

LAND USE BOARD
BOROUGH OF ALLENDALE
Municipal Building
500 West Crescent Ave.
Allendale, NJ

The Regular Meeting of the Allendale Land Use Board will be held in the Council Chambers in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401 on November 14, 2022 at 7:30 p.m. Formal action will be taken.

I. CALL TO ORDER

- A. Open Public Meetings Act Announcement
- B. Salute to Flag

II. ROLL CALL

III. PUBLIC HEARINGS:

Application File No: LUB 2022-20

Applicant: World Class Wireless, LLC

Address: 240 & 260 West Crescent Avenue, Allendale, NJ 07401

Block: 1005 Lots: 1 & 2

Proposed: Conditional Use, Site Plan & Variance approval to install a wireless communications facility on the property. Pursuant to 270-48.

(continued from the October 19, 2022 meeting)

Application File No: LUB 2022-21

Applicant: Alex Atamian

Address: 66 Valley Road, Allendale, NJ 07401

Block: 1203 Lot: 16

Proposed: Addition to the rear of the house for a new kitchen and covered entertaining space, new front porch and an addition over the existing garage.

Pursuant to 270-64B (3). Approval to remove 28 trees.

Application File No: LUB 2022-22

Applicant: Nicholas & Kristine Luisi

Address: 735 W. Crescent Avenue, Allendale, NJ 07401

Block: 2204 Lot: 1

Proposed: Second Floor Addition and Poolhouse. Pursuant to 270-64B (2)

IV. OPEN TO THE PUBLIC FOR COMMENT

V. OTHER

VI. ADJOURNMENT

****AGENDA & AGENDA MATERIALS SUBJECT TO CHANGE****

Borough Website
Bulletin Board

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of Alex Atamian
shows that on or about the _____ day of _____, 20____
an application to the Zoning Official for the purpose of (describe intended
action) adding to the rear of the house for a new kitchen and covered entertaining space,
a new front porch and an addition over the existing garage. As well as removal of
28 trees
on the premises located at (street address) 66 Valley Rd Allendale NJ 07401
Block 1203 Lot 16
as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that
after due consideration the Zoning Enforcement Officer did on the 18 day of October, 2022
decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement
Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of
appeal with said Officer, together with the required fee of _____, and requests that
action of the Zoning Enforcement Officer be reversed or modified as the facts may be
determined, and applicant further requests that a day be fixed for hearing on this appeal and
states that the proper notice will be given to all owners of property situated within two hundred
(200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

An application is hereby made for a Hardship (Floor Area Ratio) (Use) variance from the terms
of Article(s) and Section(s) 270-64-B (3)
of the Zoning Ordinance so as to
permit the home going from a 20' right side setback, where 28.8' was required to 18.4" and
the continuation of a left side setback of 39.4' where 40' is now required based on
section 270-64-B of code

Signature of Applicant

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) _____ Block(s) _____
Street Address 66 Valley Rd Allendale NJ 07401
Applicant Alex Atamian Address 66 Valley Rd Allendale NJ 07401
Owner Alex Atamian Address 66 Valley Rd Allendale NJ 07401
Lessee _____ Address _____
Last Previous Occupancy _____
Size of Lot 38,273 sqft
Floor area ratio calculation 16%
Percentage of lot occupied by building(s) 10.9%
Height of building(s) 32.4' stories 2 feet _____
Set back from front property line 92.8 ft. From side (if corner lot) _____ ft.
Zoning requirements – Frontage 40, side yards 40, set-back _____, rear yard 50
“Prevailing set-back” of adjoining buildings within one block _____
Has there been any previous appeal involving these premises? NO
If so, state character of appeal and date of disposition _____

Proposed use: Primary residence

This application for a use variance includes an application for subdivision _____, site plan _____, conditional use _____ approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) Fifteen (15) copies of all application documents
- (c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified “location map” and clearly indicate such buildings and their approximate location, together with “prevailing set-back” dimensions.
- (d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

Date: 10/25/22

Signature of Applicant or Agent

ALLENDALE LAND USE BOARD
APPLICATION CHECK LIST

NAME Alex Atamian BLOCK 1203 LOT 16

ADDRESS 66 Valley Rd

ZONE AA TYPE OF VARIANCE Hardship

BRIEF DESCRIPTION OF APPLICATION Propose an addition off the side yard set backs
as well as approval to remove 28 trees

SPECIFIC VARIANCE(S) REQUIRED _____

ADMINISTRATIVE REQUIREMENTS

STATUS

- | | |
|---------------------------------|-----------------|
| 1. Application form complete | <u>Complete</u> |
| 2. Fee paid | <u>Complete</u> |
| 3. Denial by Building Inspector | <u>Complete</u> |
| 4. Affidavit of Service | <u>Complete</u> |
| 5. Proof of Publication | <u>Complete</u> |
| 6. Taxes Current | <u>Complete</u> |
| 7. Plot Plan | <u>Complete</u> |
| 8. Maps | <u>Complete</u> |
| 9. Photographs | <u>Complete</u> |
| 10. Email address | <u>Complete</u> |
| 11. Miscellaneous | <u>Complete</u> |

10/25/22

Date

Applicant's Signature

Autumn Tree Service, Inc.

www.autumntreeserviceinc.com

201-376-8422

eph A. Mandile

T/A Autumn Tree Service

New Jersey Tree License

#NJTC768062

Fully Insured / Workers Comp

PROPOSAL SUBMITTED TO:

PROPOSAL

STREET ADDRESS:

CITY:

JOB NAME:

PHONE:

ARCHITECT:

We hereby submit specifications and estimate for the following:

- Inspected property of Trees around house/Pool/Driveway
- 28 trees marked
- trees have rotten bottoms,
- 1 Large tree rear prop. Dead
- 2 By driveway + front of house roots will be compromised when Driveway/Walkway gets redone
- Section side pool cluster of trees are leaning with split tops
- Large cavity side oak by rock wall
- mushrooms growing bottom of 2 oaks / rotted bases
- Upon inspection the owner + I agreed 28 trees would be removed leaving healthy trees that can now get enough light + grow properly

We propose hereby to furnish material and labor — complete in accordance with the above specifications, for the sum of: \$

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance. Not responsible for any lawn, sprinklers, walkway, driveway, retainer wall, invisible pet fence or outdoor lighting.

Authorized Signature:

Note: This proposal may be withdrawn by us if not accepted within _____ days.

ACCEPTANCE OF PROPOSAL

The above prices, specification and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature:

Date of Acceptance:

1-800-331-670-0797

Oct. 16, 2022

ARBORIST# WE- 9750A Todd J. Turi

BOROUGH OF ALLENDALE

500 West Crescent Avenue
Allendale, NJ 07401

Angela M. Mattiace , CTA
Tax Assessor

(201) 818-4419
angelamattiace@allendalenj.gov

October 14, 2022

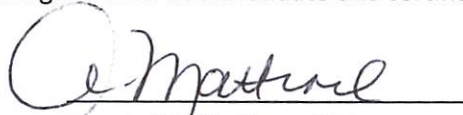
Re: 1203/16 – 66 Valley

Dear Sir/Madam:

As per your recent request, attached please find the listing of property owners within 200 feet of the above mentioned, as well as the list of public utilities, which must also be noticed.

If your property falls within 200 feet of an adjacent municipality, you must obtain a certified list from that municipality and serve notices on all persons on that list. Additionally, you must also serve notice upon the Municipal Clerk of that municipality.

This is to certify to the Allendale Land use Board and to all interested parties, that the attached names and addresses commonly referred to as a "Property Listing" have been prepared in conformance with the requirements of the Municipal Land Use Law. All lists are prepared within (7) days after receipt. Any omission and/or failure on the part of the undersigned shall not invalidate this certification, any hearing meeting or proceeding. (C40:55D12-C).


Angela M. Mattiace, CTA
Tax Assessor

UTILITIES LISTING

**BOROUGH OF ALLENDALE
500 W CRESCENT AVENUE
ALLENDALE, NJ 07401**

Rockland Electric – 1 Blue Hill Plaza, Pearl River, NY 10965

New Jersey Department of Transportation - POB 600, Trenton, NJ 08625

PSE&G - 20 Van Vooreen Drive, Oakland, NJ 07436

Cablevision of New Jersey - 40 Potash Rd, Oakland, NJ 07436

Verizon New Jersey - 114 Paterson Street, Paterson, NJ 07501

Bergen County Planning Board - 1 Bergen County Plaza, Hackensack, NJ 07601

OWNER & ADDRESS REPORT

ALLENDALE

200 FOOT LIST 1203/16 - 66 VALLEY

10/14/22 Page 1 of 1

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
1102	23		2	LYONS, JOHN J. & BRIGETTE ANN 65 VALLEY RD ALLENDALE NJ 07401	65 VALLEY RD	
1102	24		2	OEHLER, MARC & NICOLE 51 VALLEY ROAD ALLENDALE, NJ 07401	51 VALLEY RD	
1102	25		2	POWELL, LEE & SARAH 37 VALLEY ROAD ALLENDALE, NJ 07401	37 VALLEY RD	U
1103	8		2	NESTOR, MICHAEL & DARRAGH A. 28 BYRON CT ALLENDALE, NJ 07401	28 BYRON CT	
1103	9		2	ONUFRAK, MARK A & JEAN M 20 BYRON CT ALLENDALE, NJ 07401	20 BYRON CT	
1103	10		2	ENGLISHMAN, LORRAINE A. 8 BYRON CT ALLENDALE NJ 07401	8 BYRON CT	
1203	8.01		2	RAHAL, DAVID W & MARIA ALICIA 100 VALLEY RD ALLENDALE, NJ 07401	100 VALLEY RD	
1203	11		2	MORTON, SEAN ALAN ETAL 73 FOREST RD ALLENDALE, NJ 07401	73 FOREST RD	
1203	12		2	VEDAM, KRISHNA 61 FOREST ROAD ALLENDALE, NJ 07401	61 FOREST RD	
1203	13		2	LIU, YAN & JIN HUA 53 FOREST RD ALLENDALE, NJ 07401	53 FOREST RD	
1203	9.02		2	GRAF, PATRICIA R 114 VALLEY RD ALLENDALE, NJ 07401	114 VALLEY RD	
1203	15		2	LA BARR, ROSS & MAUREEN 11 BYRON CT. ALLENDALE, NJ 07401	11 BYRON CT	
1203	13.01		2	REYES, ALEXANDER & LOURDES 49 FOREST RD ALLENDALE, NJ 07401	49 FOREST RD	
1203	8.02		2	AMIN, CHIRAG & PATEL, DIPAL 81 VALLEY ROAD ALLENDALE, NJ 07401	81 VALLEY RD	
1203	8.03		2	SEGOVIA, FERNANDO & LUCIA M 95 VALLEY RD ALLENDALE, NJ 07401	95 VALLEY RD	
1203	14		2	WHITTAM, DONALD J & ELIZABETH H 27 BYRON CT ALLENDALE, NJ 07401	27 BYRON CT	

ATAMIAN RESIDENCE

66 VALLEY ROAD, ALLENDALE, NJ

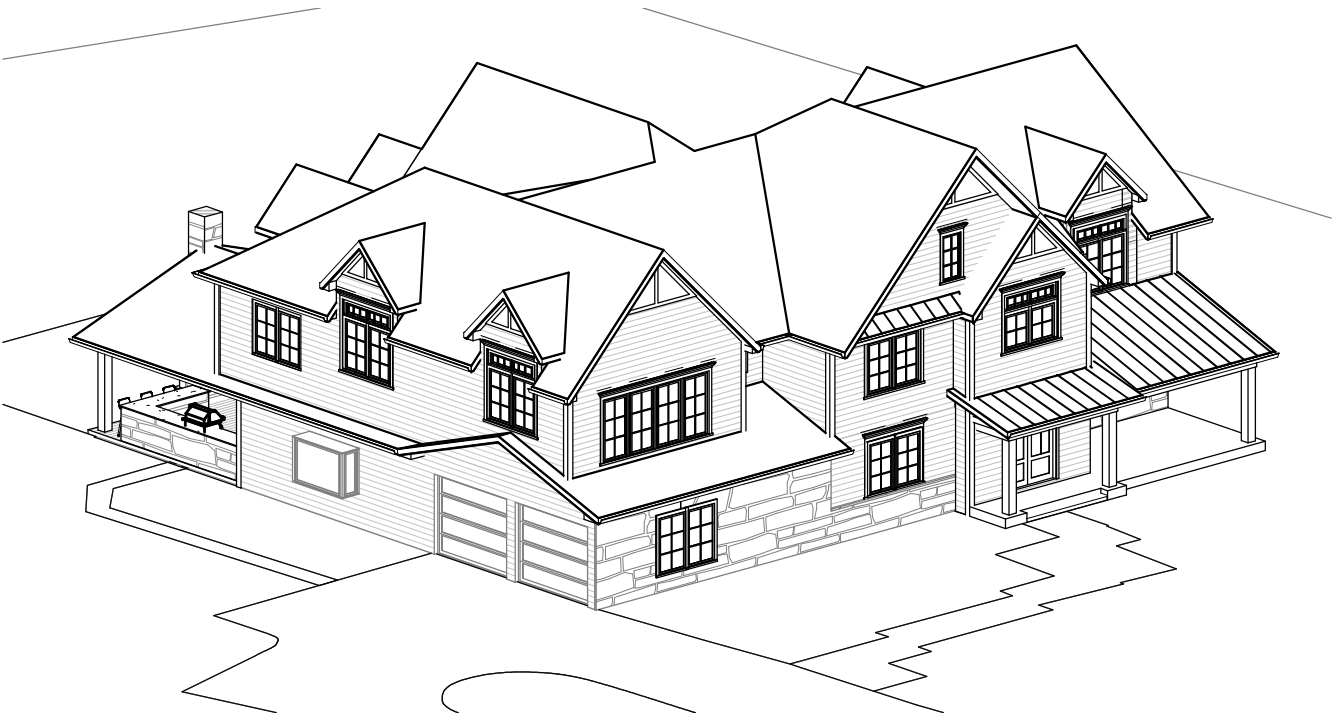
DRAWING LIST

- SK-0 TITLE SHEET
- SK-1 ZONING INFO
- SK-2 SURVEY
- SK-3 TAX MAP
- SK-4 BASEMENT DEMO PLAN
- SK-5 PROPOSED BASEMENT PLAN
- SK-6 1ST FLOOR DEMO PLAN
- SK-7 PROPOSED 1ST FLOOR PLAN
- SK-8 2ND FLOOR DEMO PLAN
- SK-9 PROPOSED 2ND FLOOR PLAN
- SK-10 ROOF DEMO PLAN
- SK-11 PROPOSED ROOF PLAN
- SK-12 PROPOSED EXTERIOR ELEVATIONS
- SK-13 PROPOSED EXTERIOR ELEVATIONS
- SK-14 PROPOSED EXTERIOR ELEVATIONS
- SK-15 PROPOSED EXTERIOR ELEVATIONS
- SK-16 EXISTING PHOTOS
- SK-17 EXTERIOR VIEWS
- SK-18 EXTERIOR VIEWS

PROJECT DESCRIPTION

ADDITION AND RENOVATION TO AN
EXISTING SINGLE-FAMILY RESIDENCE

BLOCK 1203, LOT 16



① FRONT



② REAR

PROGRESS PRINTS
NOT FOR CONSTRUCTION



240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2240
PROJECT NAME: ATAMIAN RESIDENCE
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: TITLE SHEET
DATE: 10/21/22
SCALE:

DRAWING #: **SK-0**

ZONING DATA	REQUIRED	EXISTING	PROPOSED
<u>ZONE:</u>	AA	AA	AA
<u>MIN. LOT REQUIREMENT</u>			
AREA:	26,000 SF	38,273 SF	38,273 SF
LOT WIDTH:	130 FT	132.8 FT	132.8 FT
<u>MIN. YARD REQUIREMENT</u>			
FRONT:	40 FT	99.2 FT	92.8 FT
SIDE:	28.8 FT (EXG)	L: 39.4 FT	*L: 39.4 FT
	40 FT (NEW)	*R: 20 FT	*R: 18.4 FT
REAR:	50 FT	89.3 FT	83.3 FT
<u>BUILDING COVERAGE:</u>	--% / -- SF	10.3% / 3,933 SF	10.9 % / 4,160 SF
<u>OTHER IMPERVIOUS COVERAGE:</u>	--% / -- SF	12.5% / 4,792 SF	13.3% / 5,084 SF
<u>MAX. TOTAL COVERAGE:</u>	28.1% / 10,755 SF	22.8% / 8,725 SF	24.2% / 9,244 SF
<u>MAX. BUILDING HEIGHT:</u>	35 FT / 2.5 STORIES	23.2 FT / 2 STORIES	32.4 FT/ 2 STORIES
<u>MAX. G.B.A.:</u>	7,387 SF	4,115 SF	6,152 SF
<u>MAX. FLOOR AREA RATIO:</u>	19.3%	10.8%	16%

* DENOTES A NONCONFORMITY

CALCULATIONS

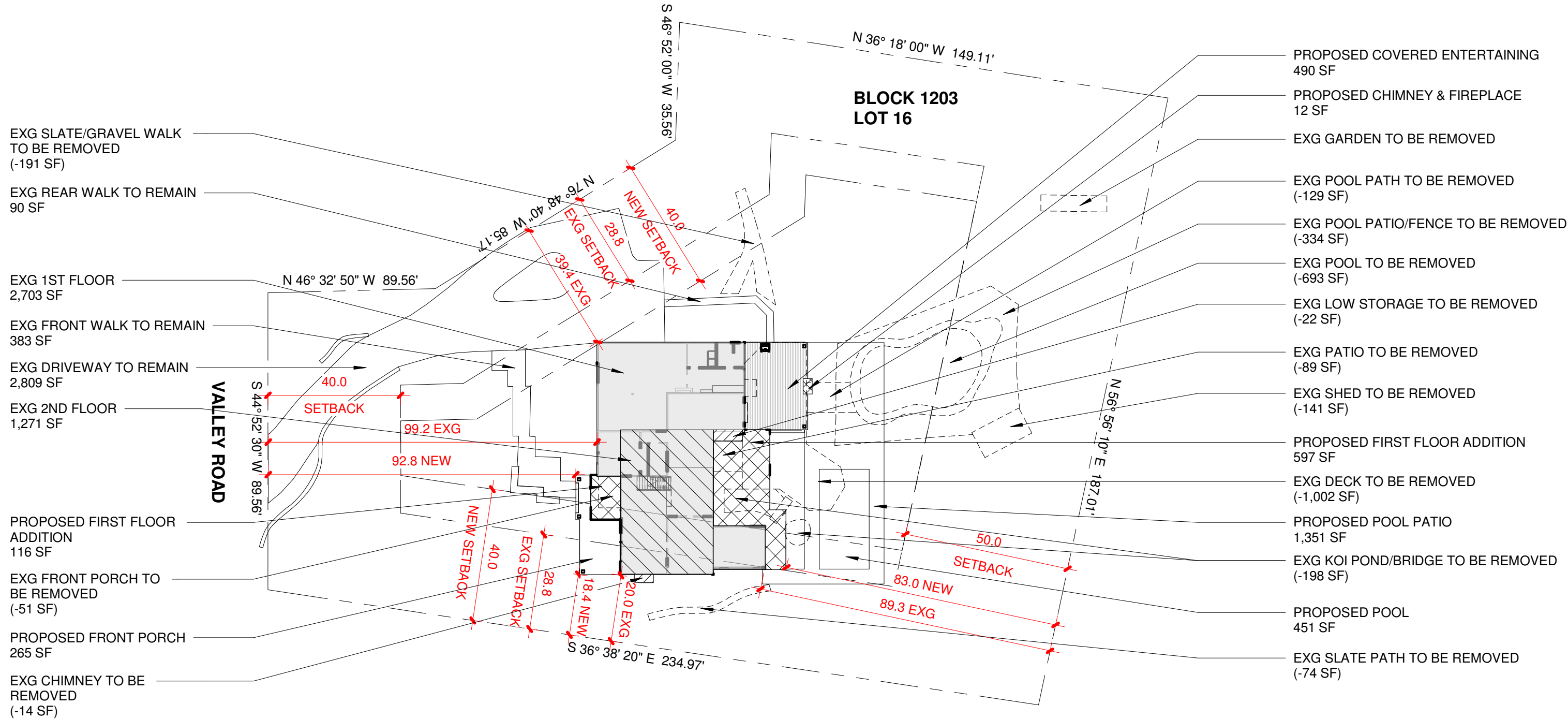
<i>GBA</i>	<i>BUILDING COVERAGE</i>	<i>IMPERVIOUS COVERAGE</i>
<u>EXG</u> 1ST FLOOR = 2,703 SF SHED = 141 SF 2ND FLOOR = 1,271 SF TOTAL = 4,115 SF	<u>EXG</u> BUILDING = 2,703 SF DECK = 1,002 SF FRONT PORCH = 51 SF SHED = 141 SF LOW STORAGE = 22 SF CHIMNEY = 14 SF TOTAL = 3,933 SF	<u>EXG</u> DRIVEWAY = 2,809 SF FRONT WALK = 383 SF REAR WALK = 90 SF SLATE/GRAVEL WALK = 191 SF SLATE PATH = 74 SF PATIO = 89 SF POOL = 693 SF POOL PATIO = 334 SF POOL PATH = 129 SF TOTAL = 4,792 SF
<u>PROPOSED</u> 1ST FLOOR = 3,416 SF 2ND FLOOR = 2,736 SF TOTAL = 6,152 SF	<u>PROPOSED</u> BUILDING = 3,393 SF COVERED ENTERTAINING = 490 SF FRONT PORCH (NEW) = 265 SF CHIMNEY (NEW) = 12 SF TOTAL = 4,160 SF	<u>PROPOSED</u> DRIVEWAY (EXG) = 2,809 SF FRONT WALK (EXG) = 383 SF REAR WALK (EXG) = 90 SF POOL (NEW) = 451 SF POOL PATIO (NEW) = 1,351 SF TOTAL = 5,084 SF

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZONING BOARD APPLICATION

PROJECT #: 2240
PROJECT NAME: ATAMIAN RESIDENCE
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: ZONING TABLE
DATE: 10/21/22
SCALE:



SURVEY INFO TAKEN FROM MARC J. CIFONE, LIC. NO. 24GS04132900,
JEFFERY S. GRUNN, LIC. NO. 24GS04339900,
LAKELAND SURVEYING, ON 08/08/22

PROGRESS PRINTS
NOT FOR CONSTRUCTION

Z+ ARCHITECTS
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

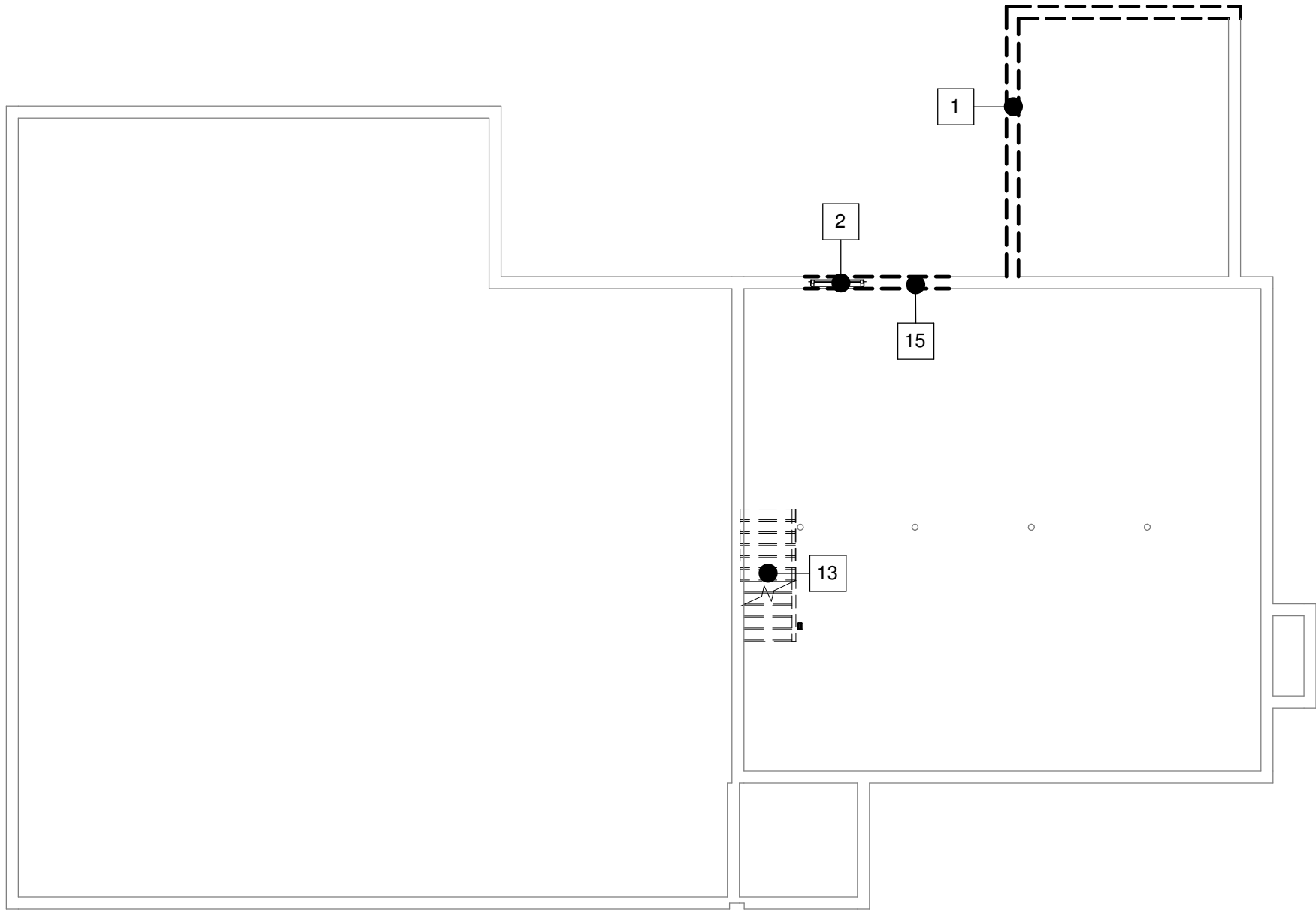
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21A101591800

ZONING BOARD APPLICATION

PROJECT #: 2240
PROJECT NAME: ATAMIAN RESIDENCE
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: SURVEY
DATE: 10/21/22
SCALE: 1" = 30'-0"

DRAWING #: **SK-2**



DEMOLITION LEGEND

- 1 REMOVE EXISTING WALL CONSTRUCTION AS INDICATED. TEMPORARILY SHORE STRUCTURE AS NECESSARY. SEE FLOOR PLAN FOR NEW CONFIGURATION AS REQUIRED.
- 2 REMOVE EXISTING DOOR/WINDOW AND INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED.
- 3 REMOVED EXISTING DOOR/WINDOW AND REPLACE WITH NEW WINDOW OF SAME WIDTH.
- 4 REMOVE EXISTING LAUNDRY IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
- 5 REMOVE EXISTING DECK AND ASSOCIATED DECKING, BRIDGE, RAILING, STEPS, STRUCTURE, AND SUPPORTING FOOTINGS.
- 6 REMOVE EXISTING PORCH AND ASSOCIATED STEPS, FOOTINGS, AND SLAB AS REQUIRED.
- 7 REMOVE EXISTING ROOF IN ITS ENTIRETY. TEMPORARILY SHORE STRUCTURE AS NECESSARY.
- 8 REMOVE EXISTING BATH IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
- 9 REMOVE EXISTING KITCHEN IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
- 10 REMOVE EXISTING WET BAR IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
- 11 REMOVE EXISTING FIREBOX, HEARTH, MANTLE, & ASSOCIATED CONSTRUCTION AND INFILL/PATCH OPENING TO MATCH SURROUNDING WALLS. EXISTING CHIMNEY TO REMAIN.
- 12 REMOVE EXISTING WOODBURNING FIREBOX AND PREP FOR NEW GAS FIREPLACE. REMOVE EXISTING ASSOCIATE CHIMNEY.
- 13 REMOVE EXISTING STAIR AND RAILINGS IN ITS ENTIRETY. CUT BACK EXISTING STRUCTURE TO PREPARE NEW OPENING FOR WIDER STAIR. TEMPORARILY SHORE STRUCTURE AS REQUIRED.
- 14 REMOVE EXISTING STAIR IN ITS ENTIRETY. PREP TO RAISE FLOOR HEIGHT WHERE NOTED.
- 15 CUT EXISTING BLOCK WALL TO PREP FOR NEW OPENING, TEMPORARILY SHORE STRUCTURE AS REQUIRED.

1 BASEMENT DEMO PLAN
1/8" = 1'-0"

PROGRESS PRINTS
NOT FOR CONSTRUCTION



240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

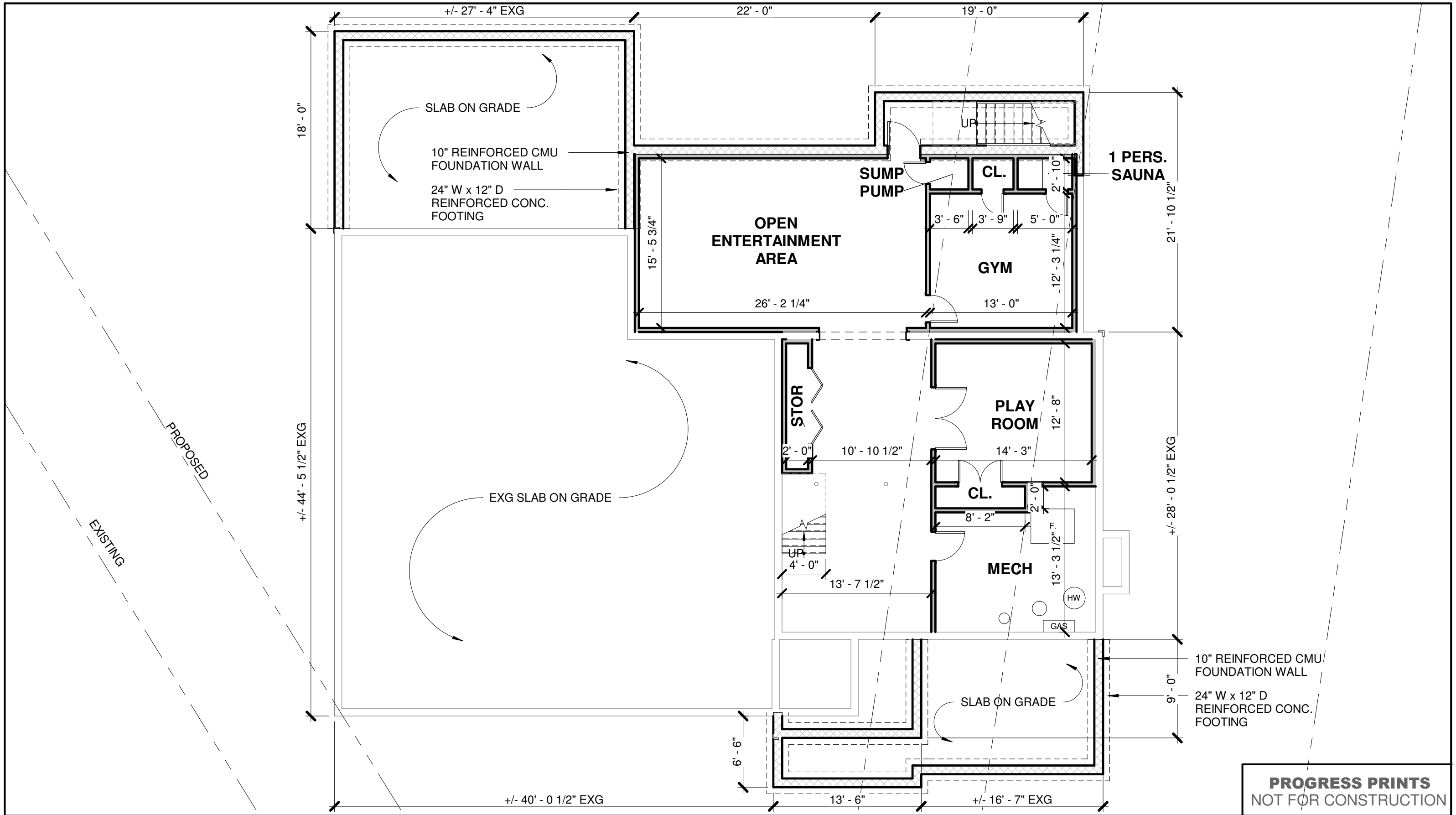
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2240
PROJECT NAME: ATAMIAN RESIDENCE
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: BASEMENT DEMO PLAN
DATE: 10/21/22
SCALE: As indicated

DRAWING #: SK-4



240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21A101591800

ZONING BOARD APPLICATION

PROJECT #: 2240

PROJECT NAME: ATAMIAN RESIDENCE

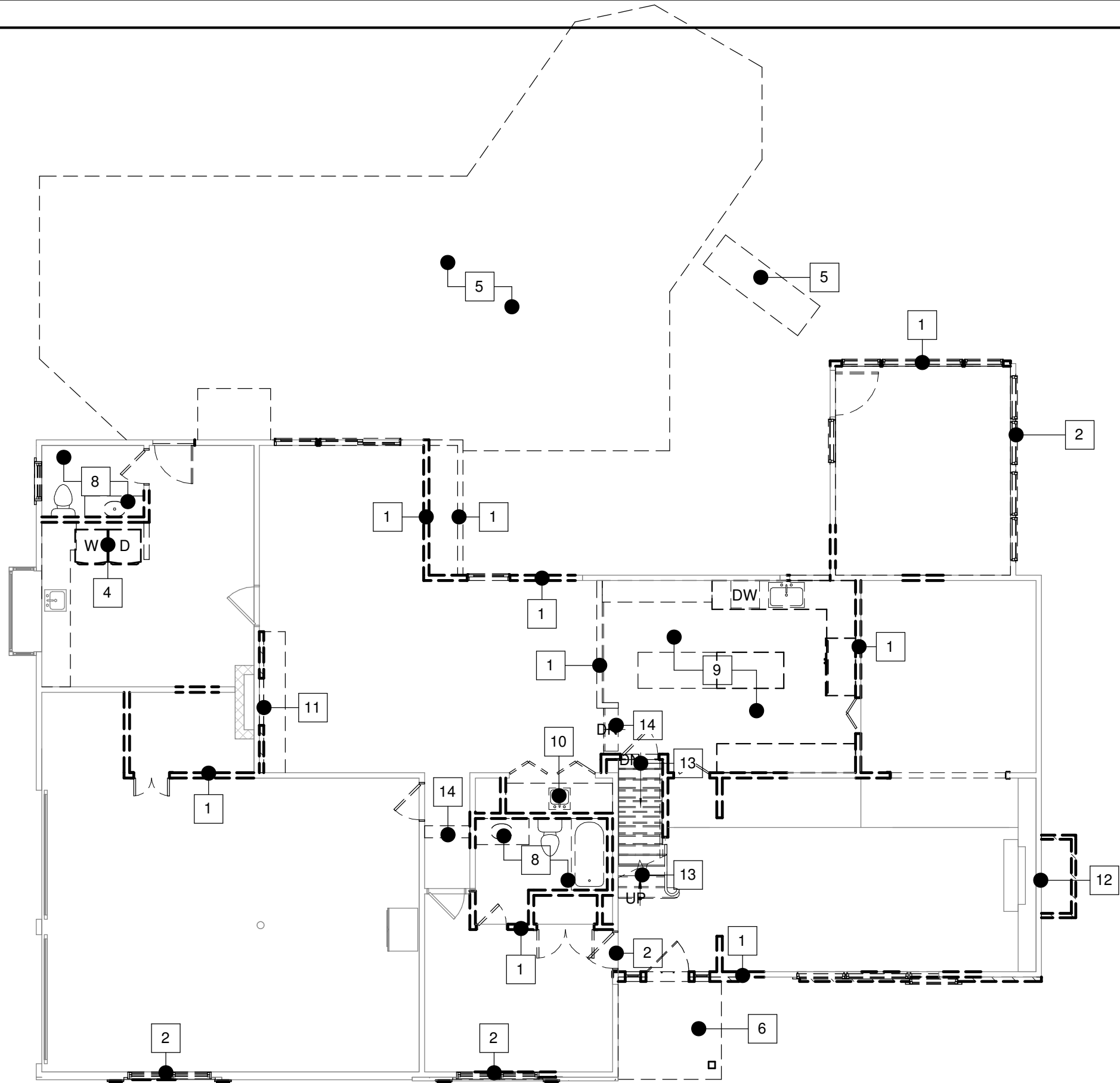
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: PROPOSED BASEMENT PLAN

DATE: 10/21/22

SCALE: 1/8" = 1'-0"

DRAWING #: SK-5



DEMOLITION LEGEND

- 1 REMOVE EXISTING WALL CONSTRUCTION AS INDICATED. TEMPORARILY SHORE STRUCTURE AS NECESSARY. SEE FLOOR PLAN FOR NEW CONFIGURATION AS REQUIRED.
- 2 REMOVE EXISTING DOOR/WINDOW AND INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED.
- 3 REMOVED EXISTING DOOR/WINDOW AND REPLACE WITH NEW WINDOW OF SAME WIDTH.
- 4 REMOVE EXISTING LAUNDRY IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
- 5 REMOVE EXISTING DECK AND ASSOCIATED DECKING, BRIDGE, RAILING, STEPS, STRUCTURE, AND SUPPORTING FOOTINGS.
- 6 REMOVE EXISTING PORCH AND ASSOCIATED STEPS, FOOTINGS, AND SLAB AS REQUIRED.
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- 9 REMOVE EXISTING KITCHEN IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
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- 13 REMOVE EXISTING STAIR AND RAILINGS IN ITS ENTIRETY. CUT BACK EXISTING STRUCTURE TO PREPARE NEW OPENING FOR WIDER STAIR. TEMPORARILY SHORE STRUCTURE AS REQUIRED.
- 14 REMOVE EXISTING STAIR IN ITS ENTIRETY. PREP TO RAISE FLOOR HEIGHT WHERE NOTED.
- 15 CUT EXISTING BLOCK WALL TO PREP FOR NEW OPENING, TEMPORARILY SHORE STRUCTURE AS REQUIRED.

1 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"

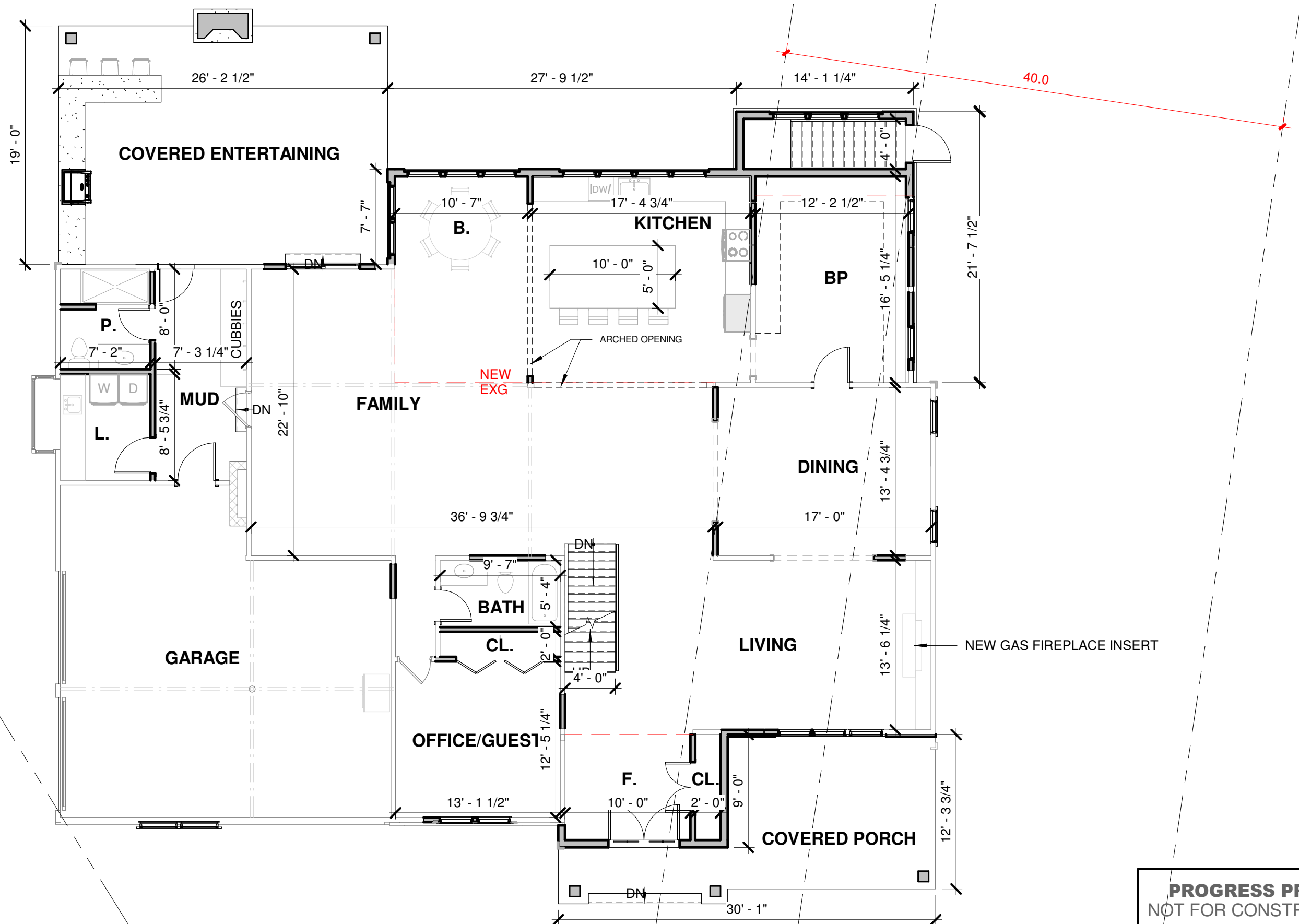
PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZONING BOARD APPLICATION

PROJECT #: 2240
PROJECT NAME: ATAMIAN RESIDENCE
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: 1ST FLOOR DEMO PLAN
DATE: 10/21/22
SCALE: As indicated

DRAWING #: **SK-6**



PROGRESS PRINTS
NOT FOR CONSTRUCTION



240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21A101591800

ZONING BOARD APPLICATION

PROJECT #: 2240

PROJECT NAME: ATAMIAN RESIDENCE

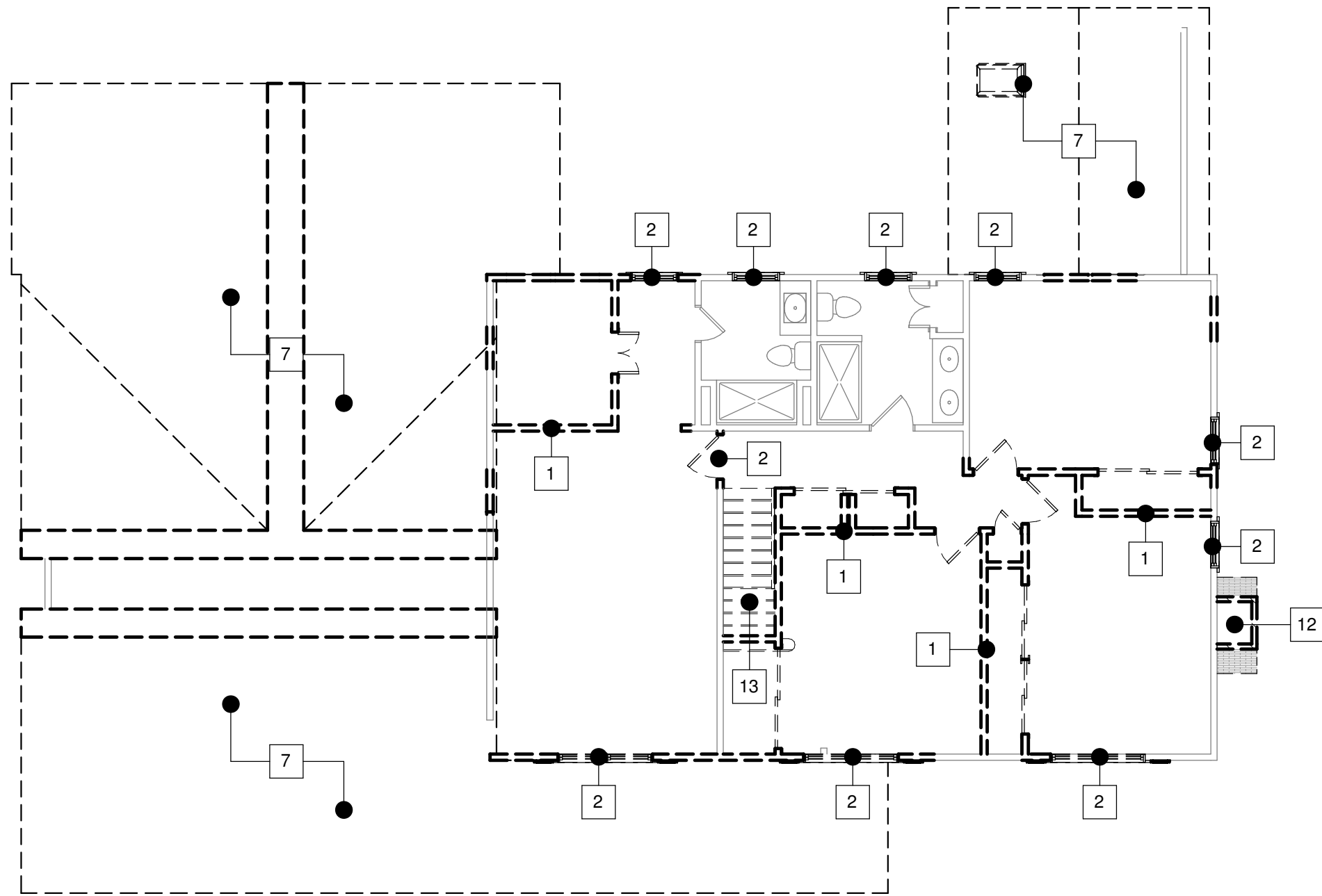
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: PROPOSED FIRST FLOOR PLAN

DATE: 10/21/22

SCALE: 1/8" = 1'-0"

DRAWING #: **SK-7**



DEMOLITION LEGEND	
1	REMOVE EXISTING WALL CONSTRUCTION AS INDICATED. TEMPORARILY SHORE STRUCTURE AS NECESSARY. SEE FLOOR PLAN FOR NEW CONFIGURATION AS REQUIRED.
2	REMOVE EXISTING DOOR/WINDOW AND INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED.
3	REMOVED EXISTING DOOR/WINDOW AND REPLACE WITH NEW WINDOW OF SAME WIDTH.
4	REMOVE EXISTING LAUNDRY IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
5	REMOVE EXISTING DECK AND ASSOCIATED DECKING, BRIDGE, RAILING, STEPS, STRUCTURE, AND SUPPORTING FOOTINGS.
6	REMOVE EXISTING PORCH AND ASSOCIATED STEPS, FOOTINGS, AND SLAB AS REQUIRED.
7	REMOVE EXISTING ROOF IN ITS ENTIRETY. TEMPORARILY SHORE STRUCTURE AS NECESSARY.
8	REMOVE EXISTING BATH IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
9	REMOVE EXISTING KITCHEN IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
10	REMOVE EXISTING WET BAR IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
11	REMOVE EXISTING FIREBOX, HEARTH, MANTLE, & ASSOCIATED CONSTRUCTION AND INFILL/PATCH OPENING TO MATCH SURROUNDING WALLS. EXISTING CHIMNEY TO REMAIN.
12	REMOVE EXISTING WOODBURNING FIREBOX AND PREP FOR NEW GAS FIREPLACE. REMOVE EXISTING ASSOCIATE CHIMNEY.
13	REMOVE EXISTING STAIR AND RAILINGS IN ITS ENTIRETY. CUT BACK EXISTING STRUCTURE TO PREPARE NEW OPENING FOR WIDER STAIR. TEMPORARILY SHORE STRUCTURE AS REQUIRED.
14	REMOVE EXISTING STAIR IN ITS ENTIRETY. PREP TO RAISE FLOOR HEIGHT WHERE NOTED.
15	CUT EXISTING BLOCK WALL TO PREP FOR NEW OPENING, TEMPORARILY SHORE STRUCTURE AS REQUIRED.

1 2ND FLOOR DEMO PLAN
1/8" = 1'-0"

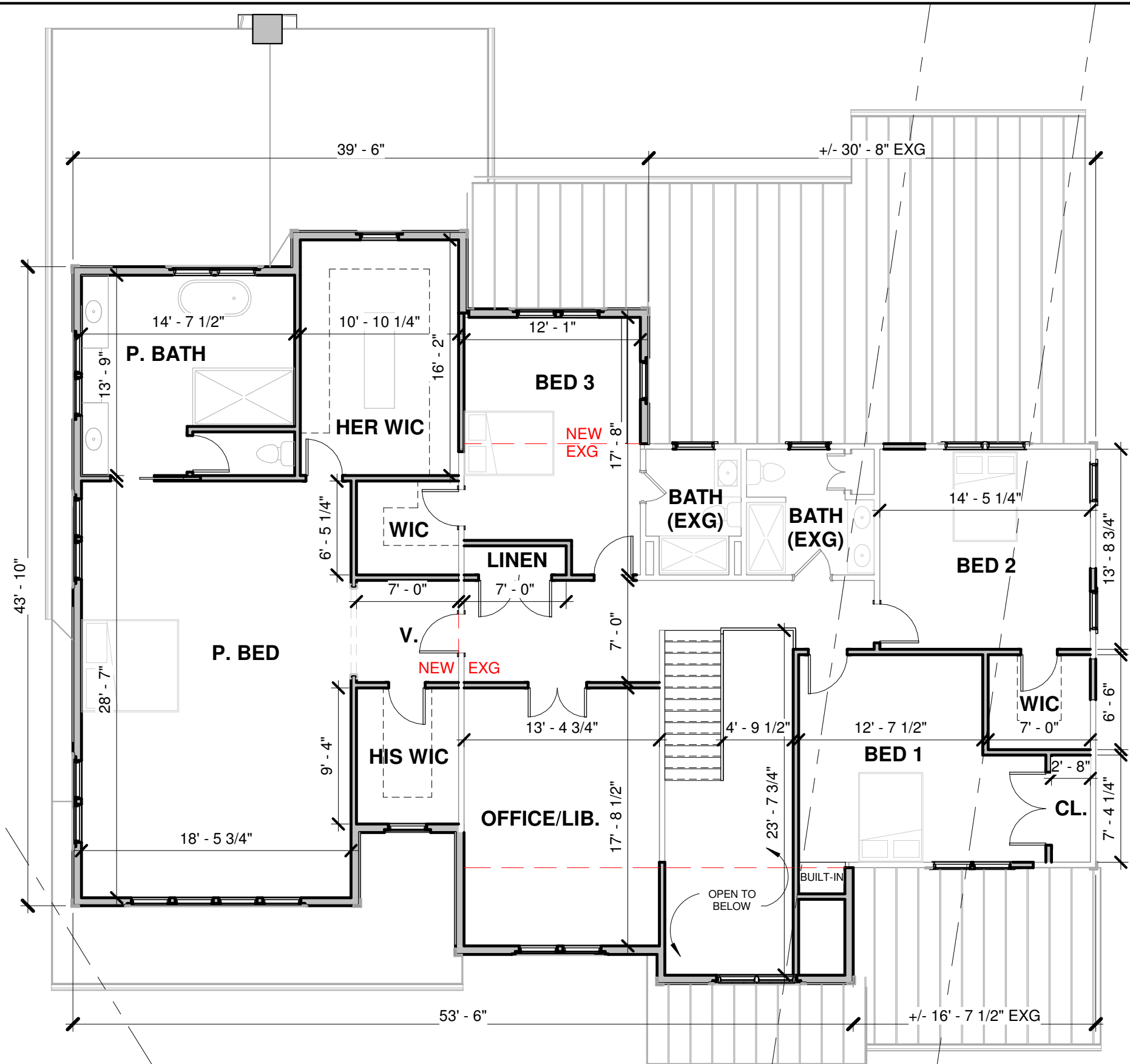
PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZONING BOARD APPLICATION

PROJECT #: 2240
PROJECT NAME: ATAMIAN RESIDENCE
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: 2ND FLOOR DEMO PLAN
DATE: 10/21/22
SCALE: As indicated

DRAWING #: **SK-8**



PROGRESS PRINTS
NOT FOR CONSTRUCTION

Z+ ARCHITECTS
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

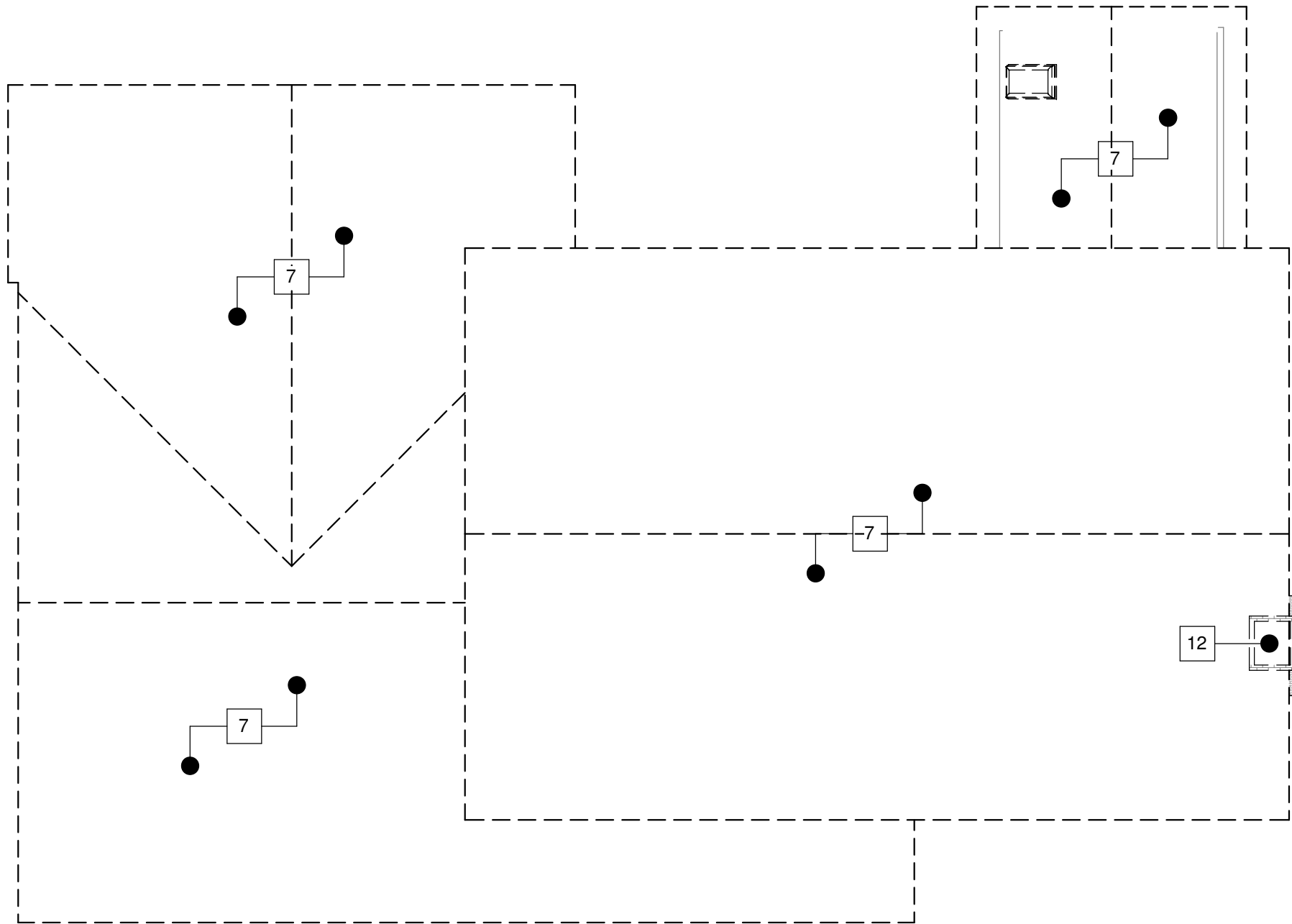
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21A101591800

ZONING BOARD APPLICATION

PROJECT #: 2240
PROJECT NAME: ATAMIAN RESIDENCE
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: PROPOSED SECOND FLOOR PLAN
DATE: 10/21/22
SCALE: 1/8" = 1'-0"

DRAWING #: **SK-9**



DEMOLITION LEGEND

- 1 REMOVE EXISTING WALL CONSTRUCTION AS INDICATED. TEMPORARILY SHORE STRUCTURE AS NECESSARY. SEE FLOOR PLAN FOR NEW CONFIGURATION AS REQUIRED.
- 2 REMOVE EXISTING DOOR/WINDOW AND INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED.
- 3 REMOVED EXISTING DOOR/WINDOW AND REPLACE WITH NEW WINDOW OF SAME WIDTH.
- 4 REMOVE EXISTING LAUNDRY IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
- 5 REMOVE EXISTING DECK AND ASSOCIATED DECKING, BRIDGE, RAILING, STEPS, STRUCTURE, AND SUPPORTING FOOTINGS.
- 6 REMOVE EXISTING PORCH AND ASSOCIATED STEPS, FOOTINGS, AND SLAB AS REQUIRED.
- 7 REMOVE EXISTING ROOF IN ITS ENTIRETY. TEMPORARILY SHORE STRUCTURE AS NECESSARY.
- 8 REMOVE EXISTING BATH IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
- 9 REMOVE EXISTING KITCHEN IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
- 10 REMOVE EXISTING WET BAR IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
- 11 REMOVE EXISTING FIREBOX, HEARTH, MANTLE, & ASSOCIATED CONSTRUCTION AND INFILL/PATCH OPENING TO MATCH SURROUNDING WALLS. EXISTING CHIMNEY TO REMAIN.
- 12 REMOVE EXISTING WOODBURNING FIREBOX AND PREP FOR NEW GAS FIREPLACE. REMOVE EXISTING ASSOCIATE CHIMNEY.
- 13 REMOVE EXISTING STAIR AND RAILINGS IN ITS ENTIRETY. CUT BACK EXISTING STRUCTURE TO PREPARE NEW OPENING FOR WIDER STAIR. TEMPORARILY SHORE STRUCTURE AS REQUIRED.
- 14 REMOVE EXISTING STAIR IN ITS ENTIRETY. PREP TO RAISE FLOOR HEIGHT WHERE NOTED.
- 15 CUT EXISTING BLOCK WALL TO PREP FOR NEW OPENING, TEMPORARILY SHORE STRUCTURE AS REQUIRED.

1 ROOF DEMO PLAN
1/8" = 1'-0"

PROGRESS PRINTS
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240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2240

PROJECT NAME: ATAMIAN RESIDENCE

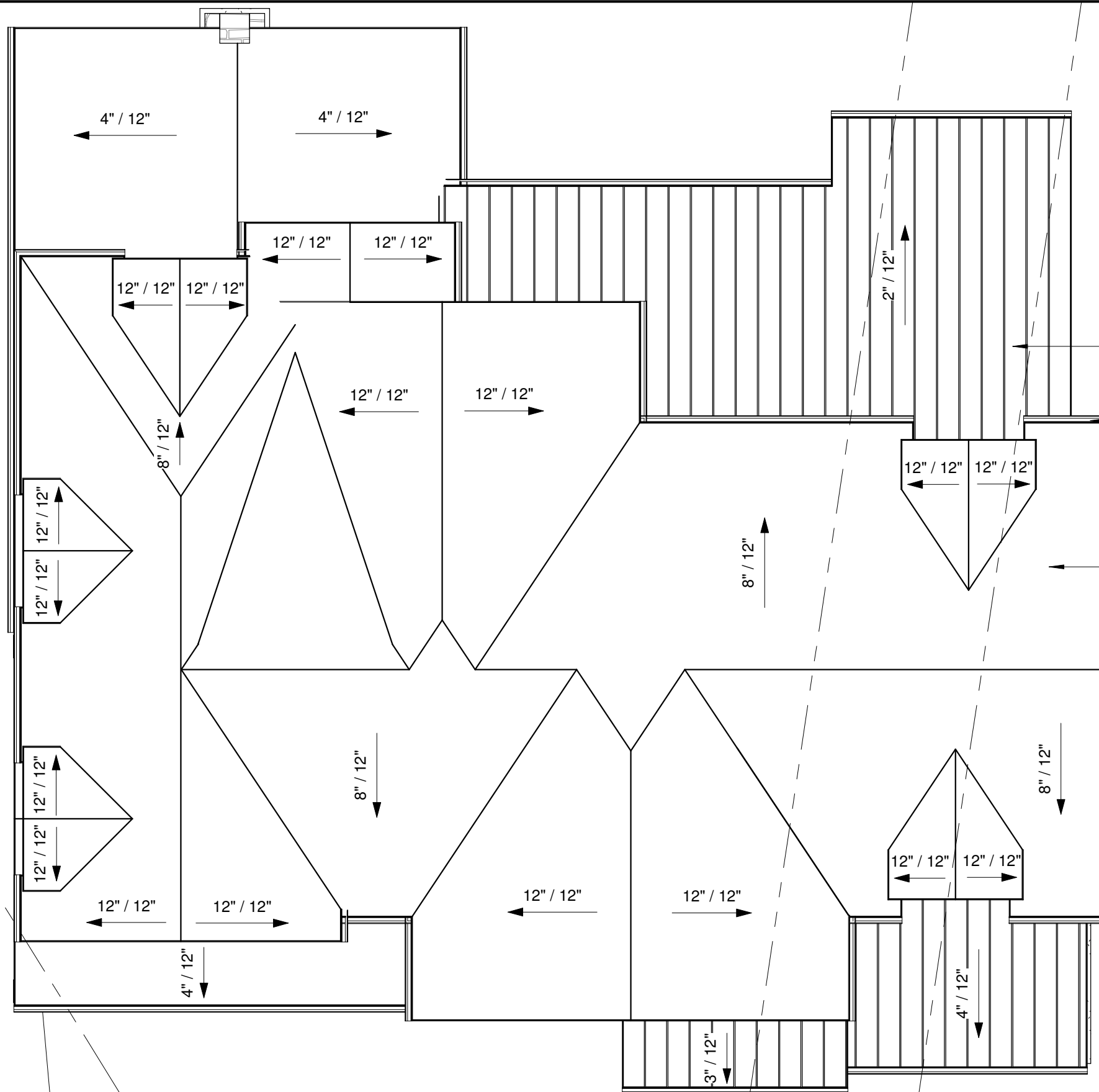
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: ROOF DEMO PLAN

DATE: 10/21/22

SCALE: As indicated

DRAWING #: **SK-10**



ATAS DUTCH STANDING SEAM
ALUMINUM ROOF, TYP.

CONTINUOUS ALUMINUM
GUTTERS, TYP.

AZEK FASCIA, TYP.

LIFETIME TIMBERLINE ASPHALT
ROOF SHINGLES, TYP.

PROGRESS PRINTS
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240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21A101591800

ZONING BOARD APPLICATION

PROJECT #: 2240

PROJECT NAME: ATAMIAN RESIDENCE

66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: PROPOSED ROOF PLAN

DATE: 10/21/22

SCALE: 1/8" = 1'-0"

DRAWING #: **SK-11**



1 FRONT ELEVATION
1/8" = 1'-0"

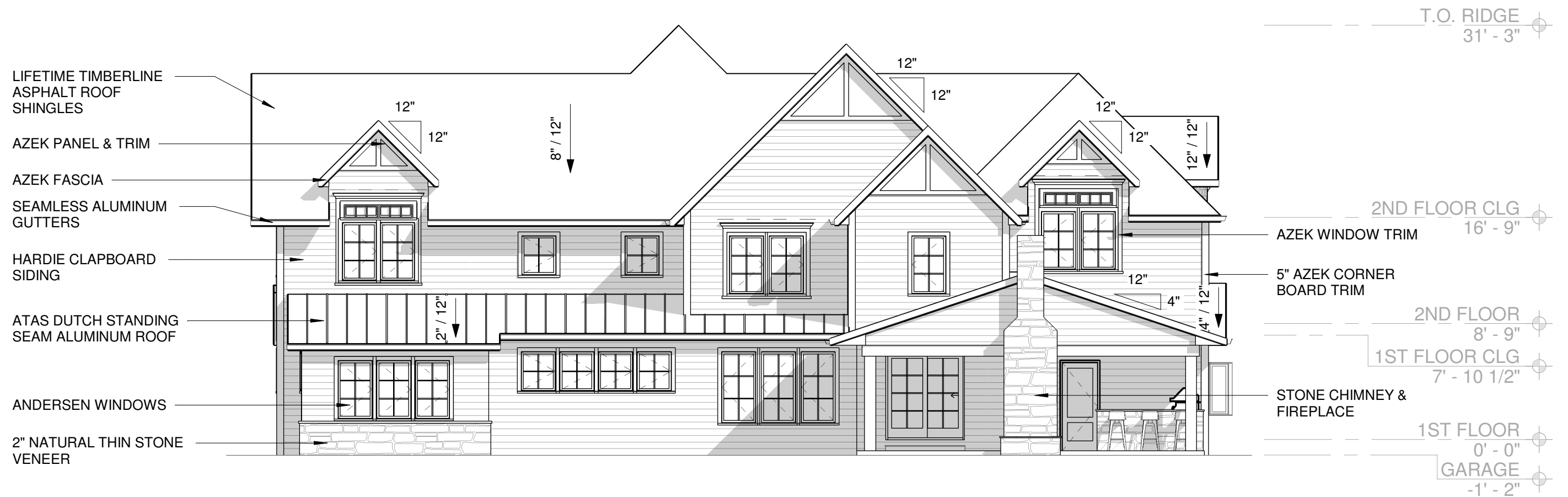
PROGRESS PRINTS
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ZONING BOARD APPLICATION

PROJECT #: 2240
PROJECT NAME: ATAMIAN RESIDENCE
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: EXTERIOR ELEVATIONS
DATE: 10/21/22
SCALE: 1/8" = 1'-0"

DRAWING #: **SK-12**



① REAR ELEVATION
1/8" = 1'-0"

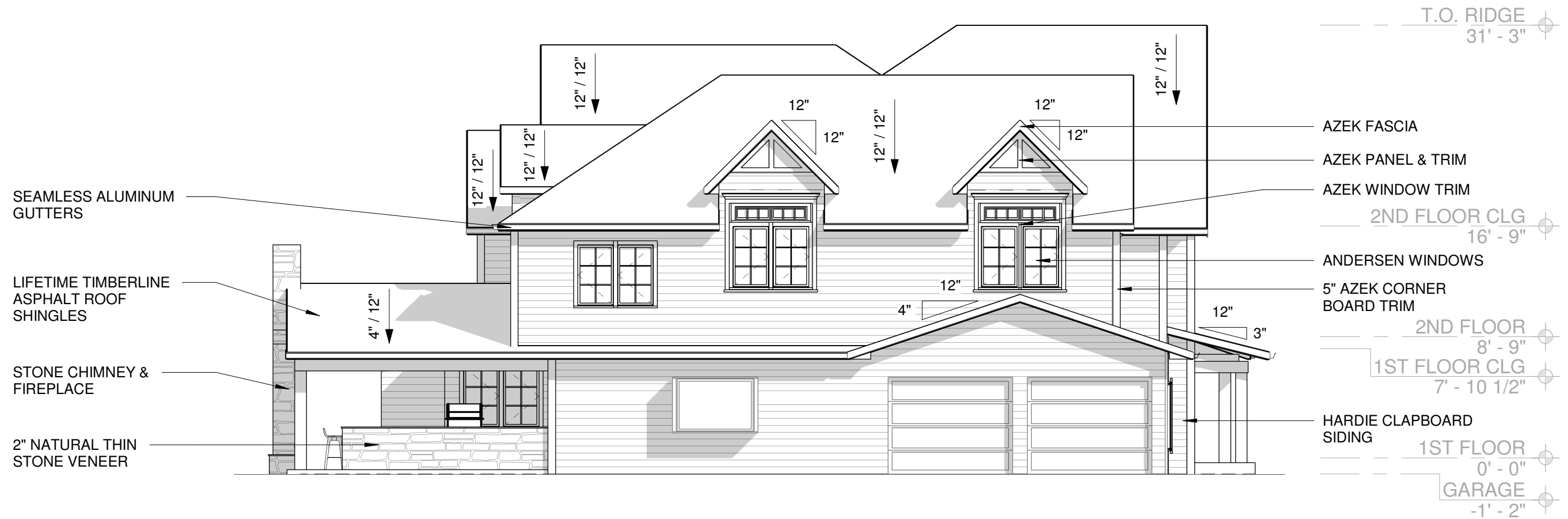
PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZONING BOARD APPLICATION

PROJECT #: 2240
PROJECT NAME: ATAMIAN RESIDENCE
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: EXTERIOR ELEVATIONS
DATE: 10/21/22
SCALE: 1/8" = 1'-0"

DRAWING #: **SK-13**



1 LEFT ELEVATION
1/8" = 1'-0"

PROGRESS PRINTS
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240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

DESIGN DELIVERABLE

PROJECT #: 2240

PROJECT NAME: ATAMIAN RESIDENCE

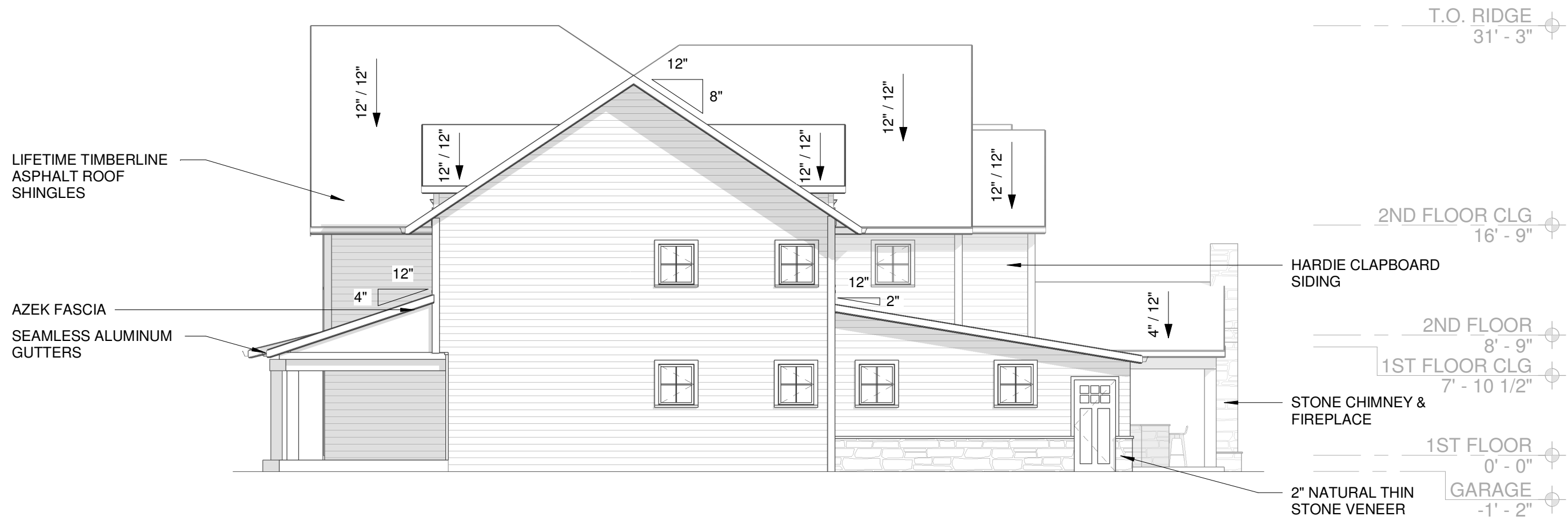
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: EXTERIOR ELEVATIONS

DATE: 10/21/22

SCALE: 1/8" = 1'-0"

DRAWING #: **SK-14**



① RIGHT ELEVATION
1/8" = 1'-0"

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZONING BOARD APPLICATION

PROJECT #: 2240
PROJECT NAME: ATAMIAN RESIDENCE
66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: EXTERIOR ELEVATIONS
DATE: 10/21/22
SCALE: 1/8" = 1'-0"

DRAWING #: **SK-15**



PROGRESS PRINTS
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240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2240

PROJECT NAME: ATAMIAN RESIDENCE

66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: EXISTING PHOTOS

DATE: 10/21/22

SCALE:

DRAWING #: **SK-16**



PROGRESS PRINTS
NOT FOR CONSTRUCTION



240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2240

PROJECT NAME: ATAMIAN RESIDENCE

66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: EXTERIOR VIEWS

DATE: 10/21/22

SCALE:

DRAWING #: **SK-17**



PROGRESS PRINTS
NOT FOR CONSTRUCTION



240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2240

PROJECT NAME: ATAMIAN RESIDENCE

66 VALLEY ROAD, ALLENDALE, NJ 07401

TITLE: EXTERIOR VIEWS

DATE: 10/21/22

SCALE:

DRAWING #: **SK-18**



STILLWATER

PROPERTY & CASUALTY
INSURANCE COMPANY

PO Box 45126, Jacksonville FL 32232-5126

Customer Service: 1-800-849-6140

Claims Department: 1-800-220-1351

ALEX ATAMIAN
66 VALLEY RD
ALLENDALE NJ 07401

POLICY NUMBER: CP2060976

LOAN NUMBER:

DATE OF NOTICE: September 14, 2022

RE: NOTICE OF CANCELLATION - HOMEOWNERS POLICY

EFFECTIVE DATE OF CANCELLATION: October 18, 2022 12:01 A.M.

Dear Policyholder:

This letter is to notify you that under the terms of your policy and state law, your policy will be cancelled on the date listed above.

Your policy is being cancelled because it does not meet the eligibility criteria of the Company's underwriting guidelines. The specific reasons for this are we have determined the home is susceptible to damage due to the site location as there is a sinkhole. In addition, there is a diving board, wood rot on the shed siding and rear cabinet siding, the roof has pre-existing damage and needs replacement (granule loss, curling shingles, tree debris, moss growth, etc.). **There are also tree limbs in contact with the roof and a trip/fall hazard at the rear of the property (bridge).**

YOU HAVE A RIGHT TO PROTEST OUR ACTION. YOU MAY FILE A WRITTEN COMPLAINT WITH THE NEW JERSEY DEPARTMENT OF BANKING AND INSURANCE, OFFICE OF CONSUMER PROTECTION SERVICES, PO BOX 329, TRENTON, NEW JERSEY 08625-0329, OR YOU MAY CONTACT THEM AT (609)292-7272, OR ELECTRONICALLY AT www.state.nj.us/dobi/consumer.htm. YOU SHOULD CONTACT THEM IMMEDIATELY IF YOU WISH TO FILE A COMPLAINT.

NJ/PROP/CAN/0720SYS
Agency: Q9L 221 ID07410

00160000000006097622257

0000E



October 28th 2022

66 Valley Rd Landscape Plan

The tree removal plan consist of removing 28 trees on the property. These have been identified by the home owners insurance as well as the arborist as "dangerous". They are classified as "dangerous" since they are overgrown over the house and are in close contact with the house as well as other structures on the property. There are also trees that are leaning and have grown over neighboring properties which the insurance company has requested be removed.

In conjunction with removing the trees, we are planning on saving 8 trees on the property. We are only trying to become compliant with the insurance company request and the arborists recommendations.

Once the tree removal and construction is complete the landscape plan at 66 Valley Road will consist of the following.

- Plant shrubs/bushes as well as flowers in the front of the house. Dress the flower/shrub beds with mulch.

- Plant 4' green giant (or similar) along the driveway at the property line

- Plant 4' green giant (or similar) along the fence line on the lot 15 side of the property

As requested by the home owners insurance, new landscaping that is to be planted will not be in contact with or over any structures/driveway on the property.

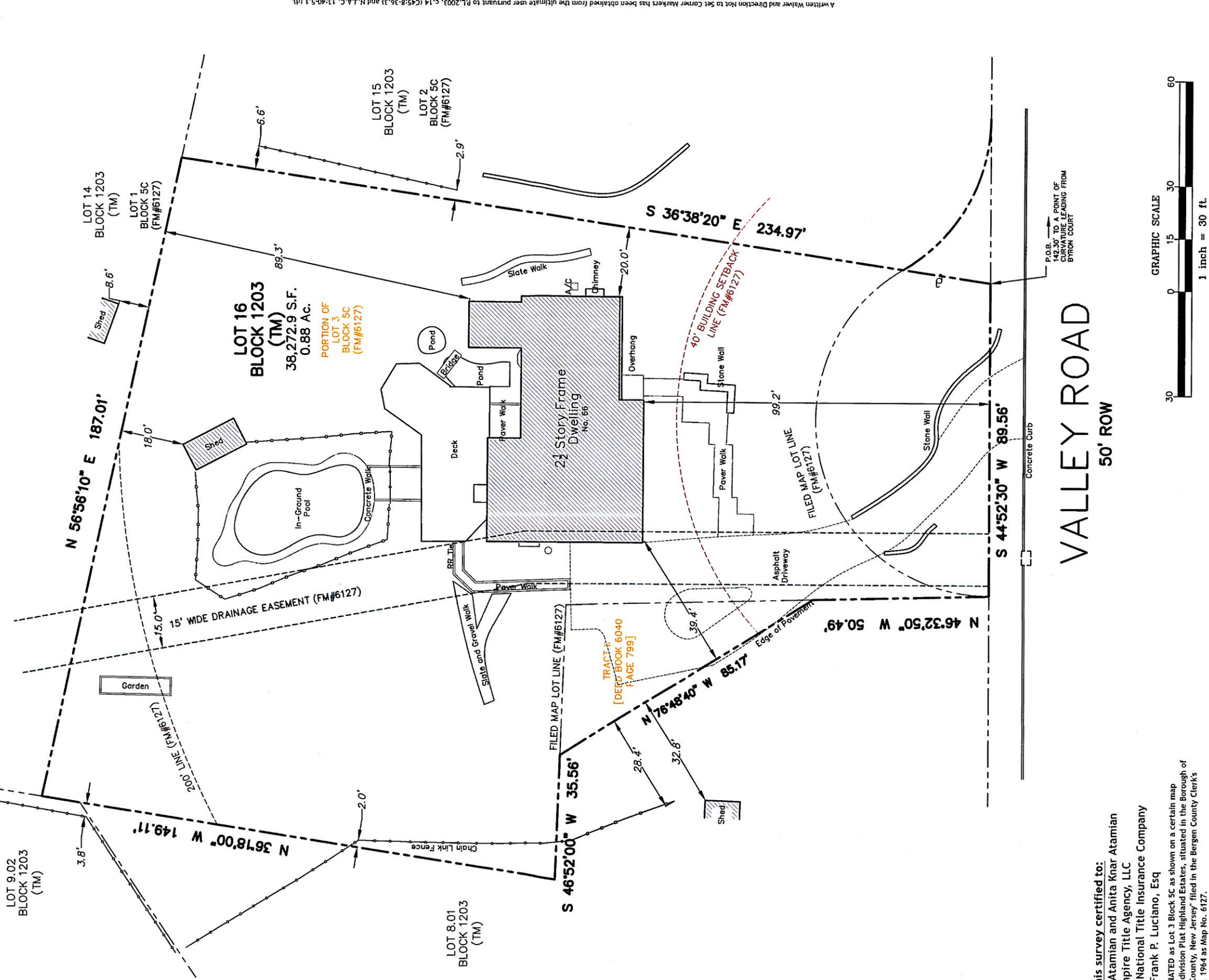
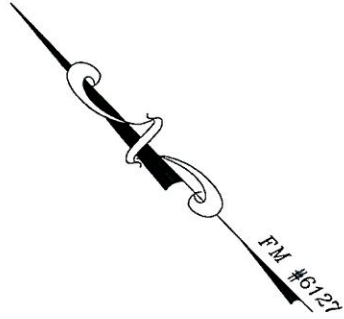


Alex Atamian

66 Valley Rd

Allendale NJ 07401

917-575-4205



This survey certified to:
Alex Sevag Atamian and Anita Knar Atamian
Empire Title Agency, LLC
Old Republic National Title Insurance Company
Frank P. Luciano, Esq

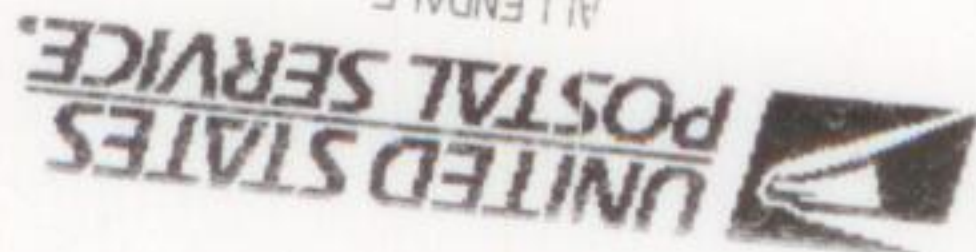
KNOWN AND DESIGNATED as Lot 3 Block 5C as shown on a certain map entitled, "Final Subdivision Plat Highland Estates, situated in the Borough of Allendale, Bergen County, New Jersey" filed in the Bergen County Clerk's Office on March 17, 1964 as Map No. 6127.

Notes:
Field Survey Performed on 08/05/22
Subject to an accurate title search
Subject to documents of record

I declare that this plan is based on actual field survey performed by Lakeland Surveying, Inc., under my direct supervision, in accordance with N.J.A.C. 13:40-5.1 and to the best of my professional knowledge, information and belief, correctly represents the conditions found on the date of the field survey, except such easements, if any, below the surface of the lands not visible. This declaration is given solely to the above named parties for this transaction only and is not transferable. Survey is valid only if print has original raised seal of the undersigned professional. This plan is made to provide information to the title insurer so that it may insure title to the lands shown herein.



SURVEY OF PROPERTY Tax Lot 16 - Block 1203 66 Valley Road, Borough of Allendale Bergen County, New Jersey			PROJECT NUMBER 222798		REFERENCE NUMBER ET-6127		SCALE 1"=30'		DATE 08/08/22	
FIELD: SG	DWN BY: JES	CHECKED: JSG	Lakeland Surveying						Certificate of Authorization #24GA28090000	
			4 West Main Street Rockaway NJ Ph: (973) 625-5670 Fx: (973) 625-4121 www.LakelandSurveying.com						Marc J. Cifone PROFESSIONAL LAND SURVEYOR	
									Jeffrey S. Grunn PROFESSIONAL LAND SURVEYOR	
									Marc J. Cifone N.J. P.L.S. LIC. No. 24GS04132900 Jeffrey S. Grunn N.J. P.L.S. LIC. No. 24GS04339900	



ALLENDALE
2 MYRTLE AVE
ALLENDALE, NJ 07401-9992
(800) 275-8777

10/29/2022

Product Qty Unit Price
11:59 AM

Grand Total: \$101.20
Credit Card Remit \$101.20
Card Name: MasterCard
Account #: XXXXXXXXXX4562
Approval #: 079560
Transaction #: 693
AID: A000000041010
AL: MASTERCARD
PIN: Not Required
Chip

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Clerk: 13

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Street and Apt. No., or PO Box No. David & Maria Rahal 100 Valley Rd

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Alendale, NJ 07401

Sent To: Bergen County Planning Board
Bergen County Plaza
Hackensack, NJ 07601

PS Form 3800, April 2015 PSN 7530-02-000-9047

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Alendale, NJ 07401

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31 Valley Rd
Alendale, NJ 07401

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8 Byron Ct.
Alendale, NJ 07401

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ALLENDALE, NJ 07401

7022 0410 0002 4248 7595

7022 0410 0002 4248 7588

7022 0410 0002 4248 7571

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For delivery information, visit our website at www.usps.com.

PS Form 3800, April 2015 PSN 7530-02-000-9047

Sent To: Patricia Graf
 114 Valley Rd
 Allendale, NJ 07401

City, State, ZIP+4®

Postage: \$0.60
 Total Postage and Fees: \$4.60

10/29/2022

Postmark: 2022 OCT 29 130
 ALLLENDALE, NJ 07401

Extra Services & Fees (check box, add fee as appropriate):
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Certified Mail Fee: \$4.00

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com.

PS Form 3800, April 2015 PSN 7530-02-000-9047

Sent To: Chirag & Patel Anur
 81 Valley Rd
 Allendale, NJ 07401

City, State, ZIP+4®

Postage: \$0.60
 Total Postage and Fees: \$4.60

10/29/2022

Postmark: 2022 OCT 29 130
 ALLLENDALE, NJ 07401

Extra Services & Fees (check box, add fee as appropriate):
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Certified Mail Fee: \$4.00

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com.

PS Form 3800, April 2015 PSN 7530-02-000-9047

Sent To: PSE # G
 20 Van Voorssen Dr
 Oakland, NJ 07436

City, State, ZIP+4®

Postage: \$0.60
 Total Postage and Fees: \$4.60

10/29/2022

Postmark: 2022 OCT 29 130
 ALLLENDALE, NJ 07401

Extra Services & Fees (check box, add fee as appropriate):
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Certified Mail Fee: \$4.00

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com.

PS Form 3800, April 2015 PSN 7530-02-000-9047

Sent To: Marc & Nicole Dehler
 114 Valley Rd
 Allendale, NJ 07401

City, State, ZIP+4®

Postage: \$0.60
 Total Postage and Fees: \$4.60

10/29/2022

Postmark: 2022 OCT 29 130
 ALLLENDALE, NJ 07401

Extra Services & Fees (check box, add fee as appropriate):
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Certified Mail Fee: \$4.00

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com.

PS Form 3800, April 2015 PSN 7530-02-000-9047

Sent To: Mark & Jean Onufak
 20 Byron Ct
 Allendale, NJ 07401

City, State, ZIP+4®

Postage: \$0.60
 Total Postage and Fees: \$4.60

10/29/2022

Postmark: 2022 OCT 29 130
 ALLLENDALE, NJ 07401

Extra Services & Fees (check box, add fee as appropriate):
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Certified Mail Fee: \$4.00

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com.

PS Form 3800, April 2015 PSN 7530-02-000-9047

Sent To: Sean Merten
 73 Forest Rd
 Allendale, NJ 07401

City, State, ZIP+4®

Postage: \$0.60
 Total Postage and Fees: \$4.60

10/29/2022

Postmark: 2022 OCT 29 130
 ALLLENDALE, NJ 07401

Extra Services & Fees (check box, add fee as appropriate):
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Certified Mail Fee: \$4.00

7022 0410 0002 4248 6116

7022 0410 0002 4248 7649

7022 0410 0002 4248 7632

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Sent To: **Verizon New Jersey**
 Street and Apt. No., or PO Box No. **114 Paterson St.**
 City, State, ZIP+4® **Paterson, NJ 07501**

Postmark: **ALLENDALE NJ 07501**
 10/29/2022

Postage: \$0.60
 Total Postage and Fees: \$4.60

Extra Services & Fees (check box, add fee as appropriate):
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Certified Mail Fee \$4.00

For delivery information, visit our website at www.usps.com.

7022 0410 0002 4248 7663

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Sent To: **Donald & Elizabeth Whitman**
 Street and Apt. No., or PO Box No. **27 Byron Ct**
 City, State, ZIP+4® **Allendale, NJ 07401**

Postmark: **ALLENDALE NJ 07401**
 10/29/2022

Postage: \$0.60
 Total Postage and Fees: \$4.60

Extra Services & Fees (check box, add fee as appropriate):
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Certified Mail Fee \$4.00

For delivery information, visit our website at www.usps.com.

7022 0410 0002 4248 7687

October 28th 2022

66 Valley Rd Landscape Plan

The tree removal plan consist of removing 28 trees on the property. These have been identified by the home owners insurance as well as the arborist as "dangerous". They are classified as "dangerous" since they are overgrown over the house and are in close contact with the house as well as other structures on the property. There are also trees that are leaning and have grown over neighboring properties which the insurance company has requested be removed.

In conjunction with removing the trees, we are planning on saving 8 trees on the property. We are only trying to become compliant with the insurance company request and the arborists recommendations.

Once the tree removal and construction is complete the landscape plan at 66 Valley Road will consist of the following.

- Plant shrubs/bushes as well as flowers in the front of the house. Dress the flower/shrub beds with mulch.

- Plant 4' green giant (or similar) along the driveway at the property line

- Plant 4' green giant (or similar) along the fence line on the lot 15 side of the property

As requested by the home owners insurance, new landscaping that is to be planted will not be in contact with or over any structures/driveway on the property.



Alex Atamian

66 Valley Rd

Allendale NJ 07401

917-575-4205

Payment Receipt

Monday, October 31, 2022

Transaction Type: Payment

Order Number: 0005471912

Payment Method: Credit Card

Bad Debt: -

Credit Card Number: XXXXXXXXXXXX4562

Credit Card Expire Date: 6/28/2025

Payment Amount: 46.70

Reference Number: 06282Q

Charge to Company: **BER-Bergen**

Category: Classified

Credit to Transaction Number: P1150867

Invoice Text:

Invoice Notes:

Customer Type: Transient

Customer Category:

Customer Status:

Customer Group:

Customer Trade:

Account Number:

Phone Number: 8334938324

Company / Individual: **Company**

Customer Name: ALEX ATAMIAN

Customer Address: 66 VALLEY ROAD

ALLENDALE

NJ

07401

USA

Check Number:

Routing Number:

Classified Ad Receipt
(For Info Only - NOT A BILL)

Customer: ALEX ATAMIAN
Address: 66 VALLEY ROAD
ALLENDALE NJ 07401
USA

Ad No.: 0005471912
Pymt Method Credit Card
Net Amount 46.70

Run Times: 1

No. of Affidavits: 1

Run Dates: 11/04/22

Text of Ad:

**LAND USE BOARD
BOROUGH OF ALLENDALE
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that the Land Use Board of the Borough of Allendale will hold a public hearing on November 14, 2022, at 7:30 pm in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, New Jersey 07401 on the application of Alex Atamian, 66 Valley Road, Allendale, NJ 07401, Block No. 1203, Lot No. 16 for a hardship variance from Section 270-64-B(3) of the zoning ordinance of the Borough of Allendale, and for any other variances or waivers that the Board may deem necessary, for the purpose of an addition off the rear of the house, an addition above the existing garage and a front porch.
RECORD 0005471912 (26)
11/4/2022 Fee: \$11.70

ALLENDALE LAND USE BOARD
APPLICATION CHECK LIST

NAME Nicholas & Kristine Luisi BLOCK 2204 LOT 1
ADDRESS 735 W Crescent Ave, Allendale, NJ 07401
ZONE AA TYPE OF VARIANCE Hardship
BRIEF DESCRIPTION OF APPLICATION Second Floor Addition and Pool House
SPECIFIC VARIANCE(S) REQUIRED 270-64B(2)

ADMINISTRATIVE REQUIREMENTS

STATUS

1. Application form complete
2. Fee paid
3. Denial by Building Inspector
4. Affidavit of Service
5. Proof of Publication
6. Taxes Current
7. Plot Plan
8. Maps
9. Photographs
10. Email address
11. Miscellaneous

✓
✓
✓
✓
✓
✓
✓
✓
✓
✓
n/a

10/27/2022

Date

Nicholas & Kristine Luisi

Applicant's Signature

REQUIRED MATERIALS AND CHECKLIST FOR ALLENDALE LAND USE BOARD HEARINGS

This checklist and attached sample drawings are provided to ensure that you or your professionals are prepared for your hearing and that your application is complete. All items should be supplied to the extent that they are applicable to the specific application. If information is insufficient or missing, the board may deem your application incomplete and adjourn your hearing until it receives all necessary documentation. Please create 15 packets of the below information.

I. PROVIDE AN ACCURATE SURVEY FOR THE PROPERTY IN QUESTION WHICH CONTAINS THE FOLLOWING INFORMATION:

- ☒ 1. Footprint of existing buildings or structures.
- ☒ 2. Precise distances from all property lines to closest point of principal building including steps, deck or other extensions of the building.
- ☒ 3. The location and precise distances of accessory buildings, such as garages and sheds, to property lines and the principal building or structure.
- ☒ 4. The location and dimensions of steps, patios, driveways, decks, pools and all other improved impervious areas and their precise distances to nearest property line and structures.
- ☒ 5. An accurate depiction of the proposed construction or alteration including the information requested in 1, 2, 3 and 4 above.
- ☒ 6. The precise distances from all property lines to the closest point of the proposed construction.

II. AN ENLARGED TAX MAP DEPICTING PROPERTY IN QUESTION AND ITS RELATIONSHIP TO NEIGHBORING PROPERTIES.

- ☒ 1. The precise distances from the existing buildings or structure in question to the closest point of all neighboring buildings and structures.
- ☒ 2. The precise distances from the proposed construction to the closest point of all neighboring buildings and structures.

III. STRUCTURAL DIMENSIONS:

- ☒ 1. All dimensions of existing building or structure.
- ☒ 2. All dimensions of proposed building or structure.

- ☒ 3. Height of existing building or structure.*
- ☒ 4. Height of proposed building or structure.*
*(height to be measured from lowest point of the ground that abuts the foundation of the structure to the highest point on the roof.)

- ☒ 5. Front, rear and side elevations of the proposed structure.

IV. FLOOR PLANS.

- ☒ 1. Floor plans of the existing interior of the building containing all relevant dimensions.
- ☒ 2. Floor plans of the interior of the proposed construction containing all relevant dimensions.
- ☒ 3. Precise square footage of the existing building.
- ☒ 4. Precise square footage of the proposed construction.
- ☒ 5. Floor area ratio calculation pursuant to Section 270-63 of the zoning ordinance (required for all applications)

V. PHOTOGRAPHS.

- ☒ 1. Photographs of the property in question and existing improvements may be helpful to the Board in presenting your information.
- ☒ 2. Photographs of views from the existing building or structure to neighboring properties and buildings which show existing plantings or other buffers are also helpful and may be requested by the Board.

(All photographs should be taken by you or someone who can testify to the Board as to when they were taken and that the photographs represent an accurate depiction of what they saw at the time.)

VI. LANDSCAPING AND LAND FEATURES.

- ☒ 1. The survey, plat or plan should locate and describe any proposed landscaping to be done in connection with the application.
- ☒ 2. The location of any unusual property features should be indicated, such as flood plain, streams, wooded areas, rock outcroppings or steep slopes.

VII. PREVIOUS APPLICATIONS.

- n/a 1. Applicants should be prepared to discuss prior applications to the Land Use Board, Board of Adjustment and Planning Board and the results thereof.

VIII. Any additional information which may be deemed necessary by the Land Use Board, its Consultants or Borough departments and agencies.

NOTE: ALL DIMENSIONS AND DISTANCES MUST BE DEPICTED TO SCALE ON DRAWINGS AND PLANS. *11 x 17 plans and PDF.*

Any questions regarding your hearing or the checklist should be directed to the Land Use Administrator at the Borough of Allendale Municipal Building 201-818-4400 x212. Please submit fifteen (15) packets with copies of all drawings and plans to the Land Use Administrator at least ten (10) days prior to the hearing. It is suggested that the property owner refer to the appropriate building code to assure proper engineering and construction techniques, or to secure the services of a local, reputable architect and/or engineer.

10/27/2022

Date



Signature

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of Nicholas & Kristine Luisi
shows that on or about the 21st day of October, 2022
an application to the Zoning Official for the purpose of (describe intended
action) Second Floor Addition and Pool House.

on the premises located at (street address) 735 W Crescent Ave, Allendale, NJ 07401
Block 2204 Lot 1

as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that
after due consideration the Zoning Enforcement Officer did on the 25th day of October, 2022
decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement
Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of
appeal with said Officer, together with the required fee of \$500, and requests that
action of the Zoning Enforcement Officer be reversed or modified as the facts may be
determined, and applicant further requests that a day be fixed for hearing on this appeal and
states that the proper notice will be given to all owners of property situated within two hundred
(200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

An application is hereby made for a (Hardship) (Floor Area Ratio) (Use) variance from the terms
of Article(s) and Section(s) 270-64B(2)
of the Zoning Ordinance so as to
permit Second Floor Addition and Pool House.

Nicholas Luisi & Kristine Luisi
Signature of Applicant

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 1 Block(s) 2204
Street Address 735 W Crescent Ave, Allendale, NJ 07401
Applicant Nicholas & Kristine Luisi Address 735 W Crescent Ave, Allendale, NJ 07401
Owner Nicholas & Kristine Luisi Address 735 W Crescent Ave, Allendale, NJ 07401
Lessee _____ Address _____
Last Previous Occupancy 48 Ash Street, Westwood, NJ 07675
Size of Lot 47,944 sq ft
Floor area ratio calculation 8.88%
Percentage of lot occupied by building(s) 8.48%
Height of building(s) 2 1/2 stories 27 feet
Set back from front property line 82.97 ft. From side (if corner lot) _____ ft.
Zoning requirements – Frontage 40', side yards 20', set-back _____, rear yard 50'
"Prevailing set-back" of adjoining buildings within one block _____
Has there been any previous appeal involving these premises? No
If so, state character of appeal and date of disposition _____

Proposed use: Second Floor Addition and Pool House

This application for a use variance includes an application for subdivision _____, site plan _____, conditional use _____ approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) Fifteen (15) copies of all application documents
- (c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified "location map" and clearly indicate such buildings and their approximate location, together with "prevailing set-back" dimensions.
- (d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

Date: 10/27/2022


Signature of Applicant or Agent



**BOROUGH OF
ALLENDALE**

CODE ENFORCEMENT OFFICE

500 West Crescent Avenue Allendale, NJ 07401

Anthony Hackett
Zoning Official

Phone: (201) 818-4400 x208
Fax: (201) 825-1913

MEMORANDUM

TO: Nicholas & Kristine Luisi
735 W Crescent Ave
Allendale, NJ 07401

FROM: Anthony Hackett, Zoning Official/Construction Official

CC: Linda Garofalo Land use Administrator

RE: Second Floor Addition, and New Pool House

DATE: October 25, 2022

The Allendale Building/Zoning Department received the following documents:

- A. Plans prepared by Chris Blake Architect, Bergenfield, NJ
- B. Survey provided on the plans by Chris Blake
- C. Borough of Allendale Zoning Review Application

I have reviewed these documents and the Borough of Allendale Zoning Ordinances and I must deny your application for the following reasons:

1) 735 W Crescent Ave. Allendale NJ, is located in the AA Zone. According to the plans, the additional square footage, (Gross Building Floor Area (GBA) of 4,666 sq ft), would require an enhanced side yard setbacks of 32.6 feet. The left side is unchanged, although it is currently non-conforming at 7.5 feet. The current side yard setback is 25.8 feet. Making the left side yard setback an additional 6.8 feet out of compliance. **See Borough Ordinance 270-64B (2)**

AFFADAVIT OF PROOF OF SERVICE

LAND USE BOARD

OF

BOROUGH OF ALLENDALE

PROOF OF SERVICE OF NOTICES REQUESTED BY STATUTE MUST BE
FILED AND VERIFIED WITH BOARD SECRETARY AT LEAST 10 DAYS PRIOR TO MEETING
OR CASE WILL NOT BE HEARD.

STATE OF NEW JERSEY)

COUNTY OF BERGEN) SS.

Nicholas Luisi, of full age, being duly sworn according to law, deposes and
says, that (s)he resides at 735 W Crescent Avenue in the municipality
of Allendale, County of Bergen, and State of New Jersey,
and that (s)he is (are) the applicant(s) in a proceeding before the Land Use Board of Allendale, New
Jersey, being an appeal or application under the Zoning Ordinance, which relates to premises at
735 W Crescent Ave, Allendale, NJ 07401 and that on October 27, 2022 (s)he gave written
notice of the hearing on this application to each and all of the persons upon whom service must be made,
in the required form and according to the attached lists, and in the manner indicated thereon.

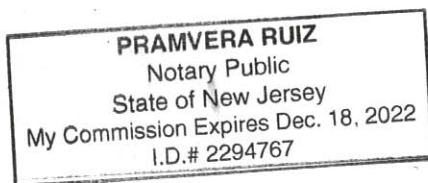
Applicant's Signature

Sworn to and subscribed before me

this 27 day of October,

20 22

NOTICE TO APPLICANT: Attach list of all persons served.



BOROUGH OF ALLENDALE

LAND USE BOARD

DATE 10/27/2022

NOTICE OF HEARING TO PROPERTY OWNERS *

(Cross out inapplicable sections)

TO WHOM IT MAY CONCERN:

In compliance with the Zoning Ordinance of the Borough of Allendale, NJ, notice is hereby served upon you to the effect that (I) (We) Nicholas & Kristine Luisi hereby propose to (give detailed information) renovate the second floor via rear dormer to expand two existing bedrooms and bathroom while adding a new walk-in closet and bathroom as well as a pool house to provide storage for pool utilities, storage, and an entertainment space.
Location 735 W Crescent Ave, Allendale, NJ 07401

The Zoning Officer of the Borough of Allendale, Bergen County, New Jersey, refused this request by reason of its being in violation of Section 270-64B(2)

of the Zoning Ordinance, from which decision (I) (We) hereby appeal. (I) (We) have applied to the Land Use Board for a (hardship) (floor area ratio), (use) variance, (together with subdivision), site plan, conditional use approval, and from any other variances or waivers that the Board may deem necessary.

Any person or persons affected by this (appeal) (application) may have an opportunity to be heard at the meeting to be held November 14, 2022, at 7:30pm in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401.

All documents relating to this application may be inspected by the public between the hours of 9 a.m. and 4:30 p.m. in the office of the Borough Clerk in the Allendale Municipal Building, 500 West Crescent Avenue, Allendale, New Jersey 07401.



Signature

Note: This Notice must be personally Served or sent by certified or registered mail at least 10 days before the day of the hearing, and proof of service given to the Land Use Administrator.

UTILITIES LISTING

**BOROUGH OF ALLENDALE
500 W CRESCENT AVENUE
ALLENDALE, NJ 07401**

Rockland Electric – 1 Blue Hill Plaza, Pearl River, NY 10965

New Jersey Department of Transportation - POB 600, Trenton, NJ 08625

PSE&G - 20 Van Vooreen Drive, Oakland, NJ 07436

Cablevision of New Jersey - 40 Potash Rd, Oakland, NJ 07436

Verizon New Jersey - 114 Paterson Street, Paterson, NJ 07501

Bergen County Planning Board - 1 Bergen County Plaza, Hackensack, NJ 07601

OWNER & ADDRESS REPORT

ALLENDALE

200 FOOT LIST 2204/1 - 735 W CRESCENT

10/25/22 Page 1 of 1

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
1501	14		2	PARK, CHANJAI 756 W CRESCENT AVE ALLENDALE, NJ 07401	756 W CRESCENT AVE	
1502	13		2	RODLAND, ANDREW & OLGA 720 W CRESCENT AVE ALLENDALE, NJ 07401	720 W CRESCENT AVE	
1502	14		2	HUERTA, FRANK 601 90TH STREET NORTH BERGEN, NJ 07047	710 W CRESCENT AVE	
1502	1		2	MULLIGAN, M. & O'HORA, J. TRUSTEES 382 WHITE OAK SHADE ROAD NEW CANAAN, CT 06840	740 W CRESCENT AVE	
2206	1		2	CAGNEY, CRAIG & COURTNEY 320 PARK AVE ALLENDALE, NJ 07401	320 PARK AVE	
2204	2		2	D'ARGENZIO, PAUL E. & GERALYNN 723 W CRESCENT AVE ALLENDALE, NJ 07401	723 W CRESCENT AVE	
2204	3		2	GUEVARA, ERNEST & MC RAE, CHERYL 333 PARK AVE ALLENDALE, NJ 07401	333 PARK AVE	
2204	4		2	KELLY, SHANNON & JOHN 323 PARK AVENUE ALLENDALE, NJ 07401	323 PARK AVE	
2204	6		2	JASPER, KYOKO 295 PARK AVE ALLENDALE, NJ 07401	295 PARK AVE	
2203	9		2	MARINO, CHRISTOPHER J. & JOANNE 12 PRINCETON RD ALLENDALE, NJ 07401	12 PRINCETON RD	
2203	10		2	ELMAN, STEPHEN & AMY 45 CAMBRIDGE DRIVE ALLENDALE, NJ 07401	45 CAMBRIDGE DR	
2203	11		2	HASCUP, BRIAN & LISA 48 CAMBRIDGE DR ALLENDALE, NJ 07401	48 CAMBRIDGE DR	
2203	12		2	GUEVARA, JOHN & SARA 44 CAMBRIDGE DR ALLENDALE, NJ 07401	44 CAMBRIDGE DR	
2203	14		2	DIAZ, DERRICK W. & EMMA JANE MACNAIR 36 CAMBRIDGE DR ALLENDALE, NJ 07401	36 CAMBRIDGE DR	
2203	20		2	BARRA, VINCENT & ROSEANN 7 CEELY CT ALLENDALE, NJ 07401	7 CEELY CT	
2203	1		2	BARABAS PAUL A & ANNE D 755 W CRESCENT AVE ALLENDALE, N.J. 07401	755 W CRESCENT AVE	
2203	2		2	TAYLOR, PETER & SAVIANO, GIULIA 775 W CRESCENT AVE ALLENDALE, NJ 07401	775 W CRESCENT AVE	
2203	13		2	LABBATE, KEITH & CATHERINE 40 CAMBRIDGE DR ALLENDALE, NJ 07401	40 CAMBRIDGE DR	

North Jersey Media Group

Classified Ad Receipt (For Info Only - NOT A BILL)

Customer: NICK LUISI
Address: 735 WEST CRESCENT AVENUE
ALLENDALE NJ 07401
USA

Ad No.: 0005466824
Pymt Method Credit Card
Net Amount 49.40

Run Times: 1

No. of Affidavits: 1

Run Dates: 10/31/22

Text of Ad:

NOTICE IS HEREBY GIVEN that the Land Use Board of the Borough of Allendale will hold a public hearing on November 14, 2022 at 7:30pm in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401 on the application of Nicholas & Kristine Luisi at 735 West Crescent Avenue, Allendale, NJ 07401 Block No. 2204, Lot No. 1 for a hardship variance from Section 270-64B(2) of the zoning ordinance of the Borough of Allendale, and for any other variances or waivers that the Board may deem necessary, for the purpose of a second floor addition and pool house. The addition includes a rear dormer for the expansion of two existing bedrooms and bathroom as well as the new walk-in closet and bathroom. The pool house provides coverage for pool utilities, storage, and an entertainment space near the existing pool. Nicholas & Kristine Luisi, 735 West Crescent Avenue, Allendale, NJ 07401.

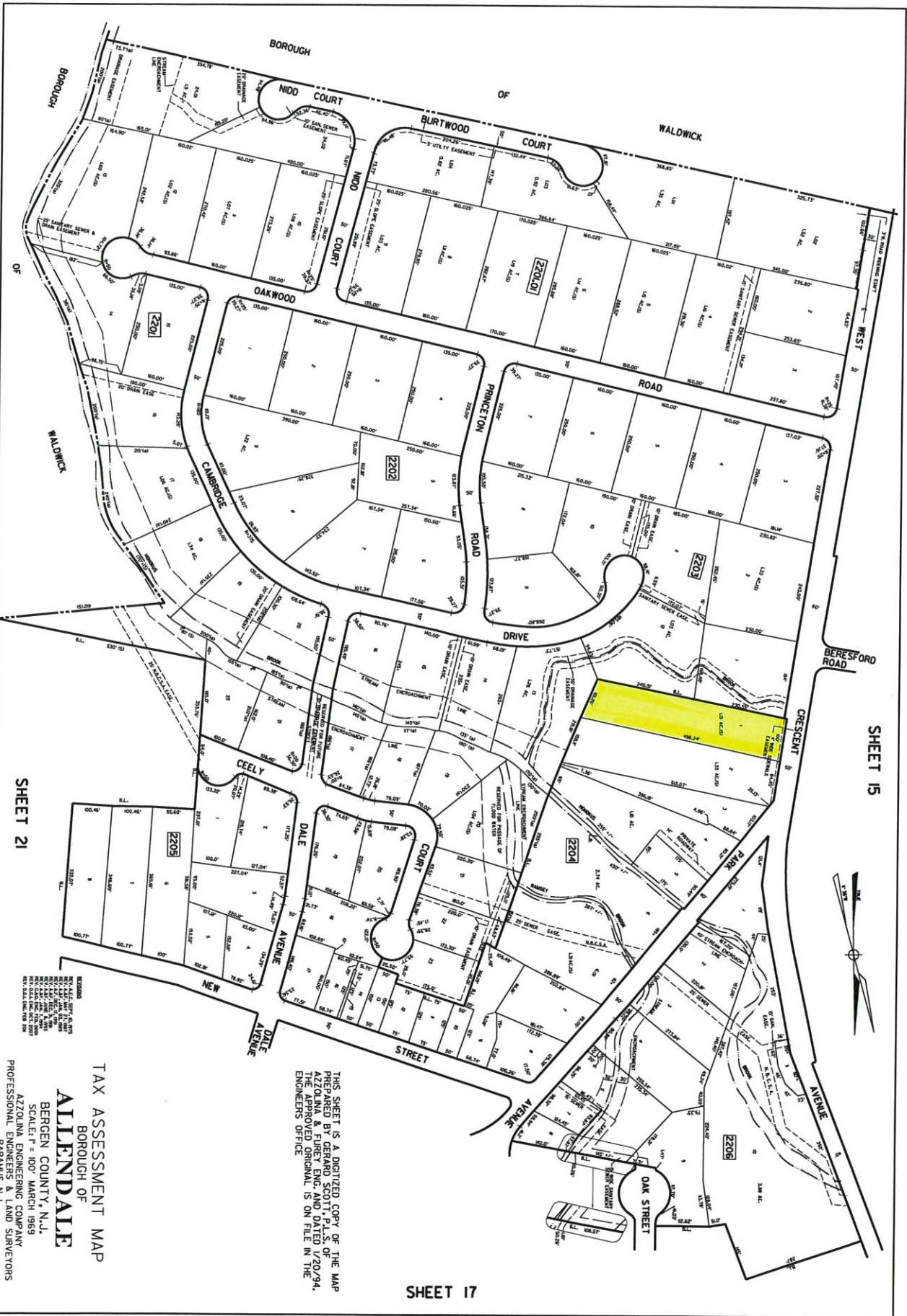
Record 10/31/22
Fee:\$14.40 (30) 0005466824

BLQ: 2204. 1. Tax Year: 2022 to 2022
Owner Name: LUISI, NICHOLAS & KRISTINE B Property Location: 735 W CRESCENT AVE

Tax Year: 2022	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	5,971.75	5,971.74	5,880.79	5,694.85	23,519.13
Payments:	5,971.75	5,971.74	5,880.79	5,694.85	23,519.13
Balance:	0.00	0.00	0.00	0.00	0.00

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2022 Prin Balance
		Description								
		Original Billed						23,519.13		23,519.13
01/31/22	1	Payment h/o	001	686	CK	8388	13 COUNTER	5,971.75	0.00	17,547.38
05/02/22	2	Payment h/o	001	591	CK	8589	21 COUNTER	5,971.74	0.00	11,575.64
08/03/22	3	Payment h/o	001	602	CK	8832	3 COUNTER	5,880.79	0.00	5,694.85
10/21/22	4	Payment h/o	001	612	CK	9051	8 COUNTER	5,694.85	0.00	0.00

Total Principal Balance for Tax Years in Range: 0.00















Nicholas Luisi

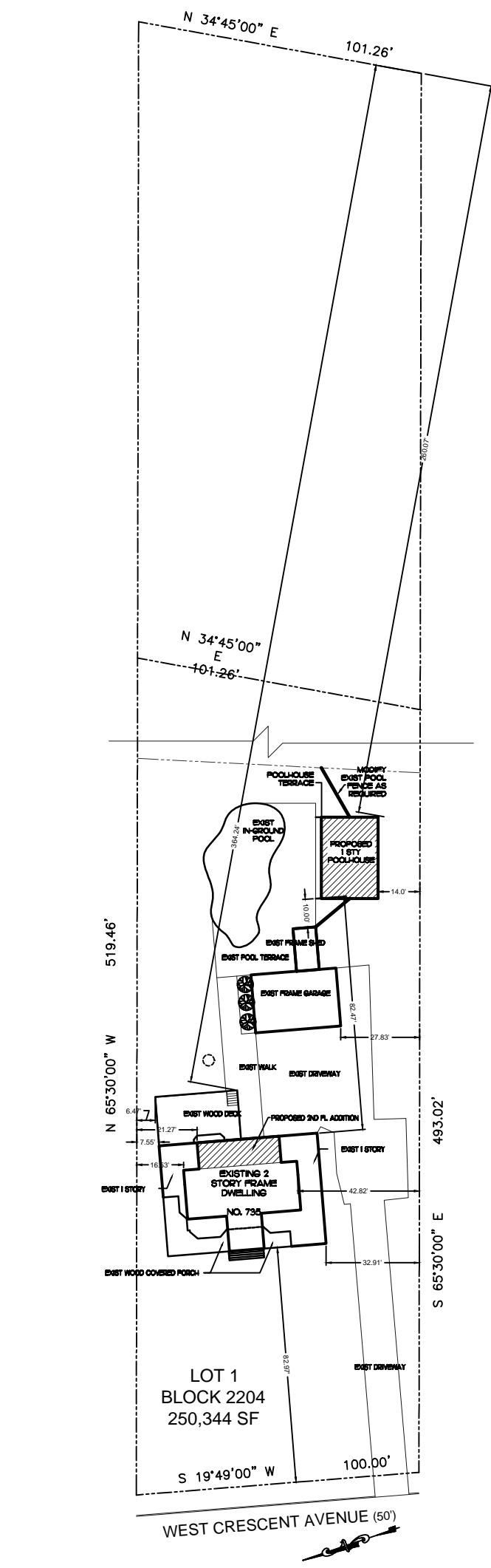
551-265-9543

nicholasluisi@gmail.com

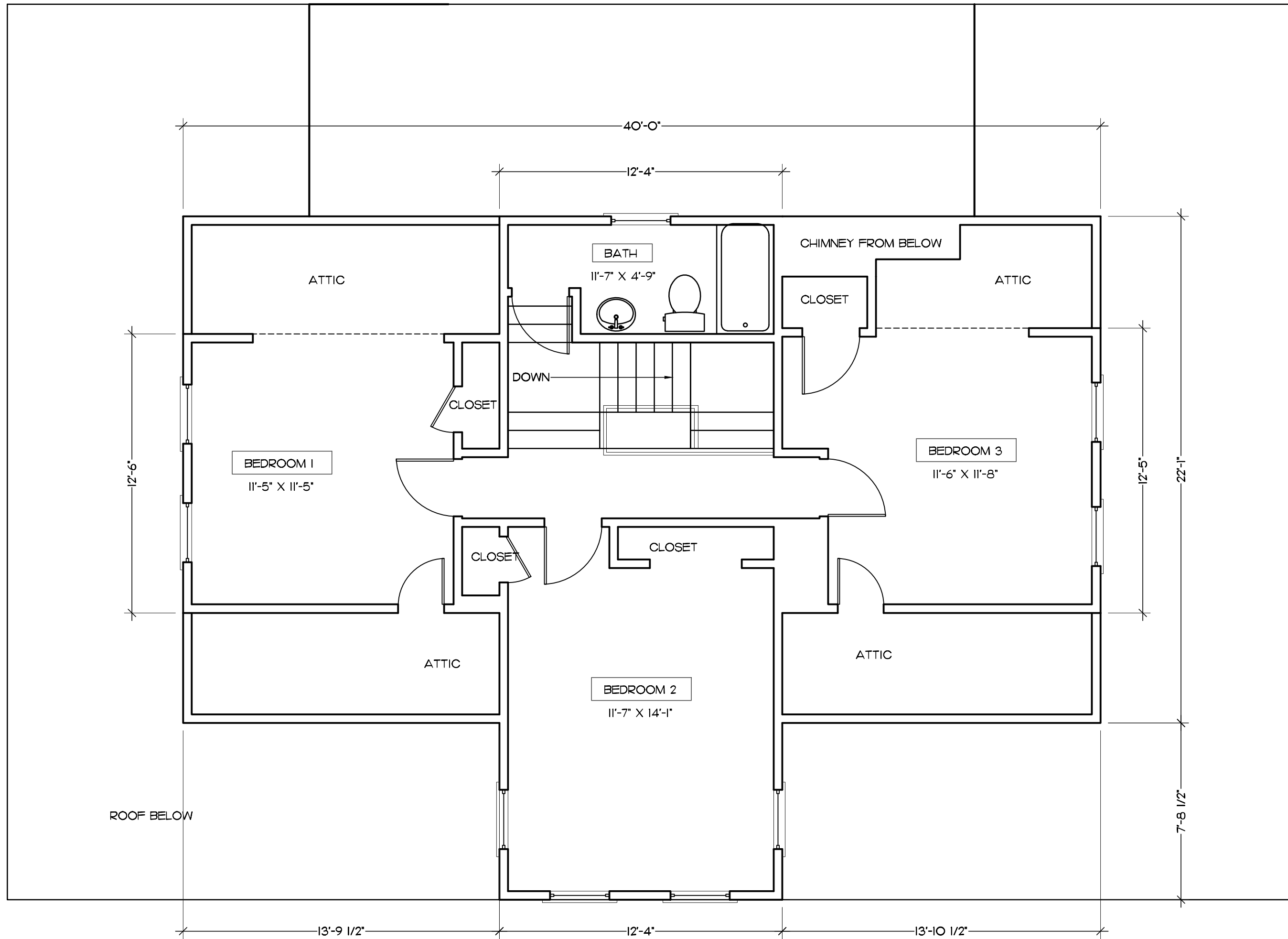
Kristine Luisi

201-741-3606

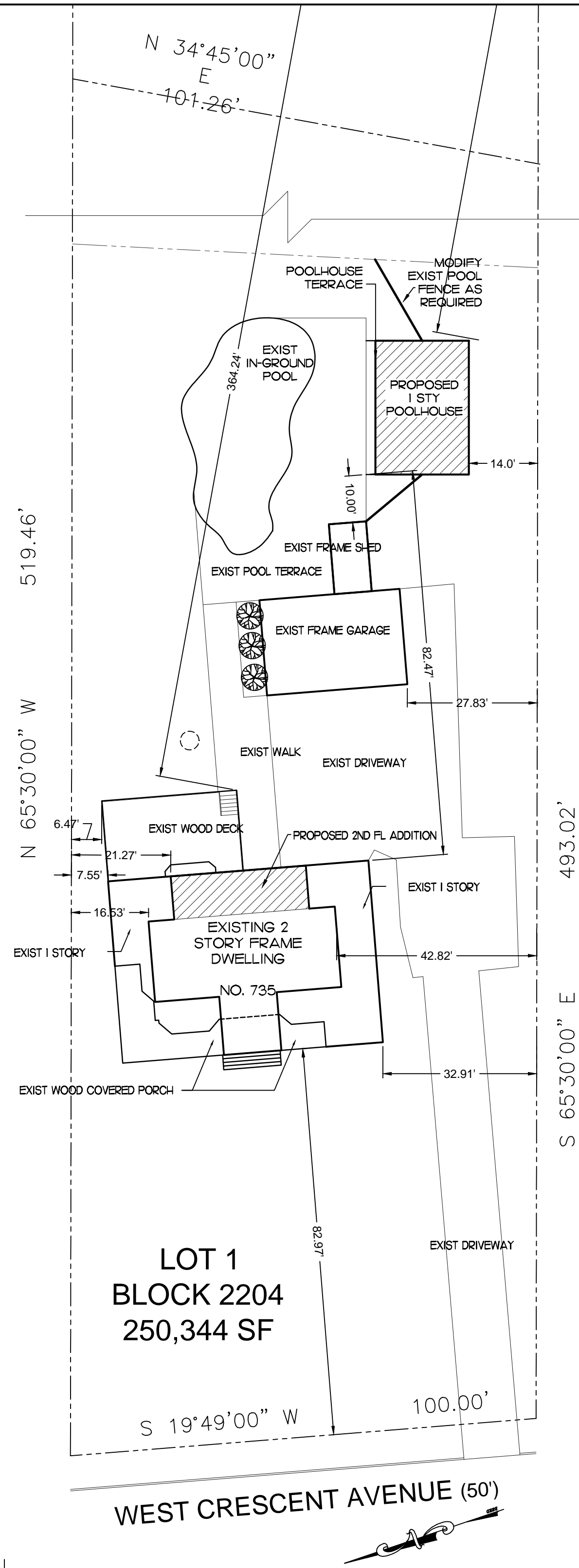
kristine.antony@gmail.com



KEY MAP
1" = 50'-0"



X2 EXIST SECOND FLOOR PLAN
1/4" = 1'-0" EXISTING AREA - 707 SQ FT (OVER 6'-0" APP)



SITE PLAN
1" = 20'-0"

INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY FURNISHED TO THE ARCHITECT BY THE HOMEOWNER.

LUISI PROPERTY ZONING ANALYSIS				
ALLENDALE ZONE: AA - RESIDENTIAL ONE FAMILY ZONE	LOT 1 BLOCK 2204		LOT AREA: 47,944 SF	
ZONING	REQUIRED	EXISTING	PROPOSED	STATUS
MIN. LOT AREA	25,000 SF	47,944 SF	NO CHANGE	CONFORMS
MIN. LOT WIDTH	130.00'	100.00'	NO CHANGE	EXISTING
LOT DEPTH	N/A	493.02'	NO CHANGE	CONFORMS
FRONT YARD SETBACK	40.0'	82.97'	NO CHANGE	CONFORMS
REAR YARD SETBACK	50.00'	364.25'	NO CHANGE	CONFORMS
SIDE YARD SETBACK (LEFT)	32.6' +	7.55'	NO CHANGE	EXISTING
SIDE YARD SETBACK (RIGHT)	32.6' +	32.91'	NO CHANGE	CONFORMS
MAX FLOOR AREA RATIO (FAR)	17.41% (8347 SF)	7.69% (3687 SF)	8.88% (4260 SF)	CONFORMS
MAX BLDG COVERAGE	N/A	7.29% (3493 SF)	8.48% (4066 SF)	CONFORMS
MAX IMPERVIOUS COVERAGE	25.12% (12,043 SF)	21.34% (10,233 SF)	22.84% (10,949 SF)	CONFORMS
BUILDING HEIGHT	2-1/2 STY / 35.0'	2-1/2 STY - 27.0'	NO CHANGE	CONFORMS
ACCESSORY BLDG HEIGHT	2 STY / 21.0'	--	1 STY / 15.0'	CONFORMS
ACCESS. BLDG STBCK (F/ PRINCIPLE)	10.0'	--	82.47'	CONFORMS
ACCESS. BLDG STBCK (F/ ACCESS)	6.0'	--	10.0'	CONFORMS
ACCESSORY REAR YARD SETBACK	10.0'	--	260.07'	CONFORMS
ACCESSORY FRONT YARD SETBACK**	SEE NOTE	--	SEE NOTE	VARIANCE

* SIDE YARD SETBACK = GROSS BUILDING AREA (GBA) X .007

** UNLESS OTHERWISE PROVIDED HEREIN, IN RESIDENCE ZONE DISTRICTS

(1) IN THE CASE OF AN INTERIOR LOT FRONTING UPON ONLY ONE STREET, NO ACCESSORY BUILDING SHALL BE ERECTED OR ALTERED SO AS TO ENROACH UPON THAT HALF OF THE LOT DEPTH NEAREST THE STREET.

LEGEND

- EXISTING 2 X 4 WOOD CONSTRUCTION TO REMAIN
- EXISTING 2 X 4 WOOD CONSTRUCTION TO BE REMOVED
- NEW 2 X 4 OR 2 X 6 WOOD CONSTRUCTION, 16" OC (W.O.N.)
- EXISTING CONCRETE CONSTRUCTION TO REMAIN
- EXISTING CONCRETE CONSTRUCTION TO BE REMOVED
- NEW POURED OR MASONRY CONC CONSTRUCTION

FLOOR ABOVE OR BELOW
NEW JOISTS, RAFTERS, ETC.
NEW GIRDERS, RIDGEBEAMS, ETC.

BUILDING COVERAGE CALCULATIONS:

AREA IN SQUARE FEET	EXIST	NEW	TOTAL
HABITABLE BUILDING AREA	1838	0	1838
REAR DECK	539	0	539
POOL HOUSE	0	573	573
DETACHED GARAGE	616	0	616
REAR SHED	120	0	120
COVERED FRONT PORCH	380	0	380
TOTAL BUILDING COVERAGE	3493	573	4066

IMPERVIOUS COVERAGE CALCULATIONS:

AREA IN SQUARE FEET	EXIST	NEW	TOTAL
BUILDING COVERAGE	3493	573	4066
DRIVEWAY	3860	0	3860
POOL + TERRACE	2200	143	2343
STEPS, LANDINGS + WALKS	680	0	680
TOTAL IMPERVIOUS COVERAGE	10,233	716	10,949

FLOOR AREA RATIO CALCULATIONS:

AREA IN SQUARE FEET	EXIST	NEW	TOTAL
DETACHED GARAGE AREA	616	0	616
REAR SHED AREA	120	0	120
POOL HOUSE	0	573	573
HABITABLE FIRST FLOOR AREA	1838	0	1838
HABITABLE SECOND FL. AREA	707	406	1113
TOTAL FLOOR AREA	3281	979	4260

BUILDING CODE INFORMATION:

NEW BUILDING + ADDITION - 2018 INTERNATIONAL RESIDENTIAL CODE -
EXISTING BUILDINGS - UCC REHABILITATION SUBCODE NJAC 5:23-6,
INTERNATIONAL ENERGY CONSERVATION CODE 2018 RESIDENTIAL
2018 INTERNATIONAL MECHANICAL CODE
2017 NATIONAL ELECTRICAL CODE
2018 NATIONAL STANDARD PLUMBING CODE
2018 INTERNATIONAL FUEL GAS CODE
NJAC 5:23-7 AND ICC / ANSI117.1-2003 ACCESSIBILITY CODE

BUILDING/SITE CHARACTERISTICS:

NUMBER OF STORIES: 2-1/2
HEIGHT OF STRUCTURE: 27.0'
AREA - LARGEST FLOOR: 1838 SF
NEW BUILDING AREA: 979 SF
VOLUME OF NEW STRUCTURE: 13,706 CF
CONSTRUCTION CLASSIFICATION: S/B
TOTAL LAND AREA DISTURBED: 716 SF

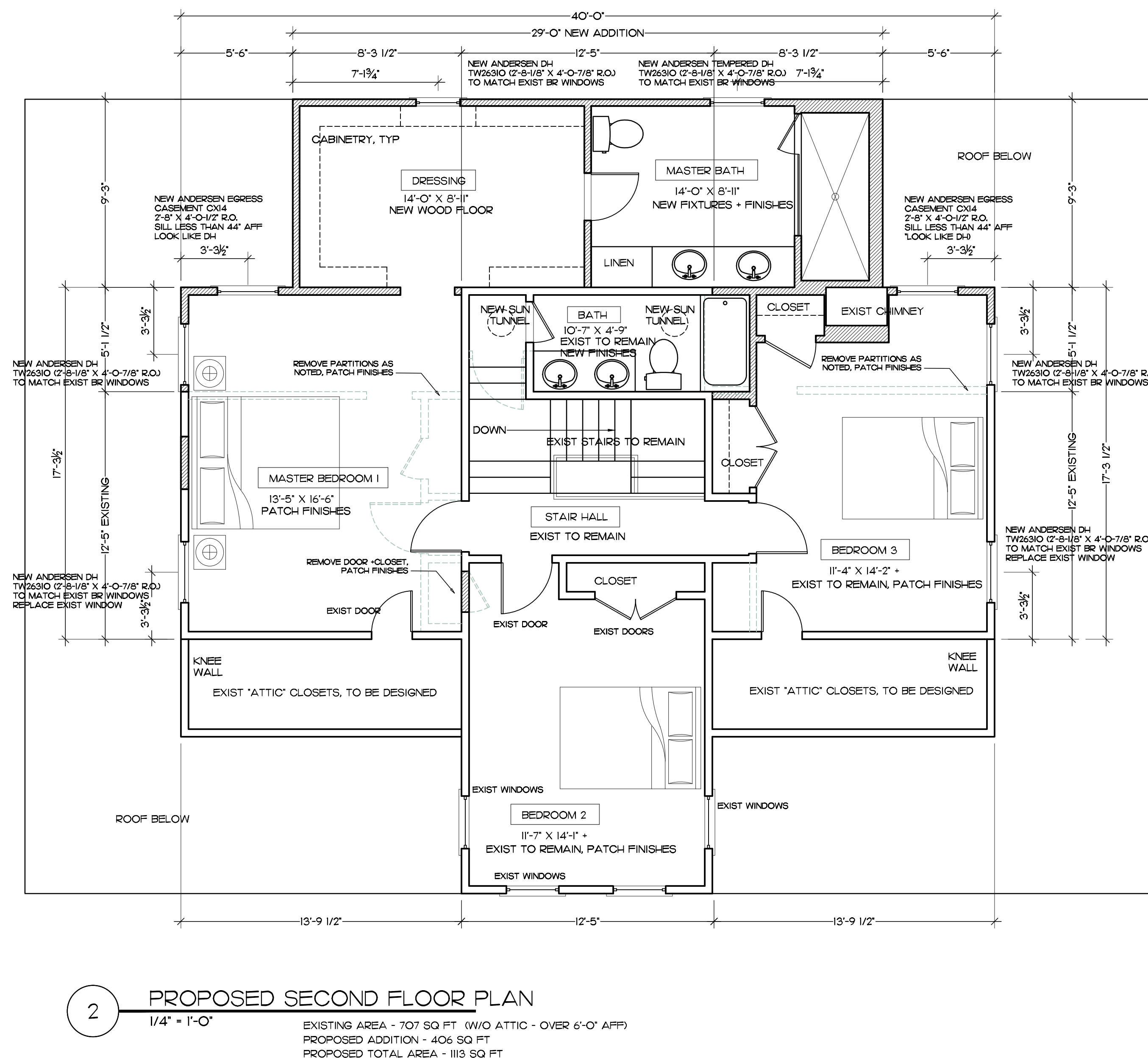
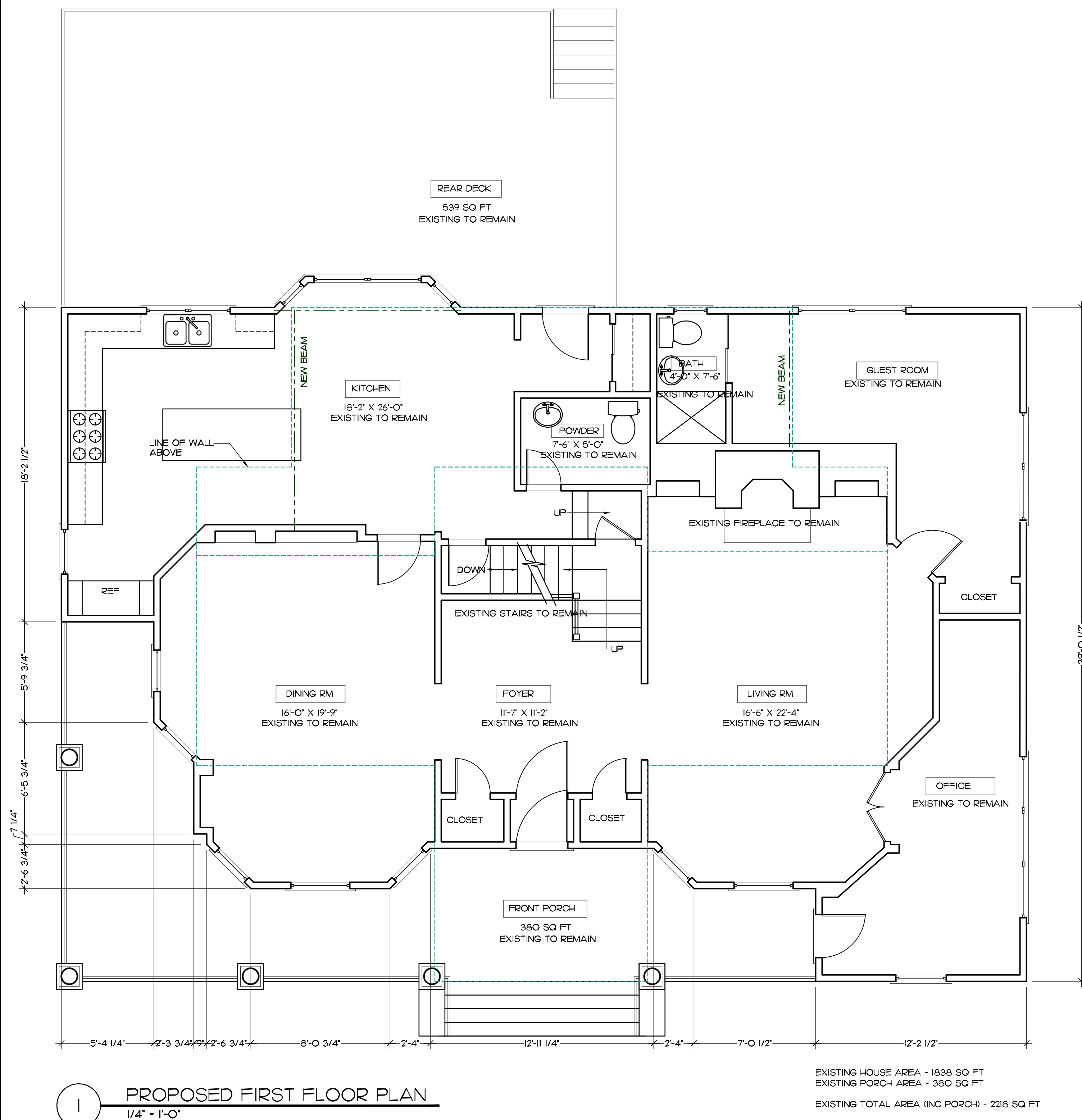
DESCRIPTION OF BUILDING USE:

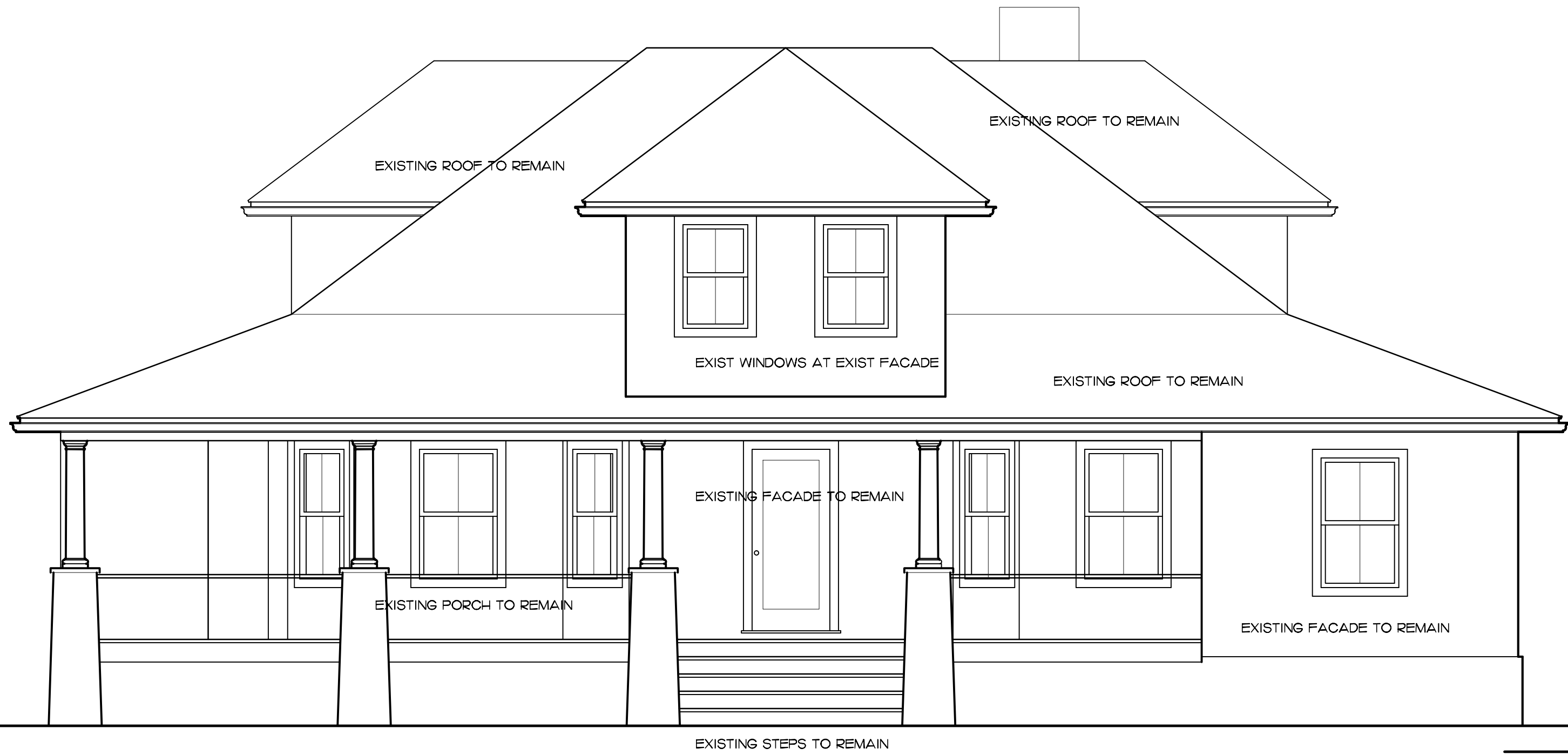
USE GROUP R-5, SINGLE FAMILY RESIDENTIAL

MAXIMUM LIVE LOADS:

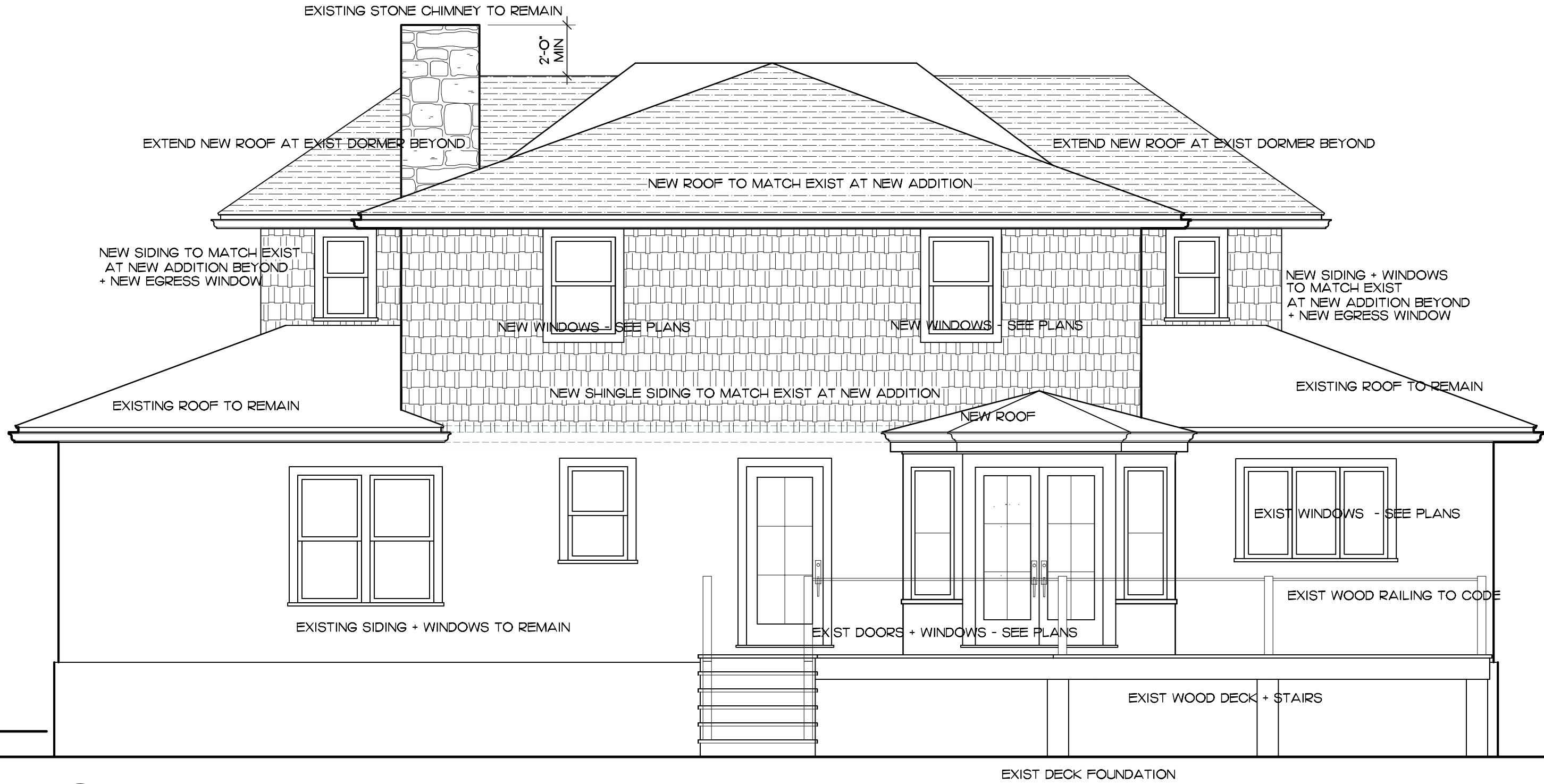
60 PSF FOR DECK / BALCONIES
40 PSF FOR FIRST FLOOR
30 PSF FOR SECOND FLOOR
30 PSF FOR ROOF SNOW LOADS

#	Date	Revision
New Addition/Renovation + Pool House for:		
Luisi Residence		
Block: 2204 Lot: 1 735 West Crescent Avenue Allendale, New Jersey		
SITE PLAN + ZONING		
Scale: AS NOTED		
Date: OCTOBER 17, 2022		
Submission: ZONING PERMIT		
Indemnification Clause: The owner shall release, hold harmless, and indemnify the Architect with respect to: any changes made to the construction documents by anyone other than the Architect, or changes in any aspect of the work, or failure by the Contractor to build in accordance with these construction documents.		
		A1

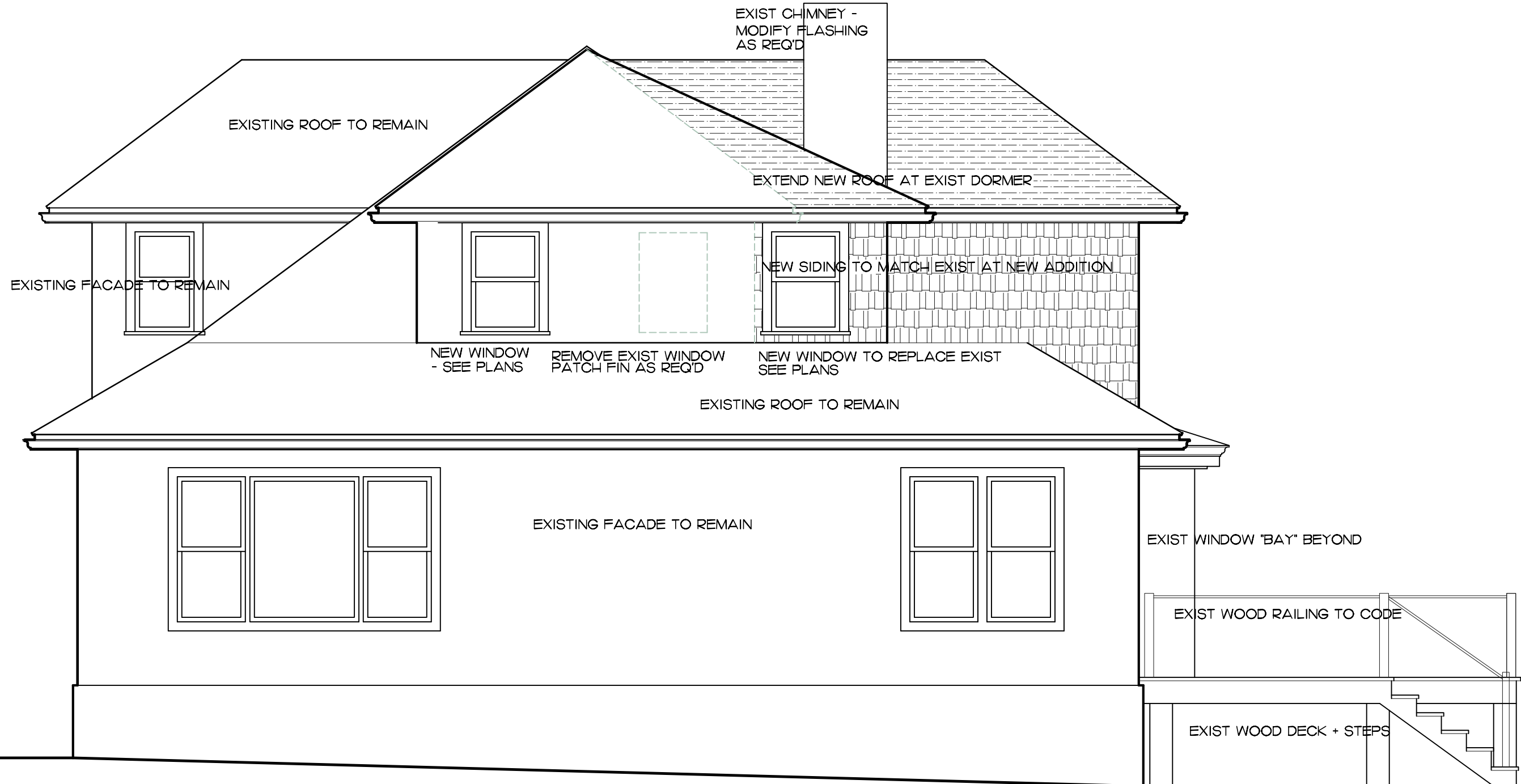




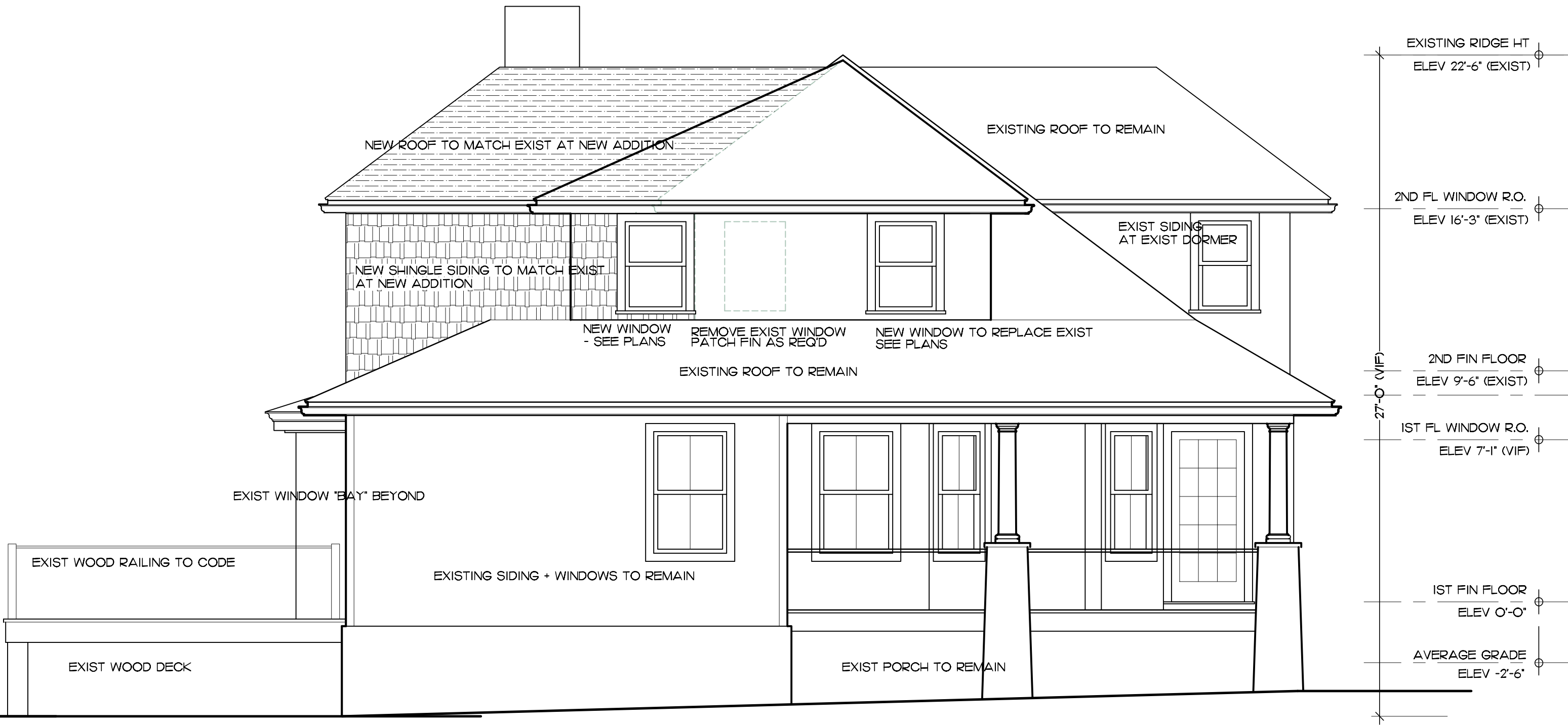
3 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



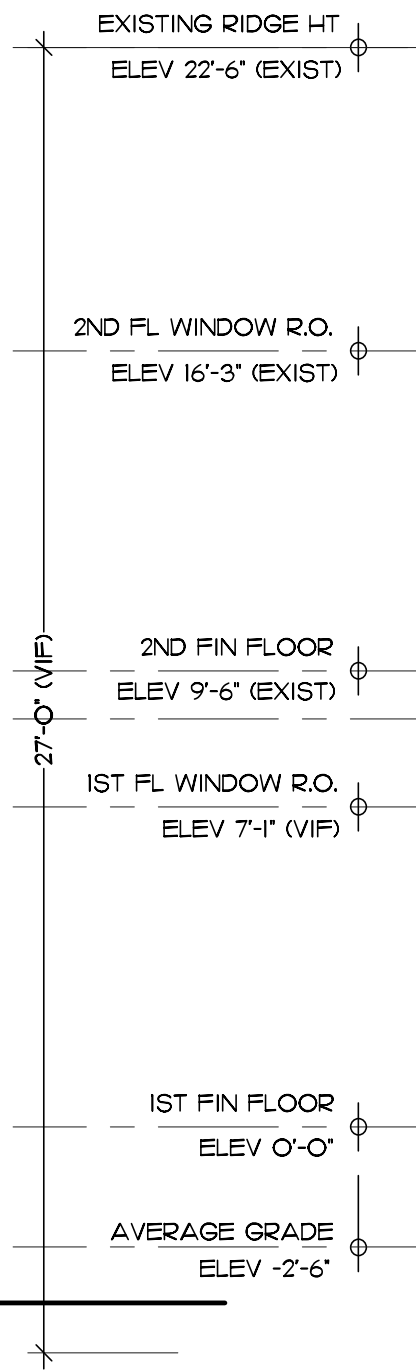
5 PROPOSED REAR ELEVATION
1/4" = 1'-0"



4 PROPOSED SOUTH (RIGHT) SIDE ELEVATION
1/4" = 1'-0"



6 PROPOSED NORTH (LEFT) SIDE ELEVATION
1/4" = 1'-0"











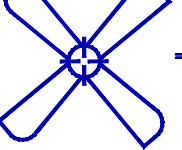





#	Date	Revision
New Addition/Renovation + Pool House for:		

Luisi Residence
Block: 2204 Lot: 1
735 West Crescent Avenue
Allendale, New Jersey

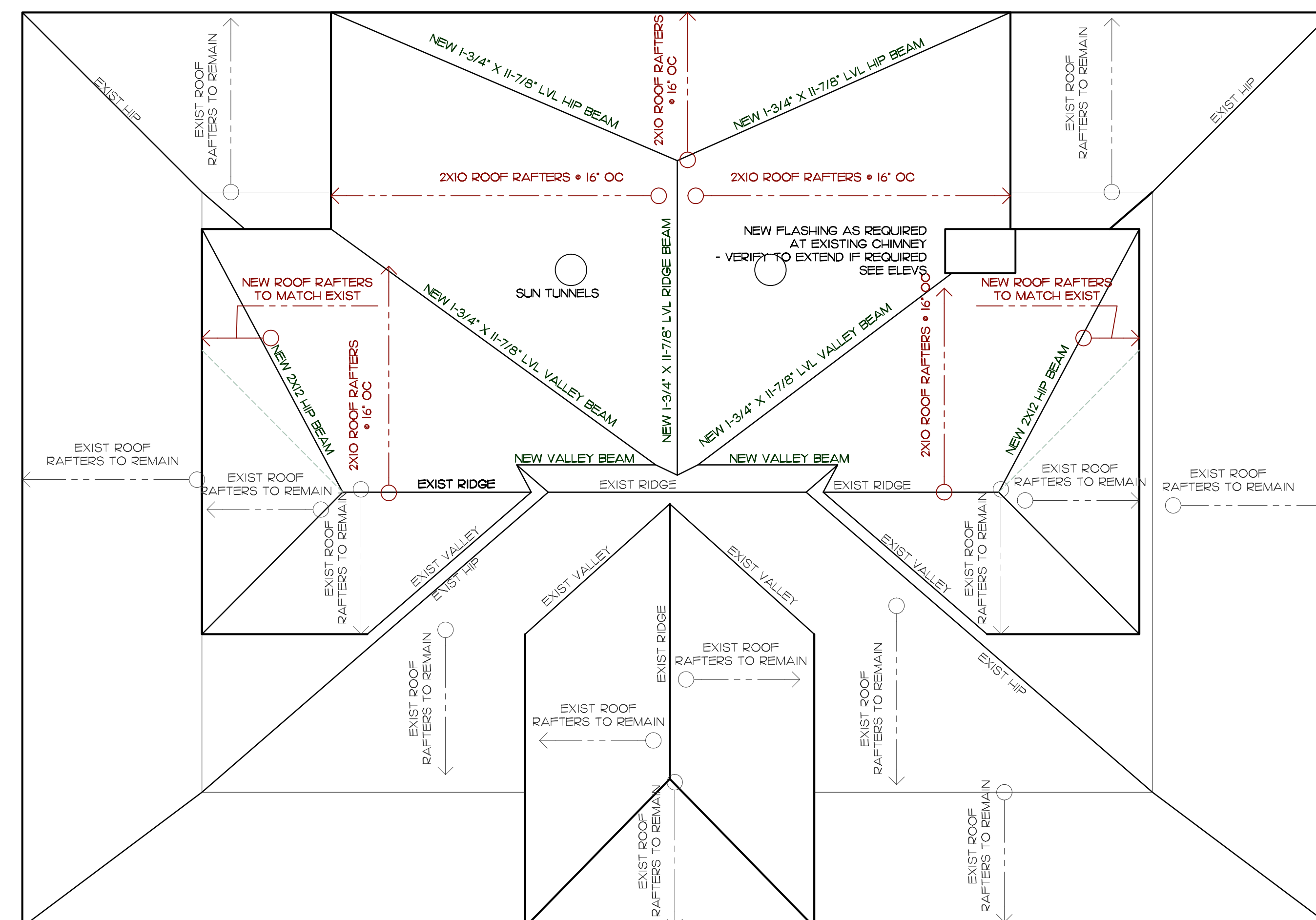
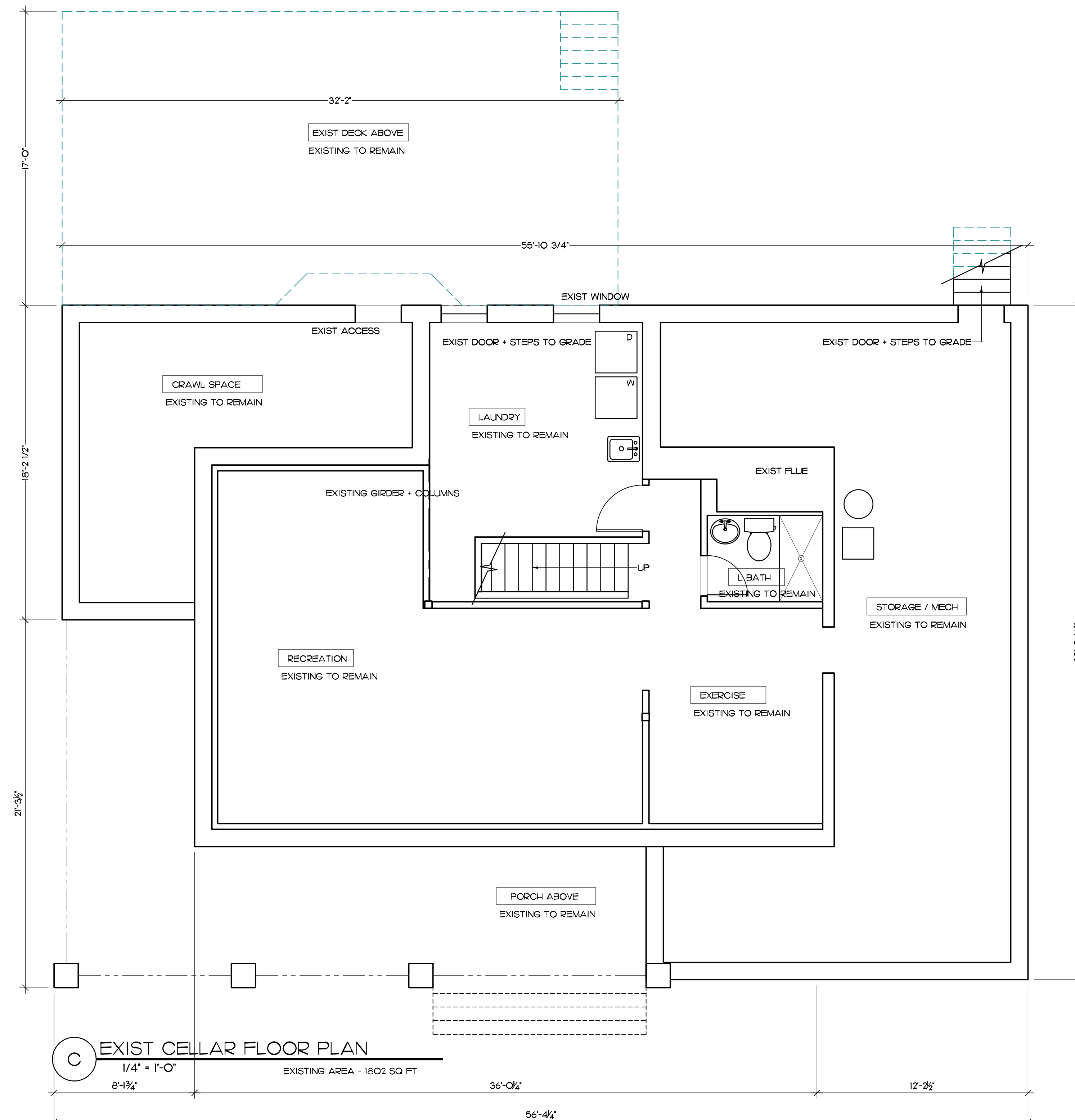
PROPOSED ELEVATIONS
Scale: 1/4" = 1'-0"
Date: OCTOBER 17, 2022
Submission: ZONING PERMIT

Indemnification Clause:
The owner shall release, hold harmless, and indemnify the Architect with respect to: any changes made to the construction documents by anyone other than the Architect, or changes in any aspect of the work, or failure by the Contractor to build in accordance with these construction documents.

ELECTRICAL LEGEND	
	• SURFACE MOUNT LIGHT FIXTURE
	• 6" DIA. (I.O.N) RECESSED FIXTURE
	• WALL MOUNTED LIGHT FIXTURE
	NEW OR EXST SMOKE ALARM, • INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP
	NEW OR EXST CARBON MONOXIDE • DETECTOR, INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP
	• SINGLE POST ELECTRICAL SWITCH
	• THREE WAY SWITCH
	• DUPLEX RECEPTACLE OUTLET
	• GROUND FAULT INTERRUPT RECEPTACLE OUTLET
	• WATER PROOF RECEPTACLE OUTLET
	• SURFACE MOUNT FAN / LIGHT FIXTURE
	NEW OR EXST EXHAUST FAN, SO CFM 3 FIXTURES, 110CFM + 4 FIXTURES
	NEW CABLE TV OUTLET FOR CABLE TV, INTERNET
	NEW TELEPHONE OUTLET - VERIFY TYPE + LOCATION WITH OWNER

	EXISTING 2 X 4 WOOD CONSTRUCTION TO REMAIN
	EXISTING 2 X 4 WOOD CONSTRUCTION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD CONSTRUCTION, 16' OC (W.O.N.)
	EXISTING CONCRETE CONSTRUCTION TO REMAIN
	EXISTING CONCRETE CONSTRUCTION TO BE REMOVED
	NEW POURED OR MASONRY CONC CONSTRUCTION

NEW GIRDERS, RIDGEBEAMS, ETC.



PROPOSED ROOF PLAN
1/4" = 1'-0"

#	Date	Revision
New Addition/Renovation + Pool House for:		

Block: 2204 Lot: 1
735 West Crescent Avenue
Allendale, New Jersey

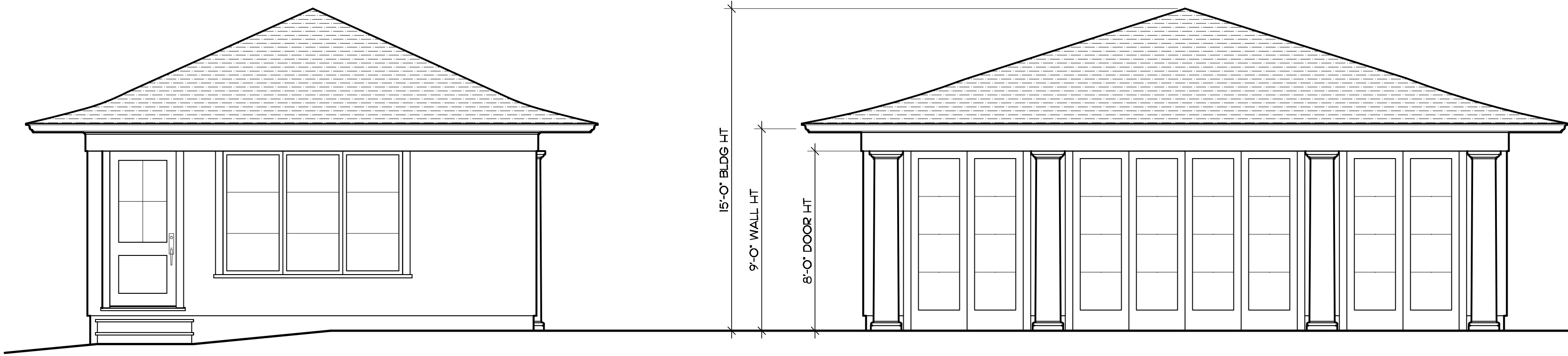
CELLAR FLOOR + ROOF PLANS

Scale: 1/4" = 1'-0"

Date: OCTOBER 17, 2022

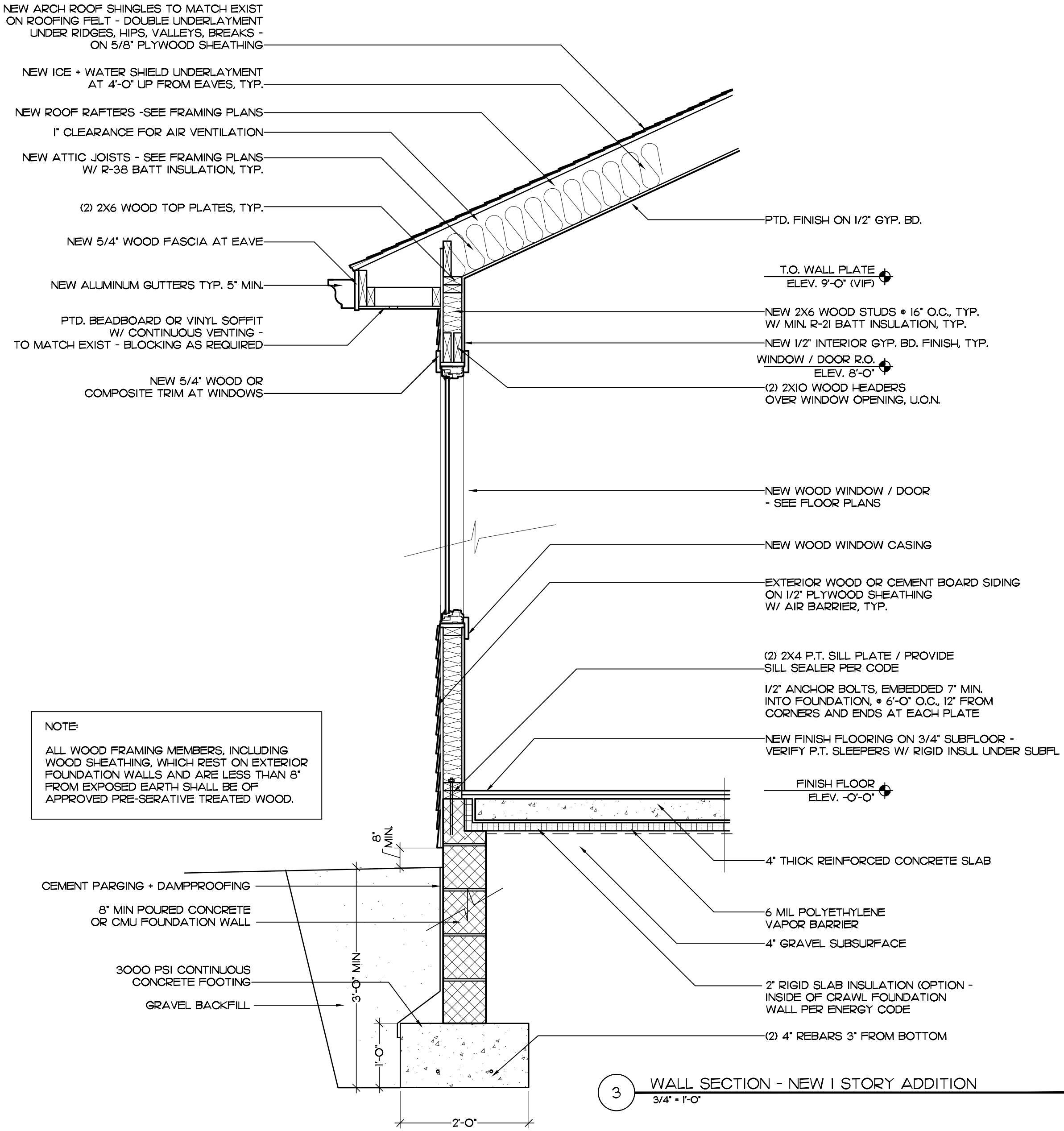
Submission: ZONING PERMIT

Indemnification Clause:
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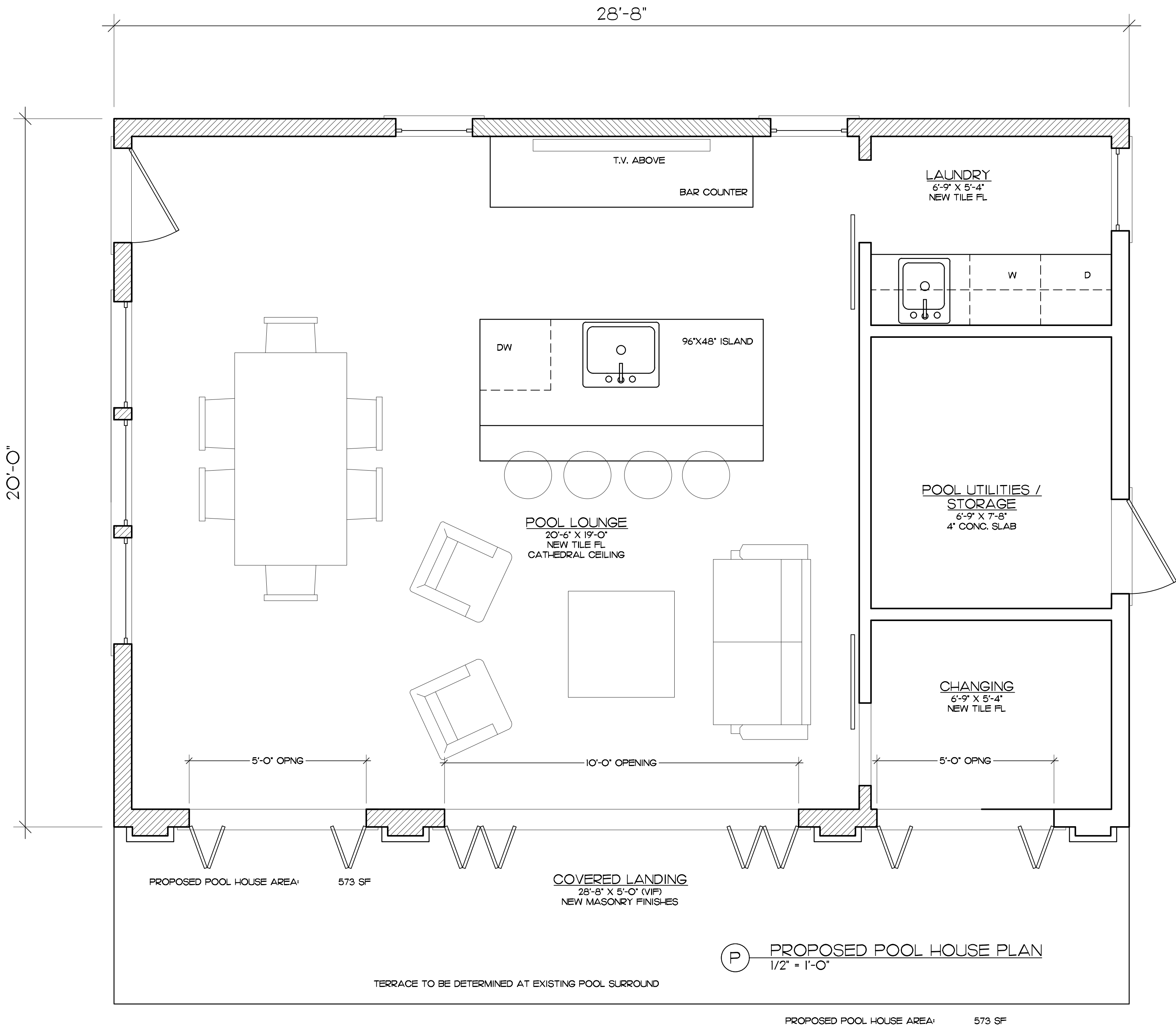


4P PROPOSED REAR ELEVATION POOL HOUSE
1/4" = 1'-0"

3P PROPOSED SIDE (POOL FACING) ELEVATION POOL HOUSE
1/4" = 1'-0"



3 WALL SECTION - NEW 1 STORY ADDITION
3/4" = 1'-0"



P PROPOSED POOL HOUSE PLAN
1/2" = 1'-0"

#	Date	Revision
1		
New Addition/Renovation + Pool House for:		
Luisi Residence		
Block: 2204 Lot: 1		
735 West Crescent Avenue		
Allendale, New Jersey		
POOLHOUSE PLAN + ELEVATIONS		
Scale: 1/2" = 1'-0", 1/4" = 1'-0"		
Date: OCTOBER 17, 2022		
Submission: ZONING PERMIT		
Indemnification Clause: The owner shall release, hold harmless, and indemnify the Architect with respect to: any changes made to the construction documents by anyone other than the Architect, or changes in any aspect of the work, or failure by the Contractor to build in accordance with these construction documents.		