea abies 'Cupressina'             | Columnar Norway Spruce           | -       | 7'     | B&B     |
| <b>TOTAL</b>           | <b>17</b> |                                      |                                  |         |        |         |
| <b>Deciduous Trees</b> |           |                                      |                                  |         |        |         |
| AO                     | 1         | Acer rubrum 'October Glory'          | October Glory Maple              | 3"      | 12-14' | B&B     |
| AR                     | 1         | Acer rubrum 'Armstrong'              | Armstrong Red Maple              | 3"      | 12-14' | B&B     |
| CF                     | 2         | Cornus florida 'Cherokee Chief'      | Cherokee Chief Flowering Dogwood | 2"      | -      | B&B     |
| <b>TOTAL</b>           | <b>4</b>  |                                      |                                  |         |        |         |
| <b>Shrubs</b>          |           |                                      |                                  |         |        |         |
| IH                     | 22        | Itea virginica 'Henry's Garnet'      | Henry's Garnet Sweetspire        | -       | 24-30" | #3 Cont |
| IV                     | 12        | Itea virginica 'Merlot'              | Merlot Sweetspire                | -       | 24-30" | #3 Cont |
| JP                     | 8         | Juniperus x pfitzeriana 'Sea Green'  | Sea Green Juniper                | -       | 36-42" | #5 Cont |
| SB                     | 26        | Spiraea x bumalda 'Gold Flame'       | Gold Flame Spirea                | -       | 24-30" | #3 Cont |
| VR                     | 6         | Viburnum rhtidophyllum 'Green Trump' | Green Trump Leatherleaf Viburnum | -       | 36-42" | #5 Cont |
| <b>TOTAL</b>           | <b>74</b> |                                      |                                  |         |        |         |

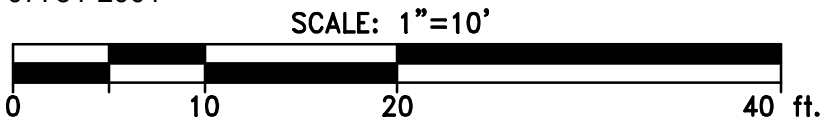
| Luminaire Schedule |     |       |             |                   |       |                     |
|--------------------|-----|-------|-------------|-------------------|-------|---------------------|
| Symbol             | Qty | Label | Arrangement | Total Lamp Lumens | LLF   | Description         |
| 1                  | 1   | L4H   | SINGLE      | N.A.              | 0.950 | CXF48-G3-4750-3-H   |
| 1                  | 1   | L3    | SINGLE      | N.A.              | 0.950 | CXF48-G3-3750-3     |
| 1                  | 1   | LC    | SINGLE      | N.A.              | 0.950 | RF-S-SWITLED3K-G2-4 |

### LIGHTING NOTES:

- ELECTRICAL CONTRACTOR TO COORDINATE CONNECTION TO EXISTING CONDUIT AND ANY UTILITY CROSSINGS.
- ELECTRICAL CONTRACTOR TO COORDINATE LIGHTING CONTROLS WITH OWNER.

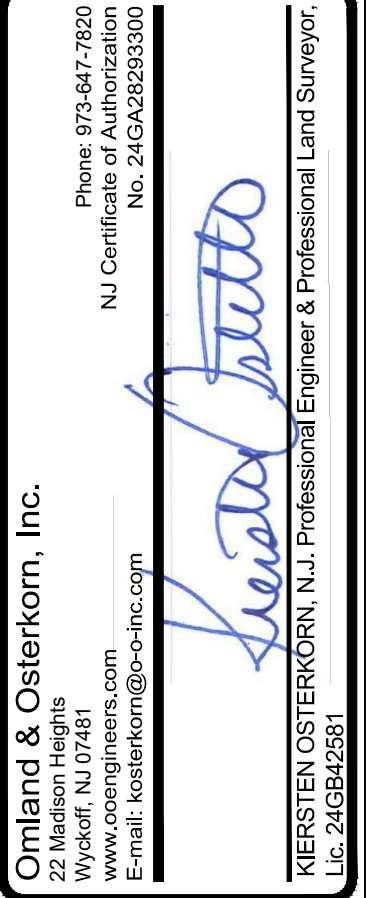
### LIGHTING CONTACT:

MICHAEL MCEVOY  
ILA LIGHTING LIGHTING & CONTROLS  
253 STATE ROUTE 79 NORTH, MORGANVILLE, NJ 07751-2001  
PHONE: 201.819.6682  
MMCEVOY@ILALIGHTING.COM



| NO. | REVISION                                  | DATE     |
|-----|---|----------|
| 6   |   |          |
| 5   |   |          |
| 4   |   |          |
| 3   |   |          |
| 2   | REV PER REVIEW LTGS AND 3/14/22 BOARD MTG | 04/08/22 |
| 1   | REV SITE PLAN FOR LESS UNITS              | 02/22/22 |

|  |                |
|--|----------------|
| PROJ: 210612   | DATE: 10/15/21 |
| THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR THE USE OF THE CONTRACTOR FOR THE PROJECT AND SITE SPECIFIC TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROPER USE OF THE DRAWING. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK. |                |



PRELIMINARY AND FINAL MAJOR SITE PLANS FOR  
22 MAPLE STREET  
LANDSCAPE AND LIGHTING PLAN  
TAX MAP BLOCK 1808, LOT 2  
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY



**GRANITE BLOCK CURB DETAIL**  
**ABUTTING SIDEWALK**  
SIMILAR TO STD. GRANITE BLOCK CURB EXCEPT AS SHOWN  
N.T.S.

A cross-sectional diagram of a hot mix asphalt pavement structure. The diagram shows a vertical cross-section with a horizontal line at the top labeled "WIDTH VARIES". Below this, the pavement structure is shown in layers. From top to bottom, the layers are: a thin layer of HMA 9.5M64 (MIX I-5), 2" THICK; a thin layer of TACK COAT; a layer of HMA 19M64 (MIX I-2), 4" THICK; a layer of DENSE GRADED AGGREGATE BASE COURSE, 6" THICK; and a layer of COMPACTED SUBGRADE. Arrows point from the text labels to the corresponding layers in the diagram.

WIDTH VARIES

HMA 9.5M64 (MIX I-5), 2" THICK

TACK COAT

HMA 19M64 (MIX I-2), 4" THICK

DENSE GRADED AGGREGATE BASE COURSE, 6" THICK

COMPACTED SUBGRADE

**TYPICAL SECTION HOT MIX ASPHALT**

N.T.S.

AS INDICATED ON PLAN

CROSS SLOPE: 1/4" PER FOOT MAX.

4" THICK MINIMUM, CLASS 'B' CONCRETE, AIR ENTRAINED

4" DENSE GRADED AGGREGATE BASE COURSE OR 3/4" CLEAN STONE

UNDISTURBED OR COMPACTED SUBGRADE

**CONCRETE SIDEWALK**

N.T.S.

20' MAX. (TYP.)

EXPANSION JOINT (TYP.)

W

SURFACE GROOVE

4" THICK, SIDEWALK OF CLASS 'B' CONCRETE, AIR ENTRAINED

**JOINT PLACEMENT DETAIL**

N.T.S.

- NOTES:
1. 4" CLEAN STONE SUBBASE SHALL BE COMPACTED TO A FIRM AND EVEN SURFACE TO THE SATISFACTION OF THE ENGINEER.
  2. ALL CONCRETE SHALL BE AIR-ENTRAINED AND CONTAIN AN AIR CONTENT OF 6% ±1%.
  3. CONCRETE SHALL BE STUCK OFF WITH A TRANSVERSE TEMPLATE AND FINISHED WITH FLOATS AND STRAIGHTEDGES UNTIL A SMOOTH SURFACE HAS BEEN OBTAINED.
  4. THE SURFACE SHALL BE FINISHED WITH A WOODEN FLOAT AND BRUSHED PERPENDICULAR TO PATH WITH A WET, SOFT HAIR BRUSH.
  5. ALL EDGES SHALL BE FINISHED AND ROUNDED WITH AN EDGING TOOL, HAVING A RADIUS OF 1/4 INCH.
  6. PREFORMED EXPANSION JOINT FILLER, 1/4" INCH THICK, SHALL BE FORMED AROUND ALL ADJACENT FINANCES, SUCH AS MANHOLES AND UTILITY POLES, EXTENDING INTO OR THROUGH THE CONCRETE.
  7. THE SURFACE OF THE CONCRETE SHALL BE SO FINISHED AS TO DRAIN COMPLETELY AT ALL TIMES.

**CONCRETE SIDEWALK**  
N.T.S.

The image contains three technical drawings of curb details:

- Top Left: Granite Block Curb Detail**
  - Labels:** GRANITE BLOCK - 4" x 5 1/2" x 10" MIN., 1" BATTER, 6" FACE, 3" MAX., 12" MIN., 4" MIN., 4" MIN., 12" MIN., FORM BOTH SIDES, CLASS 'B' CONCRETE, AIR ENTRAINED, COMPACTED SUBGRADE, PAVEMENT SURFACE, 1/2 CEMENT MORTAR JOINTS FINISHED TO A 1/2" CONCAVE ROUND SURFACE, FINISHED PAVEMENT SURFACE.
  - Dimensions:** 18" (total height), 12" MIN. (height to top of block), 4" MIN. (height to top of footing), 12" MIN. (width of footing), 4" MIN. (width of block), 4" MIN. (width of block), 12" MIN. (width of block).
- Top Right: Depressed Curb Detail**
  - Labels:** 1" BATTER, 1/2" MIN., 5 1/2" MIN., FINISHED PAVEMENT SURFACE, DEPRESSIONED CURB, WIDTH VARIES.
  - Dimensions:** 18" (total height), 4" MIN. (height to top of block), 5 1/2" MIN. (width of block), 1" BATTER (width of block).
- Bottom Left: Depressed Curb Detail with Driveway**
  - Labels:** 1 1/2" LIP AT DRIVEWAYS (FOR CURB RAMPS SEE NOTE), 4" MIN., 12" MIN., FORM BOTH SIDES, CLASS 'B' CONCRETE, AIR ENTRAINED, COMPACTED SUBGRADE, PAVEMENT SURFACE, DROPPED CURB TO BE EXPOSED ACROSS ENTIRE OPENING FOR DRIVEWAYS, FOR CURB RAMPS SEE NOTE.
  - Dimensions:** 18" (total height), 13 1/2" MIN. (height to top of block), 4" MIN. (height to top of footing), 12" MIN. (width of footing), 4" MIN. (width of block), 4" MIN. (width of block), 12" MIN. (width of block).
- Bottom Right: Note**
  - Text:** NOTE: AT CURB RAMPS, OMIT GRANITE BLOCK CURB AND POUR CONCRETE RAMP MONOLITHICALLY WITH CURB FOOTING. RAMP TO BE FLUSH WITH FINISHED PAVEMENT.

The diagram illustrates the hairpin striping detail for a curb. It shows two vertical lines representing the curb faces, with a horizontal line indicating the curb face. The distance between the curb faces is 9'-0". The width of the white stripe is 4". The total width of the hairpin striping is 12". The radius of the hairpin is R=6". The total length of the hairpin striping is 18'-0".

Diagram illustrating the planting detail for an evergreen tree, showing cross-section and top-down views.

**Labels and Dimensions:**

- DO NOT CUT LEADER
- REINFORCED RUBBER HOSE
- DOUBLE #10 GAUGE WIRE TWISTED
- 2"x2"x6'-0" WOODEN STAKE (TWO PER TREE)
- 5/16" DIA. GALVANIZED TURNBUCKLE
- EXISTING GRADE
- 3" SHREDDED HARDWOOD MULCH
- CUT & REMOVE BURLAP FROM TOP 1/3 OF BALL (REMOVE ALL SYNTHETIC MATERIALS)
- 12" (MIN.)
- UNDISTURBED SUB-GRADE
- 6" (MIN.)
- PLANT BACKFILL MIXTURE:
  - 1/8 PEATMOSS
  - 1/8 TOPSOIL
  - 2/3 NATIVE SUBSOIL
- WHERE SOIL REPLACEMENT IS REQUIRED, WIDTH OF TREE PIT TO EQUAL 3 TIMES ROOTBALL DIAMETER

**EVERGREEN TREE PLANTING DETAIL**

N.T.S.

| Ordering Guide            |  |                |
|---------------------------|--|----------------|
| Example: HFP310 P4 A N PM |  |                |
| Product Code              | HFP310 Single  |                |
| Post diameter             | P4 4" Post Mount   |                |
| Finish                    | A Black<br>B White<br>G Verde<br>H Bronze<br>I Gray<br>J Green |                |
| Arm Accessory             | N None   |                |
| Post Machining            | PM   | Post Machining |

### Specifications

**HOUSING:**  
6063-T6 Extruded aluminum

**FINISH:** Thermiset polyester powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

**WARRANTY:**  
Three-year limited warranty.

**Height :**

**Length:**

45 34" (116 cm)

8'-0" CTR TO CTR

7'-7" FACE TO FACE

BALL POST CAP

5 1/2"

5" SQ POST

1/8" U-CHANNEL

3" X 6" T & G PICKET

3" X 5 1/2" RAIL

5 1/2"

30"

1'-0"

3/4" CRUSHED STONE (TYP.)

BOTTOM RAIL INCLUDES REINFORCING METAL INSERT

MAINTAIN 2" CLEARANCE

3,000 MIN

CAST IN PLACE CONCRETE, CLASS 'C' (TYP.)

- NOTES:  
1. PRIVACY FENCE AS MANUFACTURED BY MASTER-HALCO FENCE OR APPROVED EQUAL.  
MATERIAL: VINYL, COLOR: TAN  
2. SPECIFICATION SHOWN CAN BE CHANGED BY MASTER-HALCO ONLY.  
3. FOOTING WIDTH TO BE (2)X POST WIDTH, MINIMUM DEPTH 30".

5' VINYL PRIVACY FENCE  
N.T.S.

- CURB RAMP NOTES:**
1. LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
  2. CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 5' AT PARALLEL CURB RAMPS.
  3. IF CURB IS GRANITE BLOCK, OMIT THE BLOCK WITHIN THE FLUSH AREA AND FORM WITH CONCRETE ONLY. RAMP MAY BE POURED MONOLITHICALLY WITH THE CURB
  4. RAMP LENGTH IS AS REQUIRED TO NOT EXCEED MAX SLOPE, AND SHALL BE VERIFIED IN FIELD. RAMPS DRAWN IN PLAN VIEW MAY BE SCHEMATIC TO INDICATE TYPE OF RAMP AND MAY NOT INDICATE ACTUAL LENGTH
  5. RUNNING SLOPE SHALL BE CONSISTENT FOR THE ENTIRE LENGTH OF THE RAMP.

CURB RAMP (PARALLEL)  
SIDEWALK ADJACENT TO CURB  
N.T.S.



The Hadco Pima pendant family offers a simple modern take on the traditional pendant lantern, providing style and elegance to downtown areas, commercial developments, parks and residential communities. These pendants are now available with comfort optics providing a low glare solution for pedestrian applications.

Ordering guide:

| Model | LED's         | Conversion | Mounting                       | Finish  | Distribution   | Color Temp.                                  | Voltage                        | Drive current   |
|-------|---------------|------------|--------------------------------|---|--|--|--------------------------------|---|
| CXFC6 | 140           | G1         |                                |   |  |  |                                |   |
| CXFC6 | 140 140 LED's | G1         | A Arm<br>T Top<br>W Wall mount | A Black<br>B White<br>G Violet Green<br>H Bronze<br>I Silver Gray<br>J Dark Green | 1 Type 1<br>2 Type 2<br>3 Type 3<br>4 Type 4<br>5 Type 5 | F30 3000K<br>(70 CR)<br>F40 4000K<br>(70 CR) | A 120-277V AC<br>B 247-480V AC | 4 450mA<br>6 650mA<br>10 1050mA<br>16 1670mA<br>21 2100mA |

| Driver Options                               | Surge Suppression                               |
|--|---|
| <input type="checkbox"/>                     | <input type="checkbox"/>                        |
| DL <sup>12</sup> DALI (default: logarithmic) | SP1 Parallel 30kV standard<br>SP2 Parallel 20kV |

## Footnotes

1. DL not available with 8 (347-490) voltage.
1. DL not available with 4 (450mA) and 6 (550mA) drive currents.

Diagram illustrating the care of a shrub in a pot, showing the following instructions:

- MAINTAIN SAME GROUND LINE AS IN THE NURSERY
- PRUNE BACK 1/5 OF FOLIAGE, BUT RETAIN NATURAL SHAPE
- IF SHRUB IS IN LEAF APPLY WILT-PROOF, OR EQUAL AS PER MANUFACTURERS RECOMMENDATION.
- REMOVE BURLAP FROM TOP OF BALL BEFORE BACKFILLING
- 3" SHREDDED HARDWOOD MULCH
- 4" WIDE EARTH BERM SAUCER
- DEPTH OF BALL
- 8"
- 6" MIN
- PLANT BACKFILL MIXTURE:
  - 1/5 PEATMOSS
  - 1/5 TOPSOIL
  - 2/3 NATIVE SUBSOIL

## SHRUB PLANTING DETAIL

**POST DETAIL**  
N.T.S.

5' HIGH MIN. TO BOTTOM OF LOWEST SIGN

FINISH GRADE

3,000# CONCRETE MIN. 4" AROUND

RETE.

**HANDICAPPED PARKING SPACE**  
N.T.S.

STOP

R1-1  
30" x 30"

HANDICAPPED SIGN (LOCATION VARIES)

3'-0" (IF NO ABUTTING WALKWAYS)

2'-0"

EDGE OF WALKWAY (NOT TO SCALE)

ABUTTING DESIGN ELEMENT VARIES (SEE SITE PLAN)

BLUE TRAFFIC PAINT (TYP.)

12" O.C.

WHEELSTOP WHERE INDICATED ON PLAN

6"

4" (TYP.)

15'-0"

8'-0"

3'-6"

4'-6"

13'-0"

5'-0"

8'-0"

1'-5" R

2" R

RESERVED PARKING

12"x18"

R7-8

PENALTY

600-00-00000

VIOLATION OF THIS SIGN MAY BE SUBJECT TO A FINE OF \$100.00

TOW-AWAY ZONE

R7-8p

10"x12"

\* 8'-0" FOR VAN ACCESSIBLE SPACES. SEE SITE PLAN FOR LOCATION OF VAN ACCESSIBLE SPACES.

- NOTE:**  
VAN ACCESSIBLE PLAQUE TO ONLY BE PROVIDED AT ACCESSIBLE SPACES THAT MEET THE FOLLOWING REQUIREMENTS:
1. 8' WIDE SPACE ADJACENT TO A 8' WIDE ACCESS AISLE, OR 11' WIDE SPACE ADJACENT TO A 5' WIDE ACCESS AISLE
  2. FOR ANGLED PARKING, THE REQUIRED ACCESS AISLE MUST BE ON THE PASSENGER SIDE

ACCESSIBLE PARKING SIGNS  
MOUNTED TO BUILDING



The Hadco Pima pendant family offers a simple modern take on the traditional pendant lantern, providing style and elegance to downtown areas, commercial developments, parks and residential communities. These pendants use the latest LED technology which maximizes energy savings and provides uniform and comfortable light.

|           |      |
|-----------|------|
| Project:  |      |
| Location: |      |
| Cell No:  |      |
| Type:     |      |
| Lamps:    | Qty: |
| Notes:    |      |

| Ordering guide:               |              |            |           |          |                 |                    |              |               |  |
|-------------------------------|--------------|------------|-----------|----------|-----------------|--------------------|--------------|---------------|--|
| Series                        | LED's        | Generation | Mounting  | Finish   | Optics          | CCT                | Voltage      | Drive current |  |
| <b>CXFS</b>                   |              | <b>G3</b>  |           |          |                 |                    |              |               |  |
| CXFS Pima                     | 32 - 32 LEDs | G3 Gen 3   | T Top arm | A White  | 2 Type 2        | 7200 Warm 3000K    | A 120-277VAC | 3 350mA       |  |
| Receptacle 7 pin              | 48 - 48 LEDs |            |           | B Black  | 2 Type 2 w/HSS  | 7200 Neutral 4000K | B 147-240VAC | 5 330 mA      |  |
| Is available for the arm      | 64 - 64 LEDs |            |           | G Verde  | 3 Type 3        |                    |              | 7 700mA       |  |
| Must be selected with the arm | 80 - 80 LEDs |            |           | H Bronze | 3 Type 3 w/HSS  |                    |              |               |  |
| bracket. It is not part of    |              |            |           | I Blue   | 3W Type 3 w/HSS |                    |              |               |  |
| the luminaire body. See       |              |            |           | J Green  | 4 Type 4        |                    |              |               |  |
| bracket ordering guide for    |              |            |           |          | 5 Type 5        |                    |              |               |  |

| Ordering guide (continued)  |                      |
|---|----------------------|
| Driver Options  | Surge protection     |
| <b>DA</b> 4 Hrs 25% Reduction                                       | <b>SP1</b> 10kV/20kA |
| <b>DB</b> 4 Hrs 50% Reduction                                       | <b>SP2</b> 20kV/20kA |
| <b>DC</b> 4 Hrs 75% Reduction                                       |                      |
| <b>DD</b> 6 Hrs 25% Reduction                                       |                      |
| <b>DE</b> 6 Hrs 50% Reduction                                       |                      |
| <b>DF</b> 6 Hrs 75% Reduction                                       |                      |
| <b>DH</b> 8 Hrs 25% Reduction                                       |                      |
| <b>DJ</b> 8 Hrs 50% Reduction                                       |                      |
| <b>DJ</b> 8 Hrs 75% Reduction                                       |                      |
| <b>DALI</b> Compatible with DALI                                    |                      |
| <b>S</b> FWS Field adjustable wattage driver                        |                      |
| <b>SRD<sup>1</sup></b> Sensor ready driver, standard configuration  |                      |
| <b>SRD<sup>1</sup></b> Sensor ready driver, alternate configuration |                      |
| <b>N</b> No dimming   |                      |

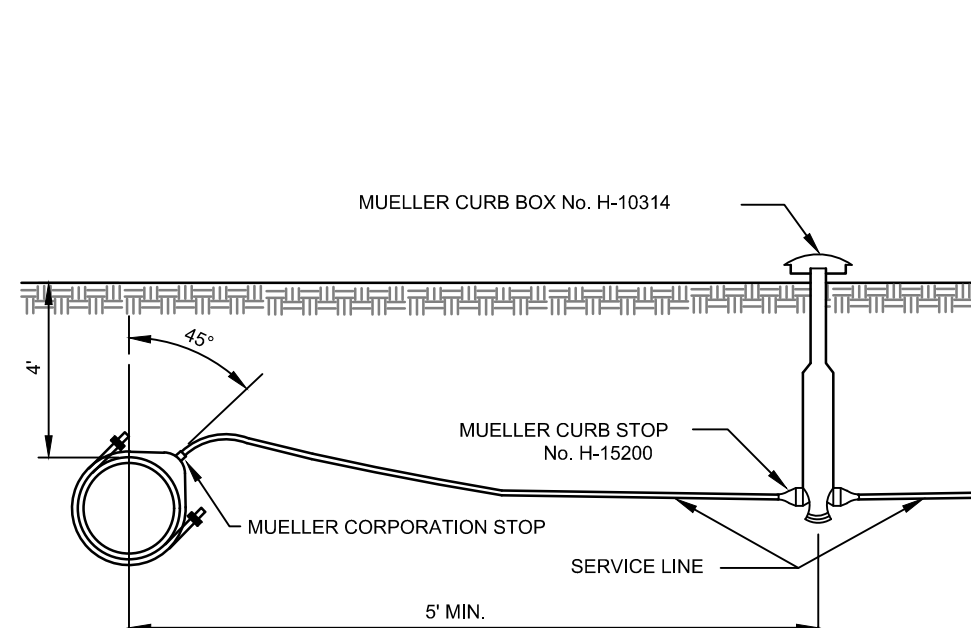
- Footnotes**
1. 32 LED at 350mA and 530mA are not compatible with 347-480V.
  2. Can't use 700mA with 80LED's.
  3. 347-480V not compatible with optional dimming or optional pro.
  4. The RCD7 is located on top of the arm bracket.

SEE SHEET 2 OF  
THIS SET FOR  
GENERAL NOTES  
AND REFERENCES.  
THESE PLANS ARE  
NOT TO BE USED  
FOR BID OR  
CONSTRUCTION

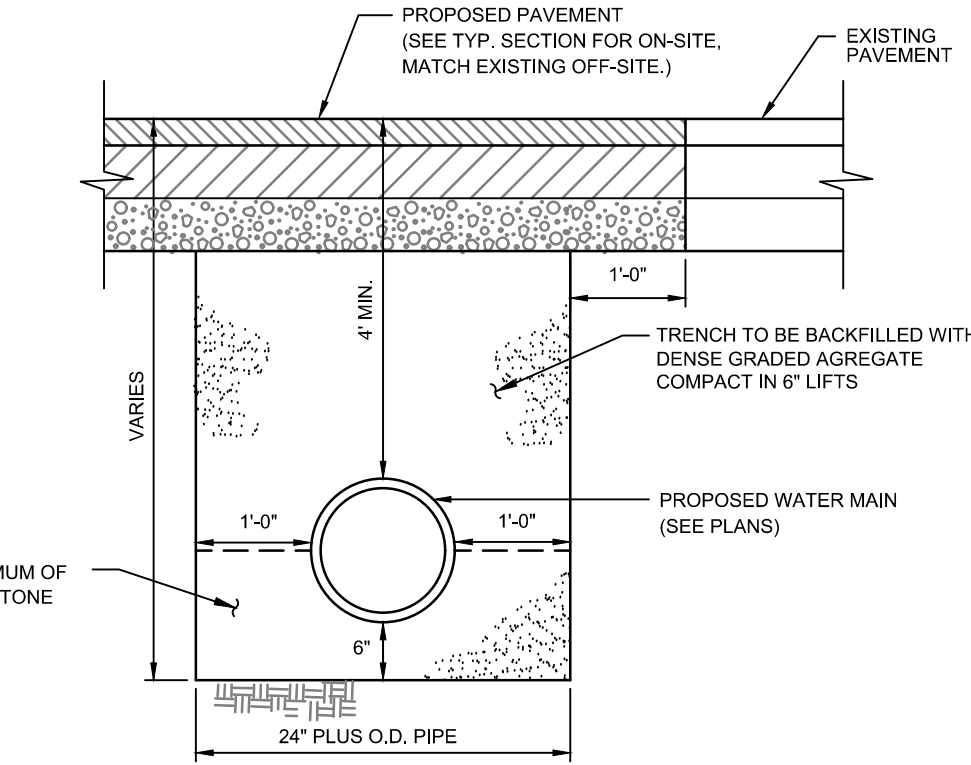
|   |   |          |
|---|---|----------|
| 6 |   |          |
| 5 |   |          |
| 4 |   |          |
| 3 |   |          |
| 2 |   |          |
| 1 | REV PER REVIEW LTRS AND 3/14/22 BOARD MTG | 04/08/22 |
|   | REVISION                                  | CHKD     |

PROJ: 210812  
DATE: 10/15/21  
CHKD: KO

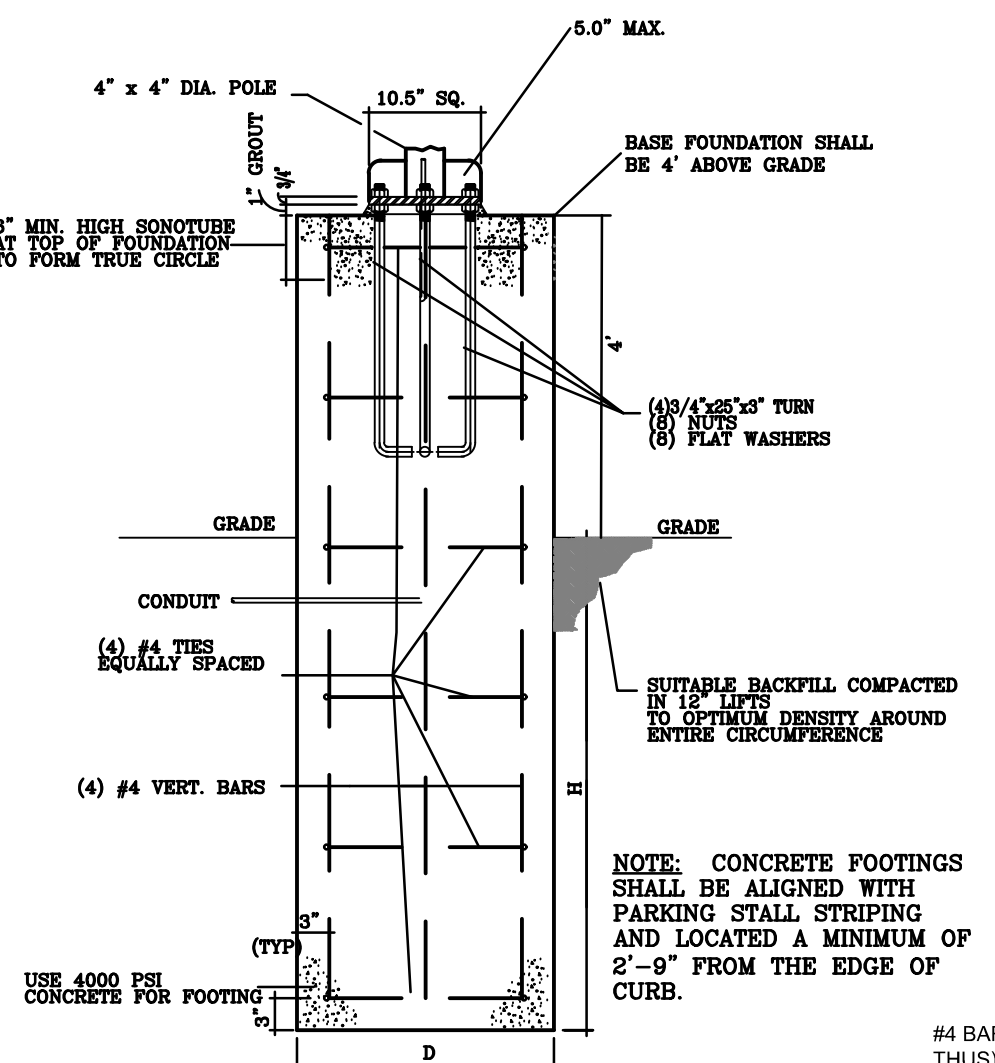




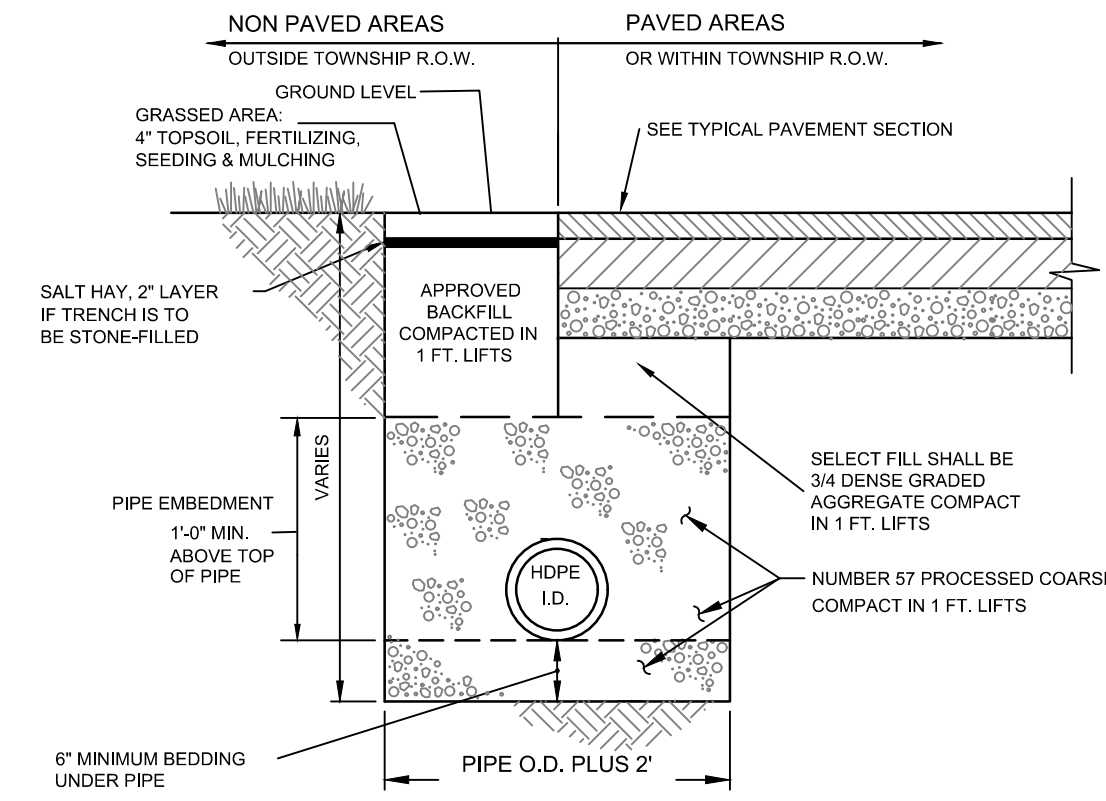
**TYPICAL WATER SERVICE INSTALLATION**  
N.T.S.



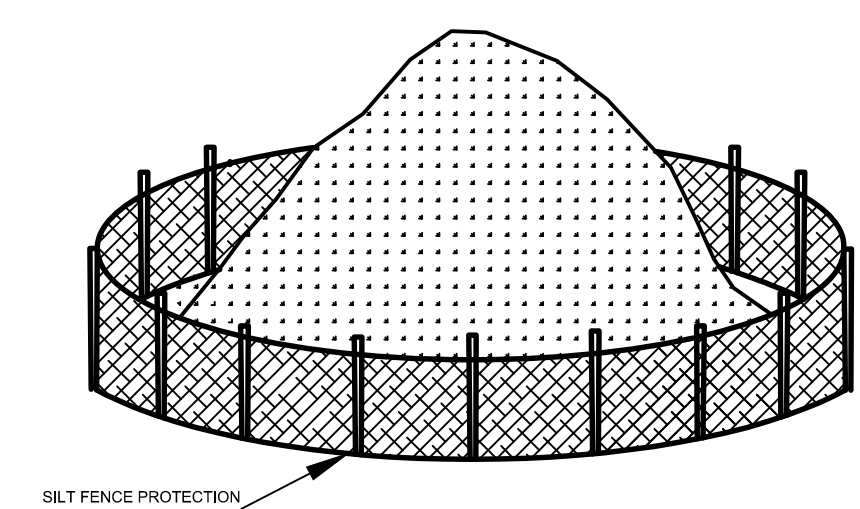
**WATER TRENCH**  
N.T.S.



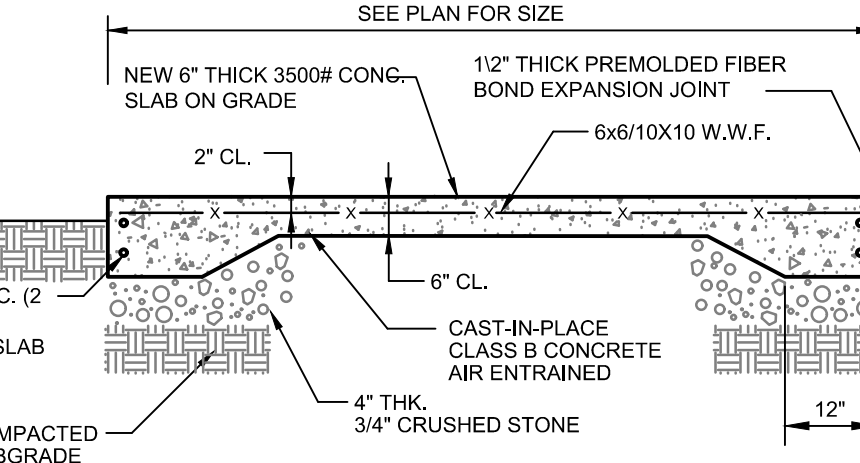
**RAISED CONCRETE FOOTING**



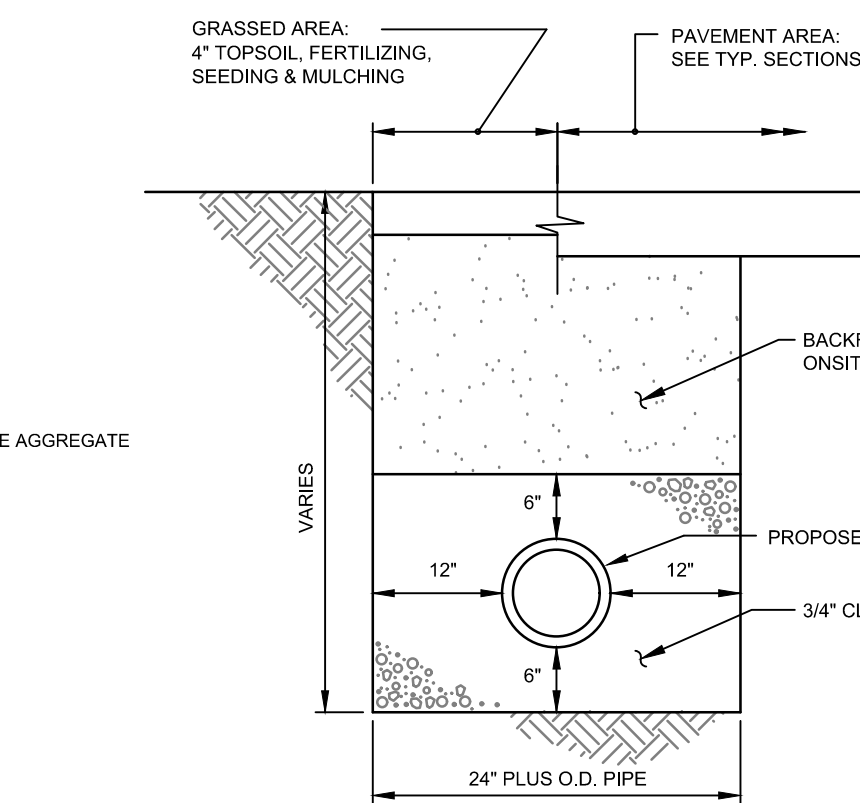
**SMOOTH WALL CORRUGATED HDPE PIPE TRENCH**  
N.T.S.



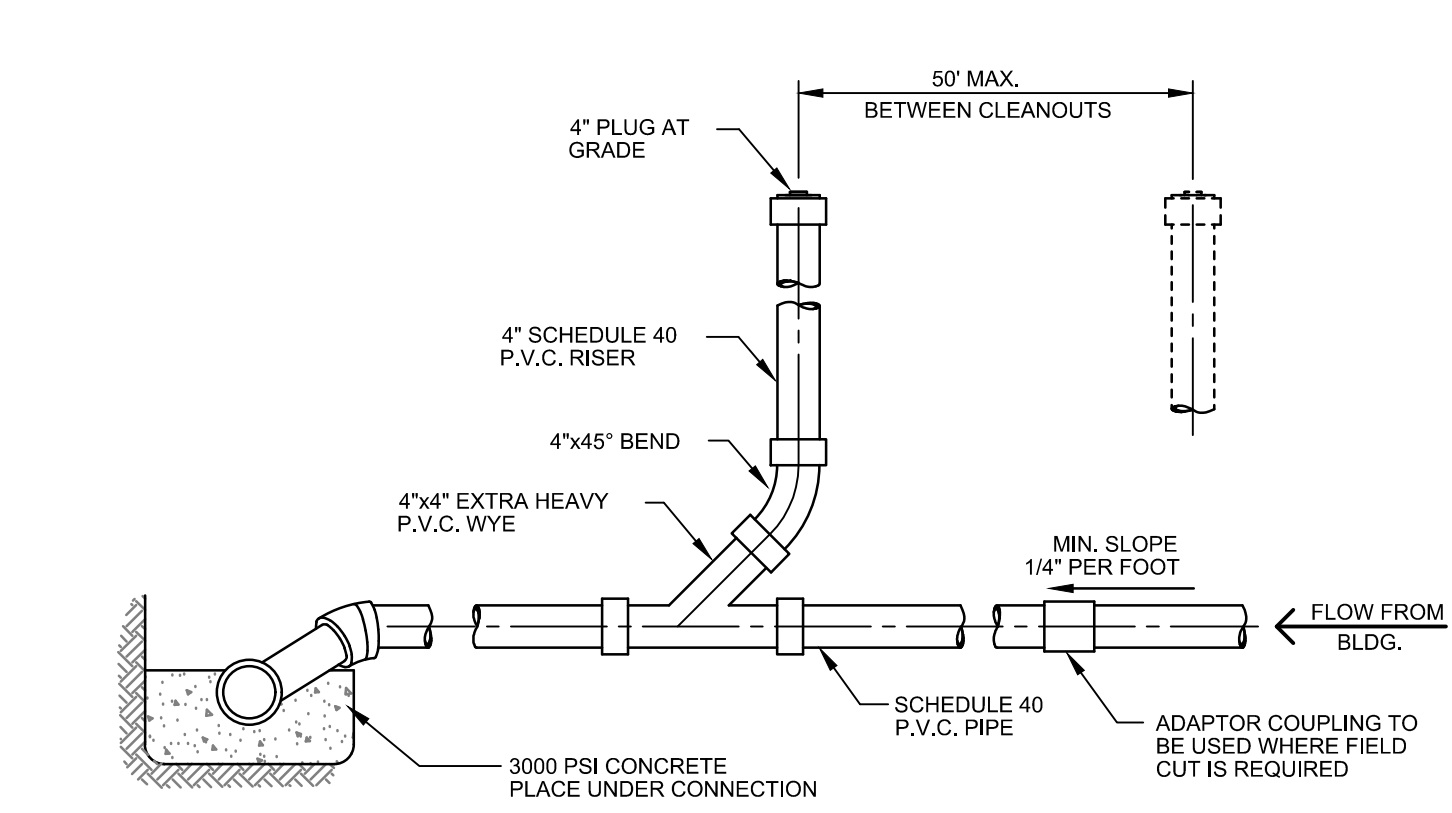
**TOPSOIL STOCK PILE DETAIL**  
REFER TO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY - 9-1



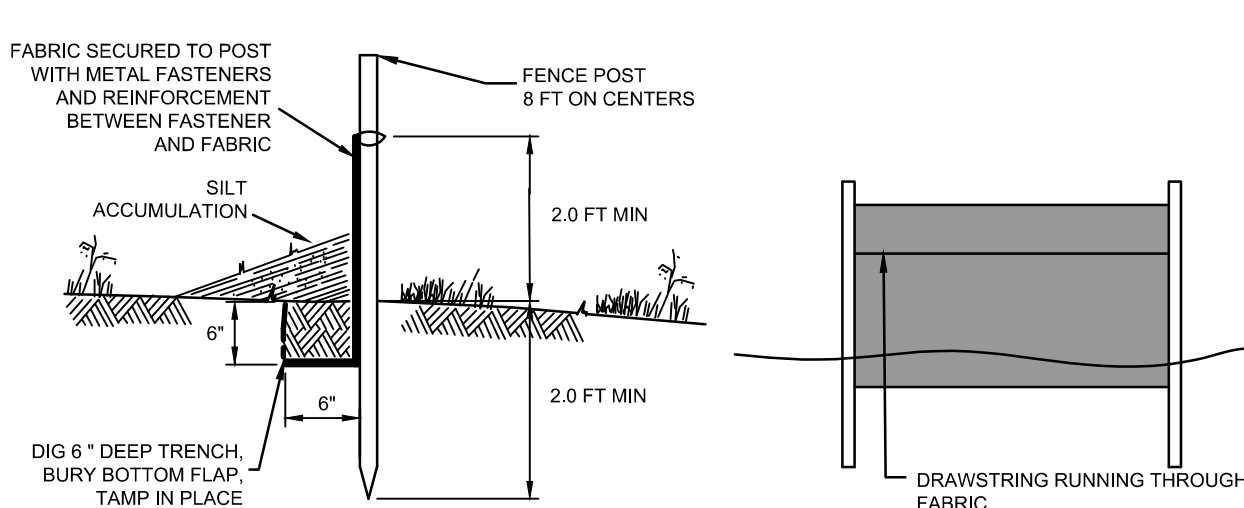
**CONCRETE PAD DETAIL**  
SCALE: N.T.S.



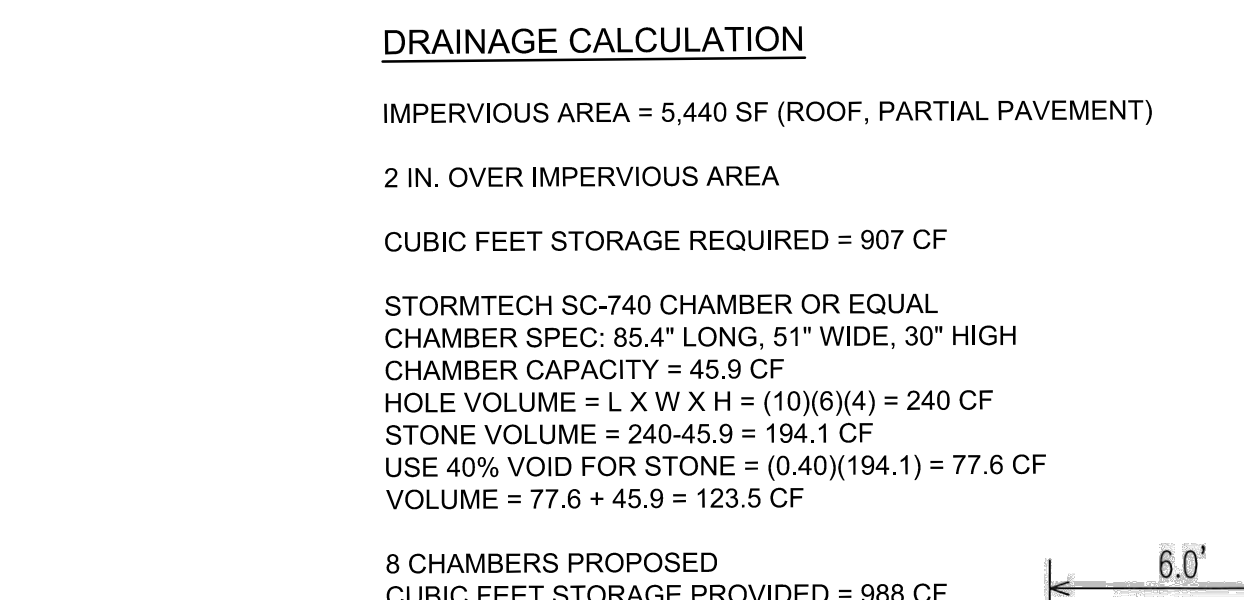
**SANITARY SEWER TRENCH DETAIL**  
N.T.S.



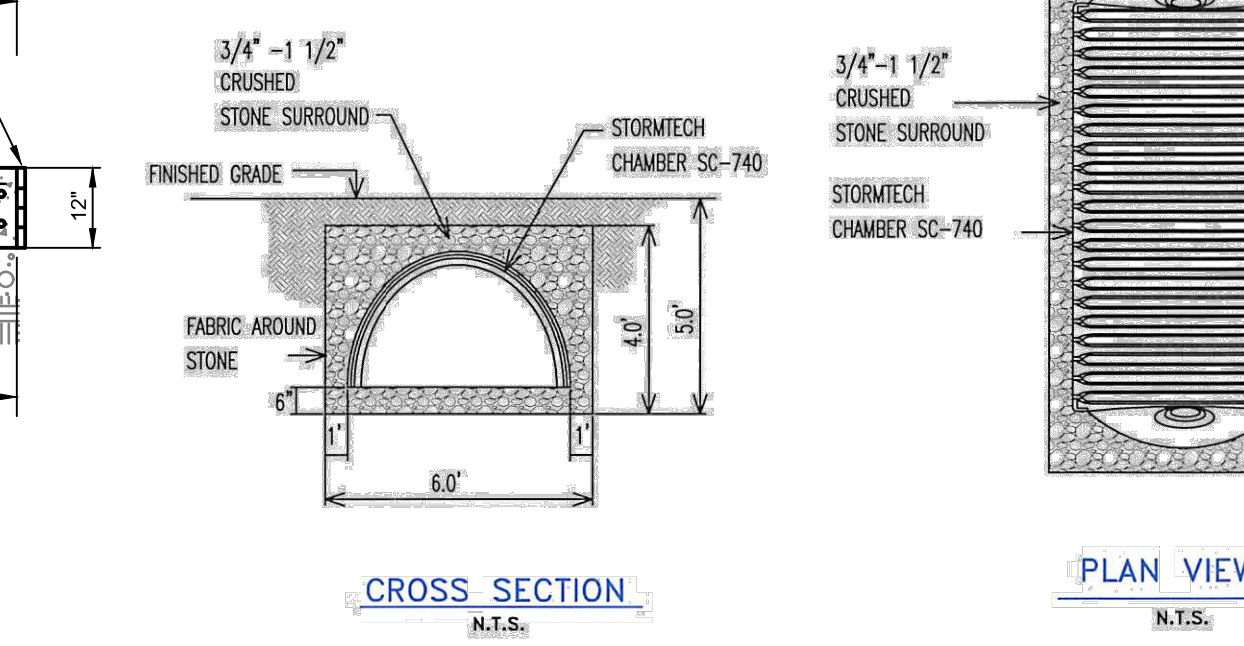
**SANITARY SEWER LATERAL**  
N.T.S.



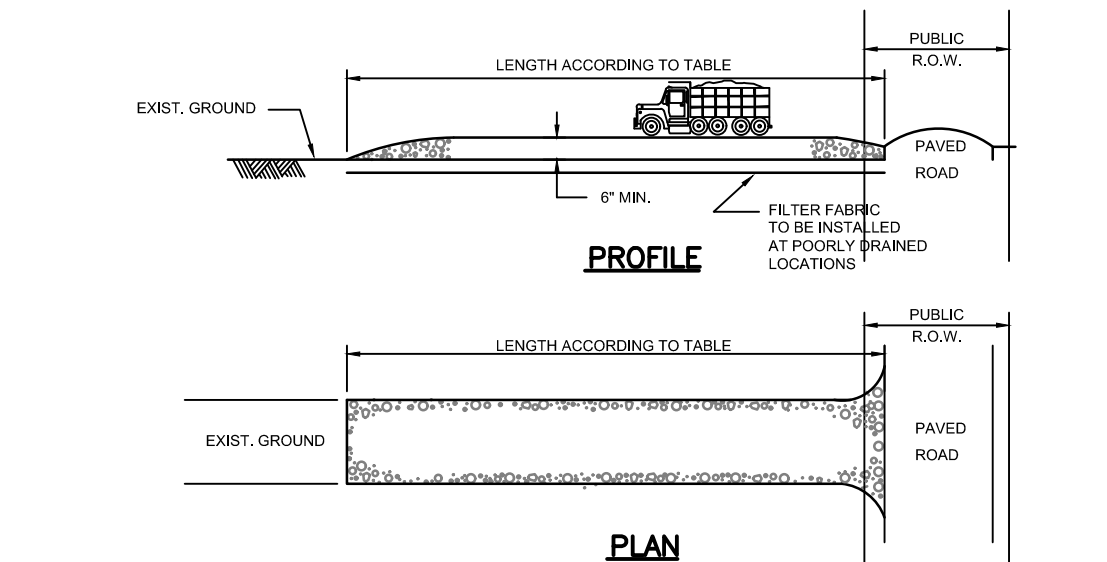
**SILT FENCE DETAIL**  
N.T.S.



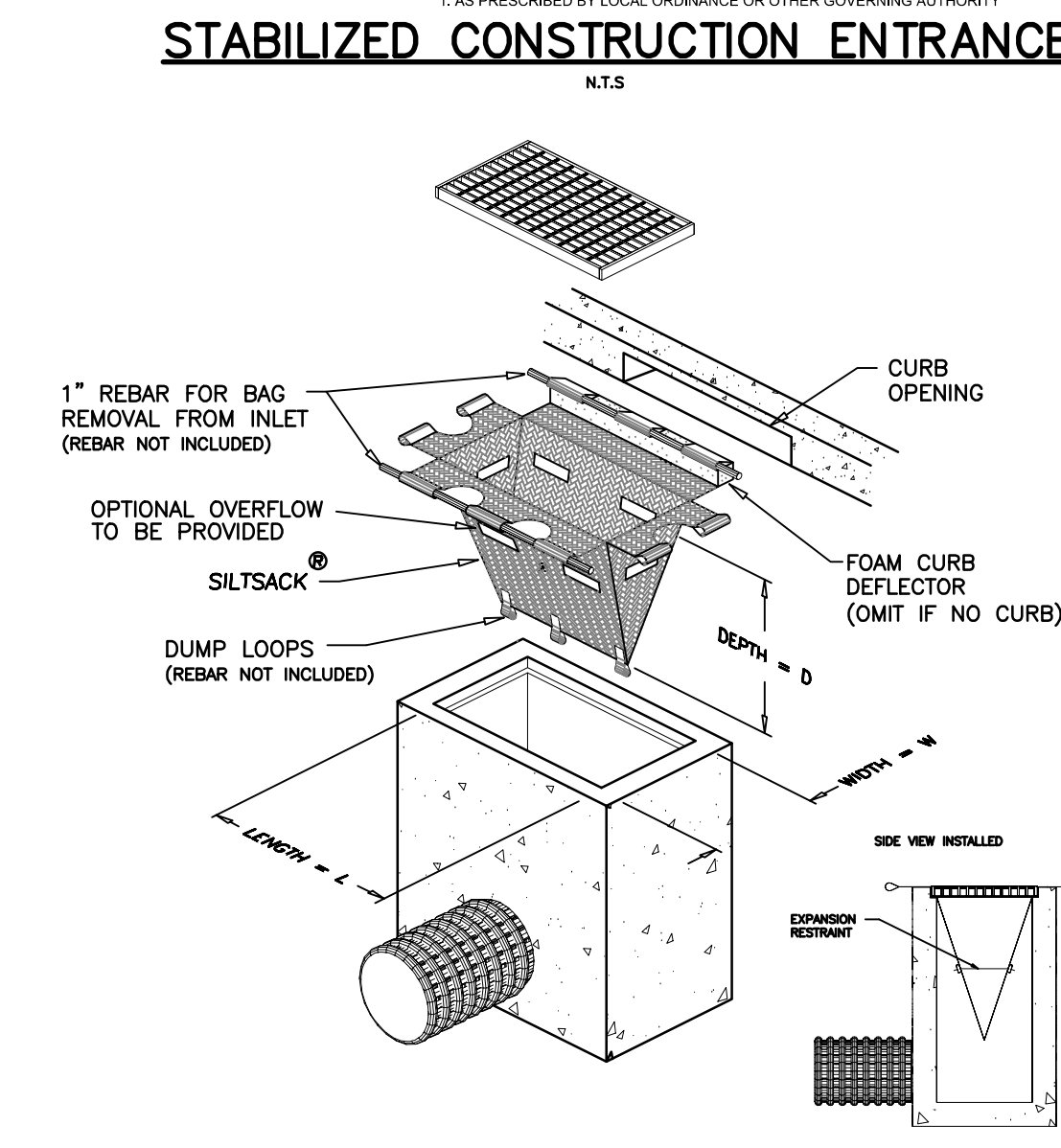
**STORMTECH SC-740 CHAMBER DETAIL**  
N.T.S.



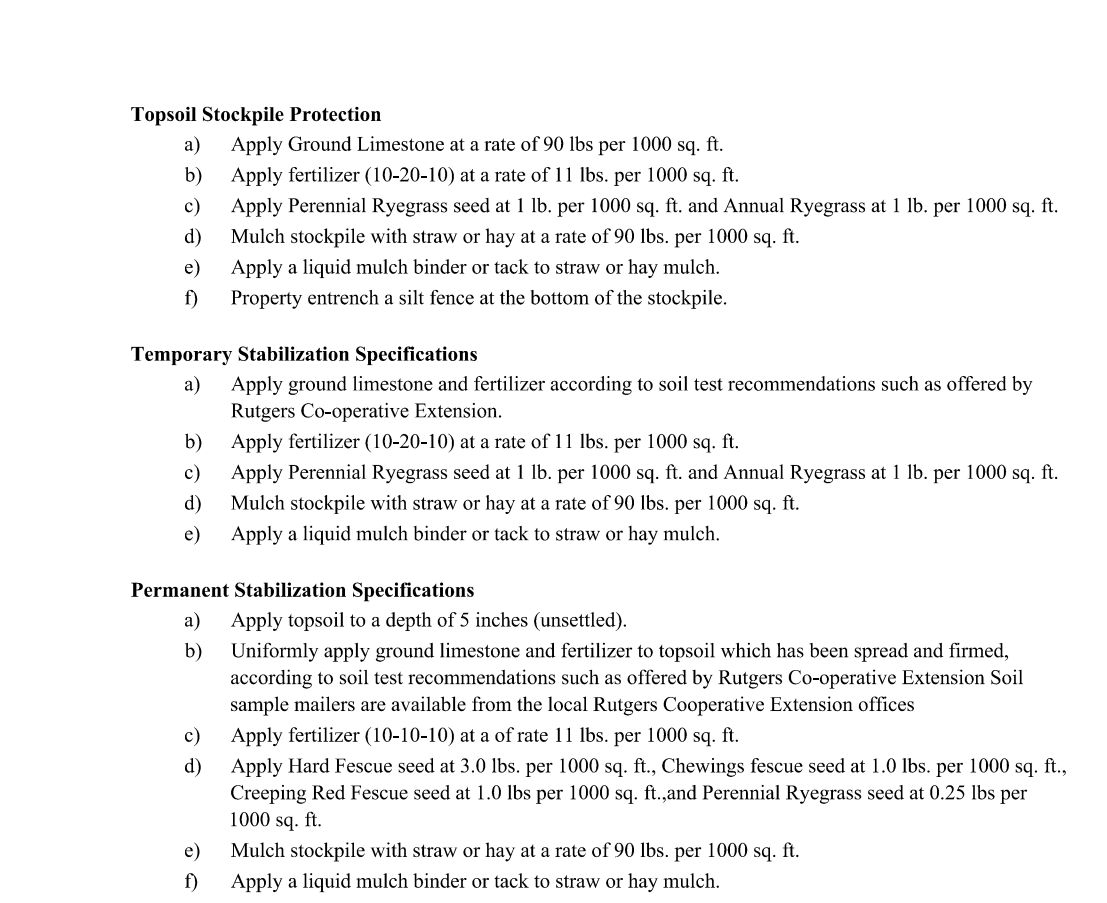
**STORMTECH SC-740 CHAMBER DETAIL**  
N.T.S.



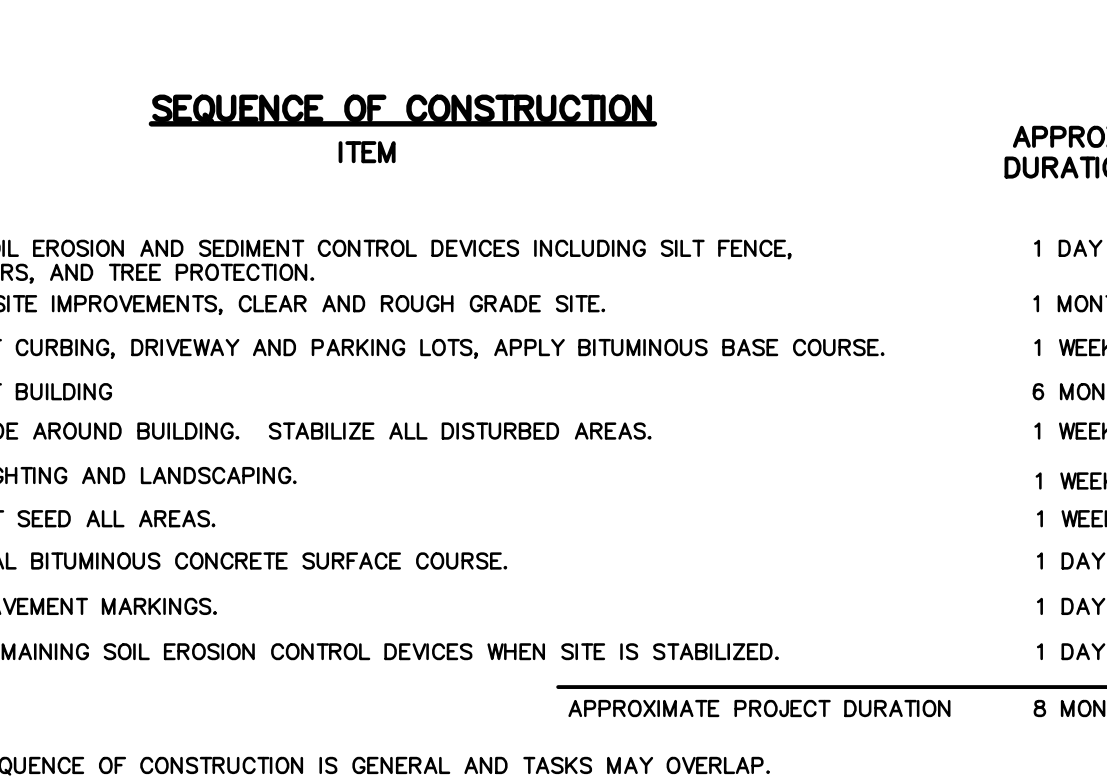
**STABILIZED CONSTRUCTION ENTRANCE**  
N.T.S.



**INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR**



**SEQUENCE OF CONSTRUCTION**



**SEQUENCE OF CONSTRUCTION**

**BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES**

- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
- Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with salt hay or equivalent and bound in accordance with the NJ Standards (i.e., peg and twine, mulch netting, or liquid mulch binder).
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
- Stabilization Specifications:
  - Temporary Seeding and Mulching:
    - Lime - 90 lbs./1,000 sq. ft. of ground limestone; Fertilizer - 11 lbs./1,000 sq. ft.
    - 10-20-10 or equivalent worked into the soil a minimum of 4".
    - Seed - perennial ryegrass 40 lbs./acre (1 lb./1,000 sq. ft.) or other approved seeds; plant between March 1 and May 15 or between August 15 and October 1.
    - Mulch - salt hay or small grain straw at a rate of 70 to 90 lbs./1,000 sq. ft. to be applied according to the NJ Standards. Mulch shall be secured by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
  - Permanent Seeding and Mulching:
    - Topsoil - uniform application to a depth of 6".
    - Lime - 90 lbs./1,000 sq. ft. of ground limestone; Fertilizer - 11 lbs./1,000 sq. ft.
    - 10-20-10 or equivalent worked into the soil a minimum of 4".
    - Seed - Turf type tall fescue (blend of 3 cultivars) 150 lbs./acre (3.5 lbs./1,000 sq. ft.) or other approved seeds; plant between March 1 and October 15.
    - Mulch - salt hay or small grain straw at a rate of 70 to 90 lbs./1,000 sq. ft. to be applied according to the NJ Standards. Mulch shall be secured by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
- The site shall at all times be graded and maintained such that all stormwater running is diverted to soil erosion and sediment control facilities.
- Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
- Stockpiles are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a haybale sediment barrier or silt fence.
- A crushed stone, vehicle wheel-clearing blanket will be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1" - 2 1/2" crushed stone, 6" thick, will be at least 30' x 100' and should be underlain with a suitable synthetic sediment filter fabric and maintained.
- Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
- Driveways must be stabilized with 1" - 2 1/2" crushed stone or subbase prior to individual lot construction.
- All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right of ways, will be removed immediately. Paved roadways must be kept clean at all times.
- Catch basin inlets will be protected with an inlet filter designed in accordance with Section 30-1 of the NJ Standards.
- Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
- Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
- Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
- Trees to remain after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 9-1 of the NJ Standards.
- The project owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or off-site as a result of construction of the project.
- Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the district for review and approval prior to implementation in the field.
- A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
- The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance: Bergen County SCD, 700 Kinderkamack Road, Suite 106, Oradell, NJ 07649 Tel: 201-261-4407; Fax 201-261-7573.
- The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
- The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the scheduling of said report of compliance inspection. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

**STANDARD FOR DUST CONTROL** (Per Standards.. Dust Control 16-1, May 2012)

**DEFINITION**-The control of dust on construction sites and roads.

**PURPOSE**- To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage and health hazards, and improve traffic safety.

**CONDITION WHERE PRACTICE APPLIES**- This practice is applicable to areas subject to dust blowing and movement where on- and off-site damage is likely without treatment. Consult with local municipal ordinances on any restrictions.

**WATER QUALITY ENHANCEMENT**-Sediments deposited as "dust" are often fine colloidal material which is extremely difficult to remove from water once it becomes suspended. Use of this standard will help to control the generation of dust from construction sites and subsequent blowing and deposition into local surface water resources.

**PLANNING CRITERIA**- The following methods should be considered for controlling dust:

**Mulches**-See Standards for Stabilization with mulches Only (p. 5-1)

**Vegetative Cover**-See Standards for Temporary Vegetative Cover (p. 7-1), Permanent Vegetative Cover for Soil Stabilization (p. 4-1) and Permanent Stabilization with Sod (p. 6-1)

**Spray-on Adhesives**-On mineral soils (not effective on muck soils). Keep traffic off these areas.

**Table 16-1: Dust Control Materials:**

| Water Dilution           | Type of Nozzle    | Gal./Ac |
|--------------------------|-------------------|---------|
| Anionic asphalt emulsion | 7.1 Coarse Spray  | 1,200   |
| Latex Emulsion           | 12.5.1 Fine Spray | 235     |
| Resin in Water           | 4.1 Fine Spray    | 300     |

**Acidulated Soy Bean Soap Slick** None Coarse Spray 1,200

**Tillage**- To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are examples of equipment which may produce the desired effect.

**Sprinkling**- Site is sprinkled until the surface is wet.

**Barriers**- Solid board fences, snow fences, burlap fences, crate walls, bales of hay, and similar material can be used to control air currents and soil blowing.

**Calcium Chloride**- Shall be in the form of loose, dry granules of flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.

**Stone**- Cover surface with crushed stone or coarse gravel.

SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

| DATE     | REVISION |
|----------|----------|
| 04/08/22 | 1        |
|          | 2        |
|          | 3        |
|          | 4        |
|          | 5        |
|          | 6        |

PROJ.: 210812  
DATE: 10/15/21  
CONTAINED HEREIN IS AUTHORIZED FOR THE USE OF THE BORROWER ONLY. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM OMLAND & OSTERKORN, INC. ALL RIGHTS RESERVED.



Ormland & Osterkorn, Inc.  
Phone: 973-647-7920  
NJ Certificate of Authorization  
No. 24GAC28293300  
www.oringengineers.com  
Email: kossterkorn@or-etc.com  
Professional Engineer & Professional Land Surveyor  
No. 24GAC28293300  
No. 24GAC28293300

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR  
22 MAPLE STREET  
CONSTRUCTION DETAILS  
TAX MAP BLOCK 1808, LOT 2  
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY  
SHEET No. 7 OF 7





WWW.ZPLUSARCHITECTS.COM  
T: 201.785.8855

## Maple Residence

2 Bedroom Option

Zoning Board Submission

4/20/2022

SCALE:

# A-3.1





WWW.ZPLUSARCHITECTS.COM  
T: 201.785.8855

## Maple Residence

2 Bedroom Option

Zoning Board Submission

4/20/2022

SCALE:

# A-3.2