

LAND USE BOARD  
BOROUGH OF ALLENDALE  
Municipal Building  
500 West Crescent Ave.  
Allendale, NJ

The Regular Meeting of the Allendale Land Use Board will be held in the Council Chambers in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401 on May 17, 2023 at 7:30 p.m. Formal action will be taken.

- I. CALL TO ORDER
  - A. Open Public Meetings Act Announcement
  - B. Salute to Flag
- II. ROLL CALL
- III. APPROVAL OF MINUTES
  - March 15, 2023 Land Use Board Regular Meeting
- IV. RESOLUTIONS:

Resolution of Approval: 2023-15  
Application File No.: 2022-04  
Prior Resolution of Approval 22-13  
Applicant: Charles and Pamela Stock  
Address: 210 E. Crescent Avenue, Allendale, NJ 07401  
Block 507 Lot: 4  
Application: Extension of Time for Variance Approval

- VI. PUBLIC HEARINGS:

Application File No: LUB 2023-04 **APPLICATION WITHDRAWN**  
Applicant: 115 West Crescent, LLC  
Address: 115 West Crescent Avenue, Allendale, NJ 07401  
Block: 910 Lots: 5 & 6  
Proposed: Minor Subdivision Approval  
**(continued from the meeting of March 15, 2023)**



Application File No.: LUB 2023-05

Applicant: Michael Zeoli & Samantha Danubio

Address: 41 Elmwood Avenue, Allendale, NJ 07401

Block 2009 Lot: 4

Application: Two story addition in rear and side yards. Pursuant to Section 270-37A.

Application File No.: 2023-07

Applicant: Brookside Middle School

Address: 100 Brookside Avenue

Block: 1603 Lot: 1

Application: Courtesy Review – Cafeteria Renovations

Application File No.: 2023-08

Applicant: Hillside Elementary School

Address: 89 Hillside Avenue

Block: 1102 Lot: 14

Application: Courtesy Review – Exterior Improvements

VII OPEN TO THE PUBLIC FOR COMMENT

VIII OTHER

IX. ADJOURNMENT

**\*\*AGENDA & AGENDA MATERIALS SUBJECT TO CHANGE\*\***



**RESOLUTION  
LAND USE BOARD  
BOROUGH OF ALLENDALE  
BERGEN COUNTY, NJ**

**DATE: May 17, 2023**

**RESOLUTION# LUB 23-15**

Land Use Board	Motion	Second	Yes	No	Abstain	Absent
<b>Bergen</b>						
<b>Putrino</b>						
<b>Kistner</b>						
<b>Daloisio</b>						
<b>Dalo</b>						
<b>Sirico</b>						
<b>Wilczynski</b>						
<b>Quinn</b>						
<b>Warzala Alt. #1</b>						
<b>Butler Alt. #2</b>						

Carried ☐ Defeated ☐ Tabled ☐

**RESOLUTION 23-15**

**LAND USE BOARD OF THE BOROUGH OF ALLENDALE  
RESOLUTION APPROVING  
EXTENSION OF TIME FOR VARIANCE  
CHARLES & PAMELA STOCK  
BLOCK 507, LOT 4  
(a/k/a 210 EAST CRESCENT AVENUE)**

**WHEREAS**, the applicants, CHARLES & PAMELA STOCK, the owners of the property located at 210 East Crescent Avenue, known as Block 507, Lot 4 on the Tax Map, in the Borough of Allendale, County of Bergen and State of New Jersey, have previously been granted variance relief by the Land Use Board of the Borough of Allendale by Resolution dated March 14, 2022 for approval of variance relief for a proposed addition and renovations to the premises, which is located in the AA residential zone, from the Allendale Code, Zoning; and

**WHEREAS**, as a condition of the aforesaid Resolution, the applicant was to commence construction within one year of the date of the publication of said Resolution; and,



**RESOLUTION  
LAND USE BOARD  
BOROUGH OF ALLENDALE  
BERGEN COUNTY, NJ**

**DATE: May 17, 2023**

**RESOLUTION# LUB 23-15**

**WHEREAS**, the construction was not commenced within the prescribed term provided, due to unforeseen circumstances impacting the property and the applicants, through no fault of the applicants or their professionals; and

**WHEREAS**, the applicants have requested that the Land Use Board modify and extend the final resolution of approval of March 14, 2022 so that they can begin construction of the previously approved project; and

**WHEREAS**, this matter was presented to the Land Use Board at a public meeting held on March 15, 2023 at the Borough of Allendale Municipal Building, Allendale, New Jersey; and

**WHEREAS**, the Land Use Board has determined that the variance relief should be extended to allow construction to commence, since the delay was of no fault of the applicants or their professionals, and that no prejudice will inure to the Borough;

**NOW THEREFORE BE IT RESOLVED** by the Land Use Board of the Borough of Allendale that the Resolution of Memorialization heretofore made by the Zoning Board on March 14, 2022 pertaining to the development of the lands of CHARLES & PAMELA STOCK, the owners of the property located at 210 East Crescent Avenue, known as Block 507, Lot 4 on the Tax Map, in the Borough of Allendale, County of Bergen and State of New Jersey, be and the same is hereby modified by extending the time to commence construction for the period of time through March 15, 2024; and

**BE IT FURTHER RESOLVED** that all Resolutions heretofore adopted by the Zoning Board pertaining to the premises in question and to the development thereof shall remain in full force and effect except only for the modifications contained herein.



**RESOLUTION  
LAND USE BOARD  
BOROUGH OF ALLENDALE  
BERGEN COUNTY, NJ**

**DATE: May 17, 2023**

**RESOLUTION# LUB 23-15**

**BE IT FURTHER RESOLVED** that construction shall proceed in accordance with the approved plans and drawings submitted to the Construction Department, and in accordance with all applicable State, County and Municipal codes, ordinances, rules and regulations.

**BE IT FURTHER RESOLVED** that the Land Use Board Secretary shall mail a copy of this Resolution within ten days from the date of adoption thereof to the applicant or to their attorney, if any, without charge; and to all other persons who request the same and pay the required fee therefore. The Secretary shall also file a copy of this Resolution in the offices of the Borough Clerk, Building Inspector, Construction Code Official, Tax Assessor and the Borough Attorney.

Approved:

ALLENDALE LAND USE BOARD

Attest:

\_\_\_\_\_  
KEVIN QUINN, Chairman

\_\_\_\_\_  
JOSEPH DALOISIO, SECRETARY

Adopted: May 17, 2023



**WELLS, JAWORSKI & LIEBMAN, LLP**  
**ATTORNEYS AT LAW**

12 Route 17 North, P.O. Box 1827  
Paramus, New Jersey 07653-1827

James E. Jaworski (NJ & NY)  
Stuart D. Liebman (NJ)  
James J. Delia (NJ)  
Andrew S. Kohut (NJ & NY)  
Mark S. Balian (NJ & PA)

Thomas M. Wells (NJ, VT & OH)  
*Of Counsel*

Gary S. Poplaski (NJ & NY)  
Ryan J. Byrnes (NJ & NY)  
Jennifer M. Berardo (NJ & NY)  
Jameson P. Van Eck (NJ & NY)  
Kathryn J. Razin (NJ & NY)  
Sarah L. Briguglio (NJ & NY)

(201) 587-0888  
Telefax (201) 587-8845  
Telefax (201) 587-0074

[www.wellsllaw.com](http://www.wellsllaw.com)

Writer's Email Address:  
[akohut@wellsllaw.com](mailto:akohut@wellsllaw.com)

*Please Reply to  
Paramus, New Jersey Office*

*1986-2023  
Celebrating 37 Years of Service!*

30 Wall Street, 8<sup>th</sup> Floor  
New York, New York 10005  
(212) 222-0798

25 D Main Street  
Bristol, Vermont 05443  
(201) 587-0888



May 9, 2023

**VIA EMAIL ONLY**

Allendale Land Use Board  
Attn: Linda Garofalo, Land Use Administrator  
500 West Crescent Avenue  
Allendale, New Jersey 07401

**Re: 115 West Crescent LLC**  
**115 West Crescent Avenue**  
**Block 910, Lots 5 & 6**  
**Allendale, New Jersey**

Dear Ms. Garofalo:

As you know our office represents 115 West Crescent LLC with regard to the above captioned matter. In connection with the application filed with the Land Use Board on or about February 17, 2023, please accept this correspondence our **withdrawal without prejudice of same**. Please initiate the process of refunding any and all escrow funds left on this matter.

Thank you for your courtesies in this matter. Should you have any questions or concerns please feel free to contact me at any time.

Very truly yours,

*/s/ Andrew S. Kohut*

Andrew S. Kohut

ASK/lvg



ALLENDALE LAND USE BOARD  
APPLICATION CHECK LIST

NAME ZEOLI-DANUBIO BLOCK 2009. LOT 4.

ADDRESS 41 ELMWOOD AVE. ALLENDALE NJ 07401

ZONE A TYPE OF VARIANCE F.A.R SET BACK

BRIEF DESCRIPTION OF APPLICATION VARIANCE FOR

F.A.R OF 33% & RIGHT SET BACK 7.4' & LEFT SET BACK 5.1'

SPECIFIC VARIANCE(S) REQUIRED FOR 2 STORY ADDITION

IN REAR & SIDE YARDS

ADMINISTRATIVE REQUIREMENTS

STATUS

1. Application form complete

✓

2. Fee paid

✓

3. Denial by Building Inspector

✓

4. Affidavit of Service

TO BE DELIVERED

5. Proof of Publication

✓

6. Taxes Current

✓

7. Plot Plan

✓

8. Maps

✓

9. Photographs

✓

10. Email address

jafpc2@gmail.com

11. Miscellaneous

N.A.

4.20.23

Date



Applicant's Signature



## REQUIRED MATERIALS AND CHECKLIST FOR ALLENDALE LAND USE BOARD HEARINGS

This checklist and attached sample drawings are provided to ensure that you or your professionals are prepared for your hearing and that your application is complete. All items should be supplied to the extent that they are applicable to the specific application. If information is insufficient or missing, the board may deem your application incomplete and adjourn your hearing until it receives all necessary documentation. Please create 15 packets of the below information.

### I. PROVIDE AN ACCURATE SURVEY FOR THE PROPERTY IN QUESTION WHICH CONTAINS THE FOLLOWING INFORMATION:

- ✓ 1. Footprint of existing buildings or structures.
- ✓ 2. Precise distances from all property lines to closest point of principal building including steps, deck or other extensions of the building.
- ✓ 3. The location and precise distances of accessory buildings, such as garages and sheds, to property lines and the principal building or structure.
- ✓ 4. The location and dimensions of steps, patios, driveways, decks, pools and all other improved impervious areas and their precise distances to nearest property line and structures.
- ✓ 5. An accurate depiction of the proposed construction or alteration including the information requested in 1, 2, 3 and 4 above.
- ✓ 6. The precise distances from all property lines to the closest point of the proposed construction.

### II. AN ENLARGED TAX MAP DEPICTING PROPERTY IN QUESTION AND ITS RELATIONSHIP TO NEIGHBORING PROPERTIES.

- ✓ 1. The precise distances from the existing buildings or structure in question to the closest point of all neighboring buildings and structures.
- ✓ 2. The precise distances from the proposed construction to the closest point of all neighboring buildings and structures.

### III. STRUCTURAL DIMENSIONS:

- ✓ 1. All dimensions of existing building or structure.
- ✓ 2. All dimensions of proposed building or structure.



✓  
3. Height of existing building or structure.\*

✓  
4. Height of proposed building or structure.\*

\*(height to be measured from lowest point of the ground that abuts the foundation of the structure to the highest point on the roof.)

✓  
5. Front, rear and side elevations of the proposed structure.

#### IV. FLOOR PLANS.

✓  
1. Floor plans of the existing interior of the building containing all relevant dimensions.

✓  
2. Floor plans of the interior of the proposed construction containing all relevant dimensions.

✓  
3. Precise square footage of the existing building.

✓  
4. Precise square footage of the proposed construction.

✓  
5. Floor area ratio calculation pursuant to Section 270-63 of the zoning ordinance (required for all applications)

#### V. PHOTOGRAPHS.

✓  
1. Photographs of the property in question and existing improvements may be helpful to the Board in presenting your information.

✓  
2. Photographs of views from the existing building or structure to neighboring properties and buildings which show existing plantings or other buffers are also helpful and may be requested by the Board.

(All photographs should be taken by you or someone who can testify to the Board as to when they were taken and that the photographs represent an accurate depiction of what they saw at the time.)

#### VI. LANDSCAPING AND LAND FEATURES.

✓  
1. The survey, plat or plan should locate and describe any proposed landscaping to be done in connection with the application.

✓  
2. The location of any unusual property features should be indicated, such as flood plain, streams, wooded areas, rock outcroppings or steep slopes.

#### VII. PREVIOUS APPLICATIONS.

1. Applicants should be prepared to discuss prior applications to the Land Use Board, Board of Adjustment and Planning Board and the results thereof.



VIII. Any additional information which may be deemed necessary by the Land Use Board, its Consultants or Borough departments and agencies.

NOTE: ALL DIMENSIONS AND DISTANCES MUST BE DEPICTED TO SCALE ON DRAWINGS AND PLANS.

Any questions regarding your hearing or the checklist should be directed to the Land Use Administrator at the Borough of Allendale Municipal Building 201-818-4400 x202. Please submit ten (10) packets with copies of all drawings and plans to the Land Use Administrator at least ten (10) days prior to the hearing. It is suggested that the property owner refer to the appropriate building code to assure proper engineering and construction techniques, or to secure the services of a local, reputable architect and/or engineer.

4.19.23

Date



Signature



DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 2009.4. Block(s) \_\_\_\_\_  
Street Address 41 ELMWOOD AVENUE ALLENDALE N.J. 07401  
Applicant JOHN FERRARO P.A. Address 37 MARLE AVE NEW CITY N.Y 10956  
Owner DANILIO-ZAULI Address 41 ELMWOOD AVE ALLENDALE NJ.  
Lessee N.A. Address N.A.  
Last Previous Occupancy SINGLE FAMILY  
Size of Lot 6947 #  
Floor area ratio calculation ALLOWED 25% EXIST'G 22% PROP. 33%  
Percentage of lot occupied by building(s) \_\_\_\_\_  
Height of building(s) 2 stories 23 feet 2 IN.  
Set back from front property line 35.4 ft. From side (if corner lot) N.A. ft.  
Zoning requirements – Frontage 35, side yards 15, set-back \_\_\_\_\_, rear yard 15  
“Prevailing set-back” of adjoining buildings within one block 35'  
Has there been any previous appeal involving these premises? NO  
If so, state character of appeal and date of disposition \_\_\_\_\_  
\_\_\_\_\_  
Proposed use: SINGLE FAMILY

This application for a use variance includes an application for subdivision NO, site plan NO, conditional use NO approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- ☒ (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- ☒ (b) Fifteen (15) copies of all application documents
- ☒ (c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified “location map” and clearly indicate such buildings and their approximate location, together with “prevailing set-back” dimensions.
- ☒ (d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- ☒ (e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- N.A. (f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

Date: 4.12.23

  
\_\_\_\_\_  
Signature of Applicant or Agent



NOTICE OF APPEAL AND VARIANCE APPLICATION FORM  
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF  
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of DANUBIO / ZEOLI  
shows that on or about the 21 day of MARCH, 2023  
an application to the Zoning Official for the purpose of (describe intended  
action) INCREASE IN F.A.R FROM 22% TO 33%  
RIGHT SET BACK OF 7.4'  
LEFT SET BACK OF 5.1'  
on the premises located at (street address) 41 ELMWOOD AVE. ALLENDALE  
NEW JERSEY Block 2009 . Lot 4.  
as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that  
after due consideration the Zoning Enforcement Officer did on the 21 day of MARCH 2023  
decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement  
Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of  
appeal with said Officer, together with the required fee of \_\_\_\_\_, and requests that  
action of the Zoning Enforcement Officer be reversed or modified as the facts may be  
determined, and applicant further requests that a day be fixed for hearing on this appeal and  
states that the proper notice will be given to all owners of property situated within two hundred  
(200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

An application is hereby made for a (Hardship) (Floor Area Ratio) (Use) variance from the terms  
of Article(s) and Section(s) 270-37A

\_\_\_\_\_ of the Zoning Ordinance so as to  
permit AN F.A.R OF 33%  
RIGHT SET BACK OF 7.4'  
LEFT SET BACK OF 5.1'

  
Signature of Applicant



AFFADAVIT OF PROOF OF SERVICE

LAND USE BOARD

OF

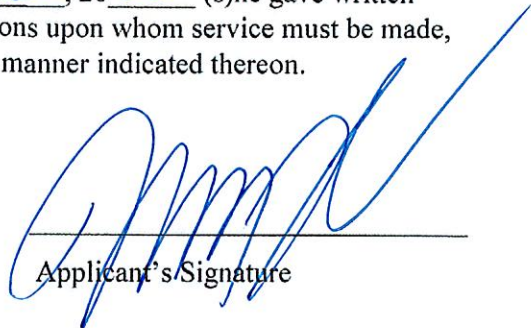
BOROUGH OF ALLENDALE

PROOF OF SERVICE OF NOTICES REQUESTED BY STATUTE MUST BE  
FILED AND VERIFIED WITH BOARD SECRETARY AT LEAST 10 DAYS PRIOR TO MEETING  
OR CASE WILL NOT BE HEARD.

STATE OF NEW JERSEY)

COUNTY OF BERGEN ) SS.

JOHN FERRARO P.A., of full age, being duly sworn according to law, deposes and says, that (s)he resides at 37 MAPLE AVE. # in the municipality of TOWN OF CLARK, County of ROCKLAND, and State of NEW YORK, and that (s)he is (are) the applicant(s) in a proceeding before the Land Use Board of Allendale, New Jersey, being an appeal or application under the Zoning Ordinance, which relates to premises at 41 ELMWOOD AVE ALLENDALE, and that on APRIL 20, 2023 (s)he gave written notice of the hearing on this application to each and all of the persons upon whom service must be made, in the required form and according to the attached lists, and in the manner indicated thereon.

  
Applicant's Signature

Sworn to and subscribed before me

this 20 day of April,  
2023.



**KIMBERLY LILLO**  
Notary Public, State of New York  
No. 01LI6099504  
Qualified in Rockland County  
Commission Expires Sept. 29, 2023

NOTICE TO APPLICANT: Attach list of all persons served.



BOROUGH OF ALLENDALE

LAND USE BOARD

DATE 4.19.23

NOTICE OF HEARING TO PROPERTY OWNERS

(Cross out inapplicable sections)

TO WHOM IT MAY CONCERN:

In compliance with the Zoning Ordinance of the Borough of Allendale, NJ, notice is hereby served upon you to the effect that (I) (We) I JOHN FERRARO ARCHITECT

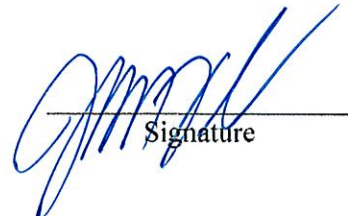
hereby propose to (give detailed information) REPRESENT ZBOLI-DANUBIO (OWNERS)  
AT THE ZBA MEETING (NOTED BELOW) FOR AN  
F.A.R. VARIANCE OF 33% - RIGHT SET BACK 7.4' & LEFT SET BACK 5.1'  
Location 41 ELMWOOD AVENUE ALLENDALE N.J. 07401

The Zoning Officer of the Borough of Allendale, Bergen County, New Jersey, refused this request by reason of its being in violation of Section 270-37A

of the Zoning Ordinance, from which decision (I) (We) hereby appeal. (I) (We) have applied to the Land Use Board for a (hardship), (floor area ratio), (use) variance, (together with subdivision   , site plan   , conditional use    approval), and from any other variances or waivers that the Board may deem necessary.

Any person or persons affected by this (appeal) (application) may have an opportunity to be heard at the meeting to be held MAY 17, 2023 at 7:30pm in the Allendale Municipal Building, 500 West Crescent Avenue, 2<sup>nd</sup> Floor, Allendale, NJ 07401.

All documents relating to this application may be inspected by the public between the hours of 9 a.m. and 4:30 p.m. in the office of the Borough Clerk in the Allendale Municipal Building, 500 West Crescent Avenue, Allendale, New Jersey 07401.

  
Signature

Note: This Notice must be personally Served or sent by certified or registered mail at least 10 days before the day of the hearing, and proof of service given to the Land Use Administrator.



NEWSPAPER NOTICE

LAND USE BOARD  
BOROUGH OF ALLENDALE  
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Land Use Board of the Borough of Allendale will hold a public hearing on MAY 17, 2023, at 7:30 p.m. in the Allendale Municipal Building, 500

West Crescent Avenue, 2<sup>nd</sup> Floor, Allendale, New Jersey 07401 on the application of  
ZEOLI - DANUBIO 41 ELMWOOD AVE (Applicant) at  
ALLENDALE NJ 07401 (Address)

Block No. 2009, Lot No. 4 for a (hardship, floor area ratio, use) variance  
from Section 27D - 37A

F.A.R. OF 33%  
RIGHT SET BACK 7.4 FT LEFT SET BACK 5.1 FT

\_\_\_\_\_ of the zoning ordinance of the Borough of Allendale, and for any other  
variances or waivers that the Board may deem necessary, for the purpose of \_\_\_\_\_

A TWO STORY ADDITION IN REAR &  
SIDE YARD

Sample Legal Notice

To be published in *The Record* or *The Ridgewood News* at least ten (10) days prior to the scheduled  
hearing date.

Original notice cut from newspaper must be given to Board Secretary along with all forms.

Name and Address of Applicant  
ZEOLI - DANUBIO  
41 ELMWOOD AVE  
ALLENDALE N.J.  
07401



**BOROUGH OF ALLENDALE**  
**CODE ENFORCEMENT OFFICE**  
500 West Crescent Avenue Allendale, NJ 07401



Phone: (201) 818-4400 x208  
Fax: (201) 825-1913

## MEMORANDUM

TO: Michael Zeoli, Samantha M. Danubio  
41 Elmwood Ave.  
Allendale, NJ 07401

FROM: Anthony Hackett, Zoning Official/Construction Official

CC: Linda Garofalo Land use Administrator

RE: Two story addition @ 41 Elmwood Ave. Zone A

DATE: March 21, 2023

The Allendale Building/Zoning Department received the following documents:

- A. Borough of Allendale Zoning Review Application
- B. Drawings and a site plan prepared by John Anthony Ferraro PC Architect New City, NY

I have reviewed these documents and the Borough of Allendale Zoning Ordinances and I must deny your application for the following reason(s):

1) 41 Elmwood Ave is located in the A Zone of Allendale. There are many existing non-conforming conditions associated with this property. According to **Borough Ordinance 270-37A** you can not create any new or additional encroachment or non-conformity.

**EXISTING NON-CONFORMING ISSUES CREATING AN INCREASE:**

- 1) The required maximum **Floor Area Ratio** for your lot size is 25%
  - a) currently it is 22%, and the proposed addition will be 33%
- 2) The minimum **side yard setback for Zone A** is 15 Feet
  - a) current Right Side is 7.4 Feet
  - b) current Left Side is 5.1 Feet

The Proposed two-story addition is continuing the Right and Left side yard setback non-conformity.

**(OTHER EXISTING NON-CONFORMING CONDITIONS PRESENT):**

- 1) Required lot size 20,000 sq feet you have 6,947 sq feet
- 2) Required lot width is 115 feet you have 50 feet



You are hereby notified that you have the right under N.J.S.A. 40:55D-72 to appeal this decision to the Zoning board of adjustments of the Borough of Allendale within 20 days from the date of the decision. For further information please visit. <http://allendalenj.gov/zoning-board-of-adjustments/>

Anthony Hackett  
Construction Official



April 12, 2023  
09:40 AM

Borough of Allendale  
Tax Account Detail Inquiry

Page No: 1

BLQ: 2009. 4. Tax Year: 2023 to 2023  
Owner Name: ZEOLI, MICHAEL&DANUBIO,SAMANTHA M Property Location: 41 ELMWOOD AVE

Tax Year: 2023	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	2,443.22	2,443.22	0.00	0.00	4,886.44
Payments:	2,443.22	0.00	0.00	0.00	2,443.22
Balance:	0.00	2,443.22	0.00	0.00	2,443.22

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2023 Prin Balance
		Description								
		Original Billed						4,886.44		4,886.44
01/31/23	1	Payment	001	VARIOUS	CK	9287	31 GWITT	2,443.22	0.00	2,443.22
		LERETA								

Total Principal Balance for Tax Years in Range: 2,443.22

PROOF OF TAXES PAID



## BOROUGH OF ALLENDALE

500 West Crescent Avenue  
Allendale, NJ 07401

Angela M. Mattiace, CTA  
Tax Assessor

(201) 818-4419  
[angelamattiace@allendalenj.gov](mailto:angelamattiace@allendalenj.gov)

April 18, 2023

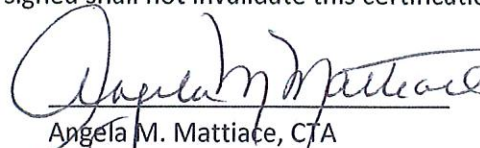
Re: 41 Elmood – 2009/4

Dear Sir/Madam:

As per your recent request, attached please find the listing of property owners within 200 feet of the above mentioned, as well as the list of public utilities, which must also be noticed.

If your property falls within 200 feet of an adjacent municipality, you must obtain a certified list from that municipality and serve notices on all persons on that list. Additionally, you must also serve notice upon the Municipal Clerk of that municipality.

This is to certify to the Allendale Land use Board and to all interested parties, that the attached names and addresses commonly referred to as a "Property Listing" have been prepared in conformance with the requirements of the Municipal Land Use Law. All lists are prepared within (7) days after receipt. Any omission and/or failure on the part of the undersigned shall not invalidate this certification, any hearing meeting or proceeding. (C40:55D12-C).



Angela M. Mattiace, CTA  
Tax Assessor



OWNER & ADDRESS REPORT

ALLENDALE

200 FT LIST 2009/4 - 41 ELMWOOD

04/18/23 Page 1 of 1

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
2009	3		2	KRYWOS, ANNE I 12 DUNCAN RD HOHOKUS, NJ 07423	39 ELMWOOD AVE	
2009	5		2	ALBRECHT, RICK & HELENE 77 ELMWOOD AVE. ALLENDALE, NJ 07401	77 ELMWOOD AVE	
2009	5.01		2	MALONE, ROBERT K. & JANET D. 69 ELMWOOD AVE ALLENDALE, NJ 07401	69 ELMWOOD AVE	
2009	2		2	CHOI, ANDREW & ANDREA 35 ELMWOOD AVE ALLENDALE, NJ 07401	35 ELMWOOD AVE	
2006	8		2	AIELLO, FRANK & MARIA 50 ELMWOOD AVE ALLENDALE, NJ 07401	50 ELMWOOD AVE	9&10
2006	11		2	PFLUEGER, MICHAEL R & ANA M 36 ELMWOOD AVE ALLENDALE, NJ 07401	36 ELMWOOD AVE	
2006	12		2	PHILLIPS, JOSEPH & RACHAEL 30 ELMWOOD AVE ALLENDALE, NJ 07401	30 ELMWOOD AVE	13
2006	6.01		2	NUNN, GARY W. & KAREN A. 66 ELMWOOD AVE ALLENDALE, NJ 07401	66 ELMWOOD AVE	
2006	3		2	PINI, MICHAEL & STEPHANIE LYNN 25 MIDWOOD AVE ALLENDALE NJ 07401	25 MIDWOOD AVE	
2006	4		2	LUCIBELLO, FRANK & DEBRA 33 MIDWOOD AVE ALLENDALE, NJ 07401	33 MIDWOOD AVE	
2006	5		2	REDDY, RAHUL & DRAVINA 43 MIDWOOD AVE ALLENDALE, NJ 07401	43 MIDWOOD AVE	
1901	1		2	BRUBAKER, LEROY & MICHELE 50 E ORCHARD ST ALLENDALE NJ 07401	50 E ORCHARD ST	
1901	2		2	KEMEZIS, MICHAEL & PAGE, MAUREEN 68 E ORCHARD ST ALLENDALE, NJ 07401	68 E ORCHARD ST	
1901	3.01		2	STEPHEN, LAWRENCE & DENISE 90 E ORCHARD ST ALLENDALE, NJ 07401	90 E ORCHARD ST	LT3 .79AC
1901	4		2	SCIPIONE, LOUIS T & KATHLEEN E 100 E ORCHARD ST ALLENDALE, NJ 07401	100 E ORCHARD ST.	
2006	7.01		2	VARGAS, JOSEPH J. & CAROLINE 82 ELMWOOD AVE ALLENDALE, NJ 07401	82 ELMWOOD AVE	



## **UTILITIES LISTING**

**BOROUGH OF ALLENDALE  
500 W CRESCENT AVENUE  
ALLENDALE, NJ 07401**

**Rockland Electric – 1 Blue Hill Plaza, Pearl River, NY 10965**

**New Jersey Department of Transportation - POB 600, Trenton, NJ 08625**

**PSE&G - 20 Van Vooreen Drive, Oakland, NJ 07436**

**Cablevision of New Jersey - 40 Potash Rd, Oakland, NJ 07436**

**Verizon New Jersey - 114 Paterson Street, Paterson, NJ 07501**

**Bergen County Planning Board - 1 Bergen County Plaza, Hackensack, NJ 07601**

**Veolia Water – 461 From Road #400, Paramus, NJ 07652**



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City, State, ZIP+4: **PARANUS NJ 07652**

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City, State, ZIP+4: **PARANUS NJ 07652**

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Sent to: **CABLE VISION**  
Street, Apt. No.: **40 POTASH RD**  
City, State, ZIP+4: **CAULAND N.J. 07430**

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Street, Apt. No.: **1 BREKEN CUNTY FLA2A**  
City, State, ZIP+4: **HABERNSADE N.J. 07001**

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City, State, ZIP+4: **CAULAND N.J. 07430**

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Street, Apt. No.: **114 PATERSON ST**  
City, State, ZIP+4: **PATERSON NJ 07501**

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Street, Apt. No.: **705 LOC**  
City, State, ZIP+4: **TRANSTON N.J. 08625**

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Sent to: **N.J DEPT. OF TRANSP.**  
Street, Apt. No.: **705 LOC**  
City, State, ZIP+4: **TRANSTON N.J. 08625**

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Sent To  
SCIPIONE  
Street, Apt. No.:  
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Total Postage & Fees	\$4.78	

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39 Elmwood Ave

Allendale, New Jersey

 Google Street View

Sep 2018

[See more dates](#)





69 Elmwood Ave

Allendale, New Jersey



Sep 2018

[See more dates](#)



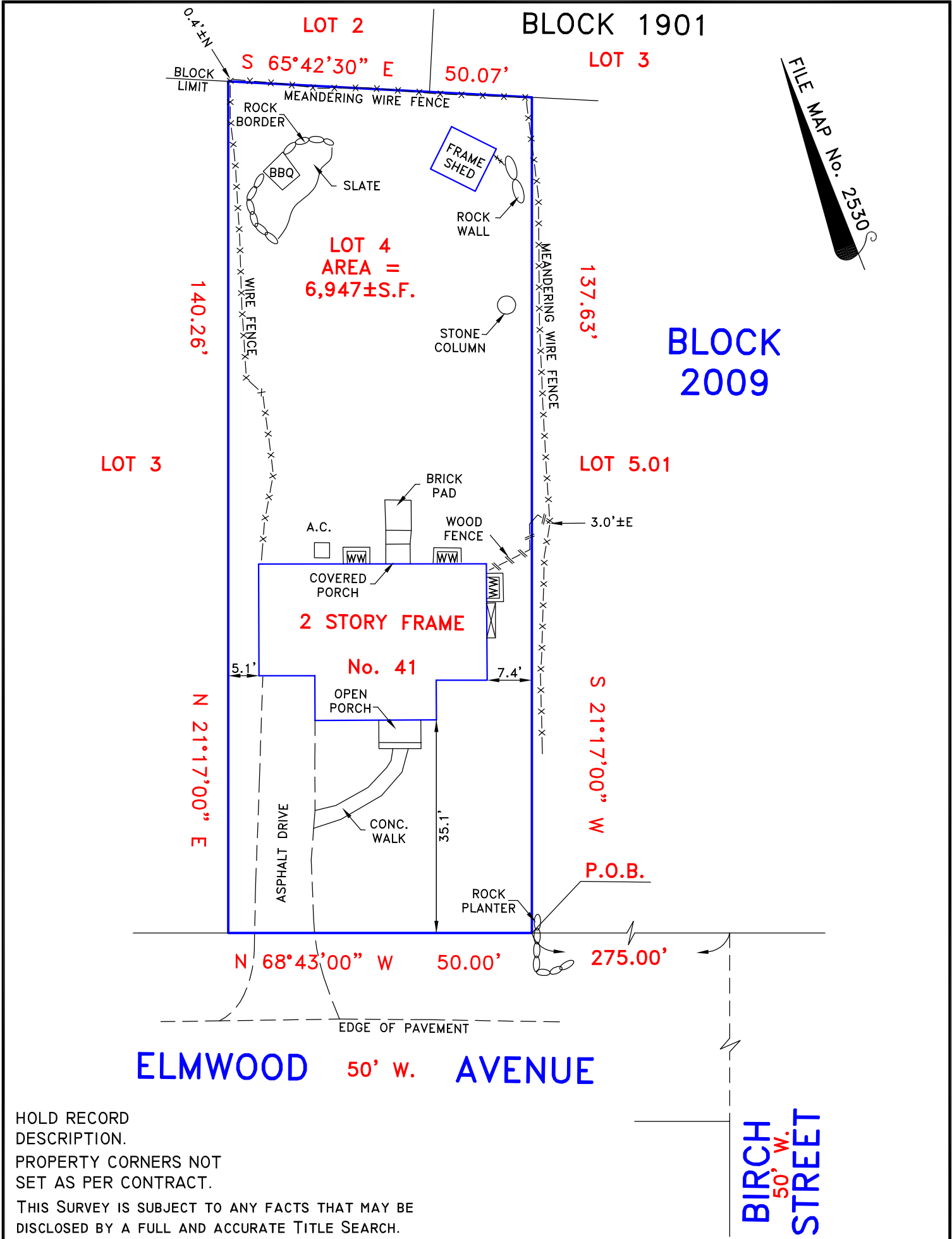


FILE NO. TM2349

## Engineers & Surveyors

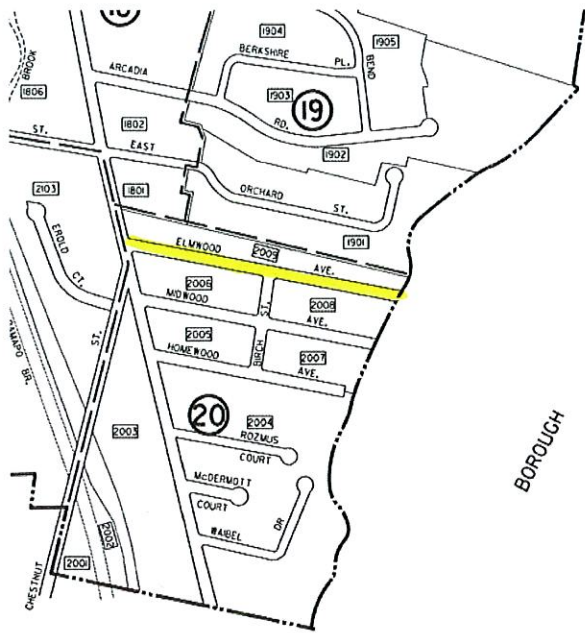
101 West Street, Hillsdale, N.J. 07642 Ph. 201-666-2450

Ph. 201-666-2450    Fax 201-666-9745



<b>PROPERTY SURVEY</b>			CERTIFIED TO: TITLEMARK, LLC; STEWART TITLE GUARANTY COMPANY; NAVY FEDERAL CREDIT UNION, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, PO BOX 3326, MERRIFIELD, VA 22119; MICHAEL ZEOLI, SINGLE AND SAMANTHA M. DANUBIO, SINGLE; LAW OFFICES OF RICHARD CONTE		
PROPERTY SITUATED IN: BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY					
LOT NO.: 4 (TAX MAP), 297 & 298 (FILE MAP)					
BLOCK NO.: 2009 (TAX MAP), N/A (FILE MAP)					
MAP SOURCE: "SECTION TWO, MAP OF ALLENDALE PARK ESTATES, ALLENDALE, BERGEN COUNTY, N.J." FILED IN THE BERGEN COUNTY CLERK'S OFFICE MAY 28, 1929 AS MAP No. 2530.				LAND SURVEYOR Christopher J. Lantelme P.E. & L.S. 39580	
REVISED-II/19/22-OPEN PORCH DESIGNATION					
SCALE: 1"=20'	DATE: 05/30/19	PARTY: EW/DC	DRAWN BY: DR		





I HEREBY CERTIFY THAT THIS MAP HAS BEEN REVISED,  
UNDER MY IMMEDIATE SUPERVISION, AND COMPLIES WITH  
THE LAWS OF THE STATE OF NEW JERSEY.

*Gerard Scott* DATE 1/20/24  
**GERARD SCOTT, P.L.S.**  
PROFESSIONAL LAND SURVEYOR N.J. LIC NO 13916

"THE AREAS, BOUNDARIES AND DIMENSIONS SHOWN ON THIS  
TAX MAP ARE DERIVED FROM GROUND SURVEYS, AERIAL  
SURVEYS, AND RECORDED PLANS, MAPS, DEEDS AND WILLS  
AND ARE TO BE USED FOR ASSESSMENT PURPOSES ONLY"

"THIS TAX MAP SUPERSEDES THE TAX MAP APPROVED

APRIL 30, 1989

**NOTES:**

1. THIS SHEET IS A DIGITIZED COPY OF THE MAP  
PREPARED BY GERARD SCOTT, P.L.S. L.C. NO.  
13916 OF AZZOLINA & FUREY ENG. AND DATED  
1/20/24. THE APPROVED ORIGINAL IS ON FILE  
IN THE ENGINEERS OFFICE.

**TAX ASSESSMENT MAP**  
BOROUGH OF  
**ALLENDALE**

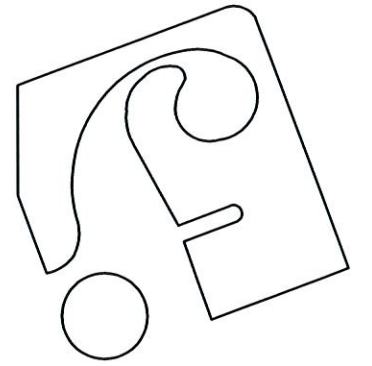
BERGEN COUNTY, N.J.

SCALE: 1" = 500' FEBRUARY 2001

AZZOLINA ENGINEERING COMPANY  
PROFESSIONAL ENGINEERS & LAND SURVEYORS  
EAST 8 DOROTHY AVENUE, PARAMUS N.J.  
TO SHOW CONDITIONS AS OF FEBRUARY 2001

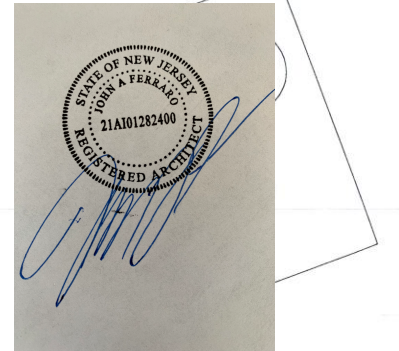
ZEOLI  
41ELMWOOD AVE  
ALLENDALE NJ 07401

PARCEL ID: 2009. 4 .



John Anthony Ferraro PC  
**ARCHITECT**

37 Maple Avenue  
New City, New York 10956  
p: 845-624-0758  
e: jafpc2@gmail.com



ZEOLI  
41ELMWOOD AVE  
ALLENDALE NJ 07401

**TAX MAP**

Project number **ZEOLI**

Date **4-19-23**

Drawn by **JF**

Checked by **JF**

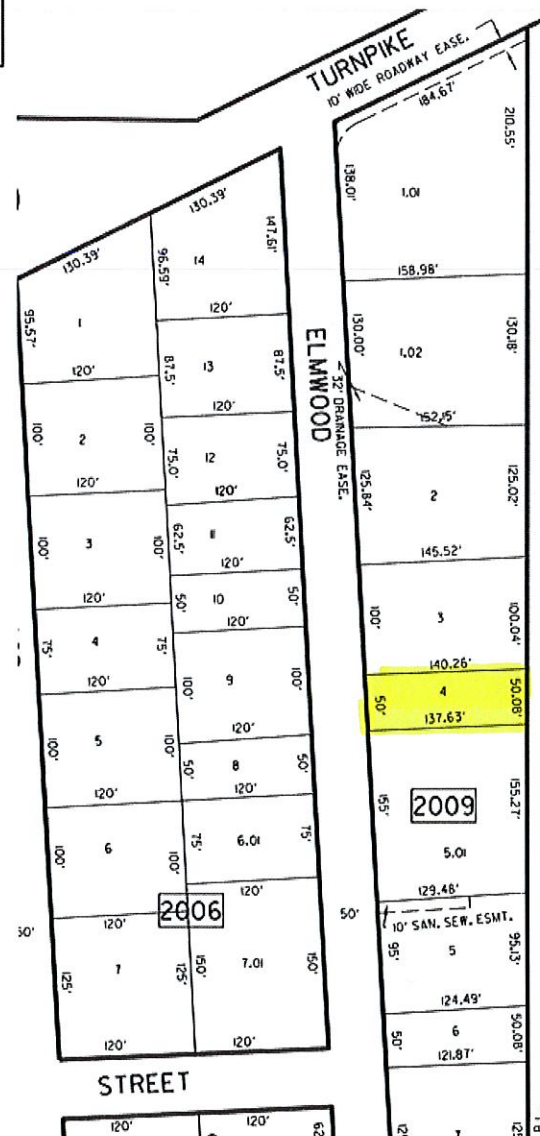
**TAX MAP**

Scale

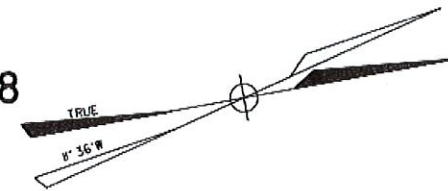
VARIANCE REQUIREMENTS AS PER DENIAL LETTER DATED MARCH 21, 2023

EXISTING NON-CONFORMING ISSUES CREATING AN INCREASE:

- 1) THE REQUIRED MAXIMUM **FLOOR AREA RATIO** FOR YOUR LOT SIZE IS 25%  
A) CURRENTLY IT IS 22%, AND THE PROPOSED ADDITION WILL BE 33%
- 2) THE MINIMUM **SIDE YARD SETBACK FOR ZONE A** IS 15 FEET  
A) CURRENT RIGHT SIDE IS 7.4 FEET  
B) CURRENT LEFT SIDE IS 5.1 FEET



SHEET 18

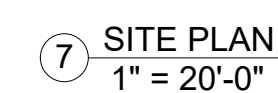


SHEET 19







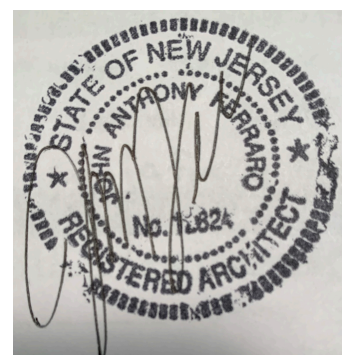


THIS SITE PLAN WAS TAKEN FROM A SURVEY PREPARED BY:  
LANTELME, KURENS & ASSOCIATES  
ENGINEERS AND SURVEYORS  
101 WEST STREET  
HILLSDALE, NJ 07642

DATED: 5/30/19  
FILE NO: TM2349



37 Maple Avenue  
New City, New York 10956  
Tel: 845-624-0758  
E: jafpc2@gmail.com

ZEOLI RESIDENCE

41 ELMWOOD AVENUE  
ALLENDALE NJ 07401

## EXISTING DEMO PLANS

Project number	ZEOLI
Date	1-25-23
Drawn by	Author
Checked by	Checker

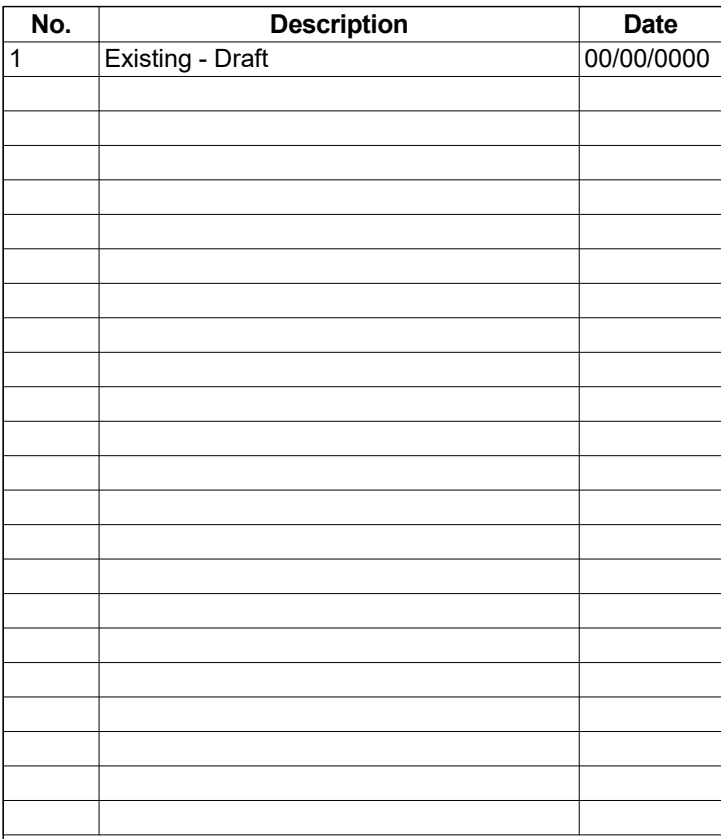
A-2

Scale	As indicated
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37 Maple Avenue  
New City, New York 10956  
Tel: 845-624-0758  
E: jafpc2@gmail.com



# ZEOLI RESIDENCE

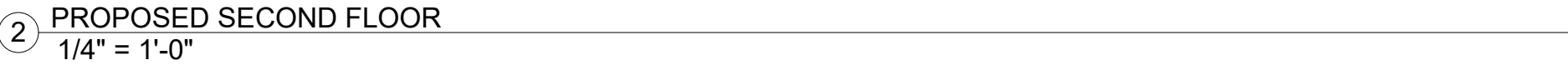
41 ELMWOOD AVENUE  
ALLENDALE NJ 07401

## PROP. FLOOR PLANS

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Date	1-25-23
Drawn by	Author
Checked by	Checker

A-3

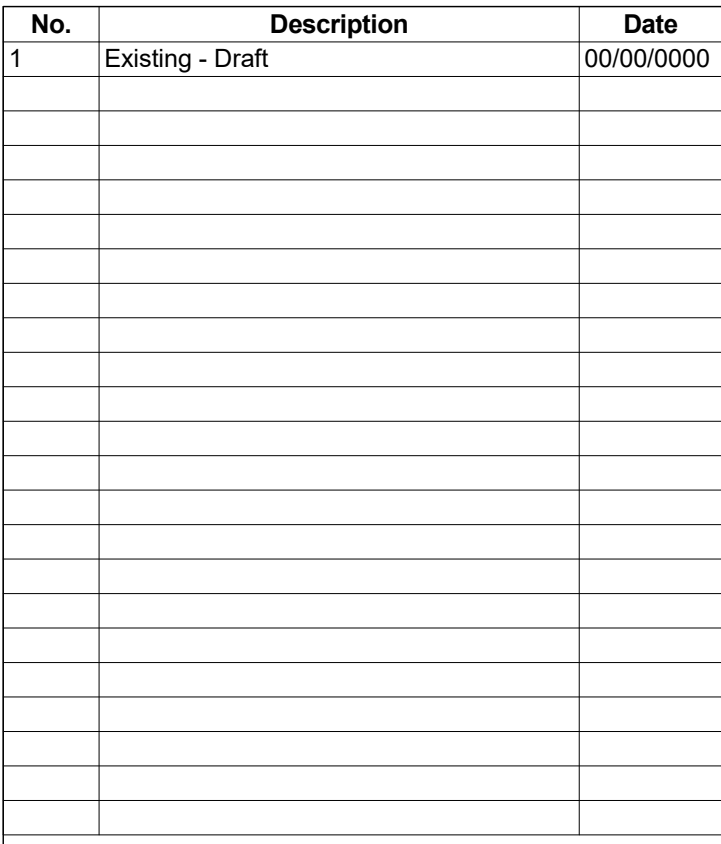
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37 Maple Avenue  
New City, New York 10956  
Tel: 845-624-0758  
E: jafpc2@gmail.com



# ZEOLI RESIDENCE

41 ELMWOOD AVENUE  
ALLENDALE NJ 07401

## PROP. ELEVATIONS

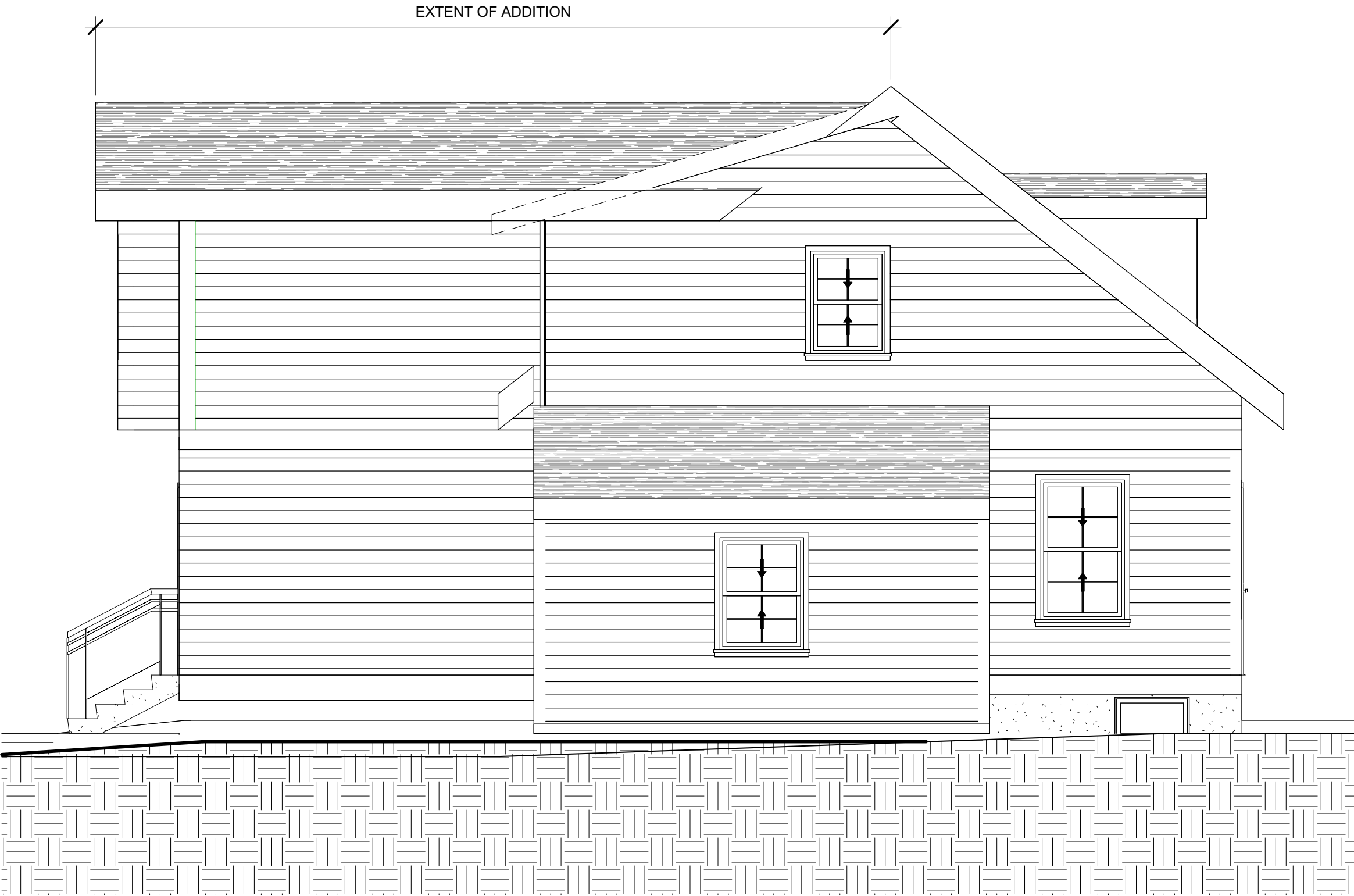
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Date	1-25-23
Drawn by	Author
Checked by	Checker

**A-4**

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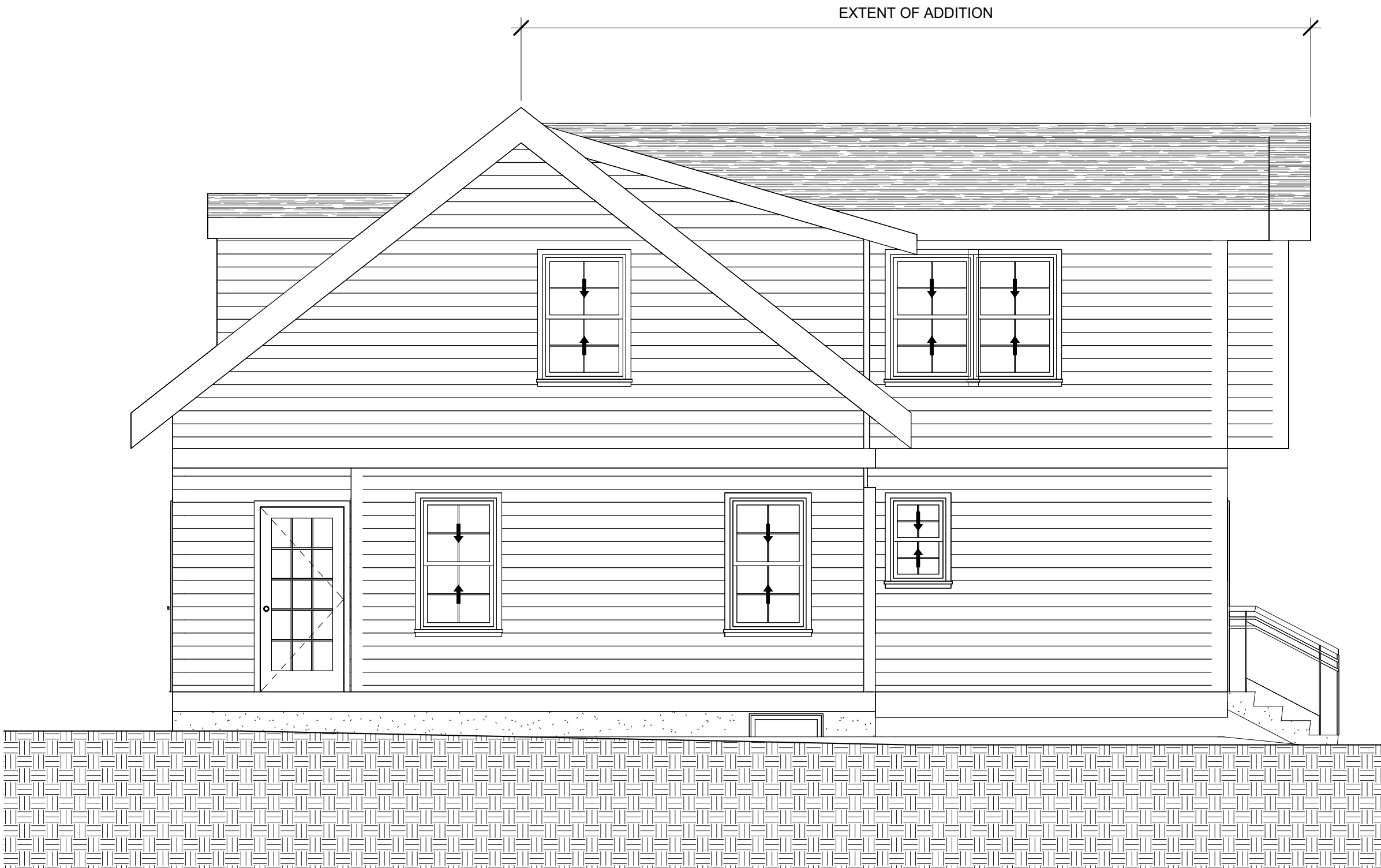
5 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



② PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



4 PROPOSED REAR ELEVATION  
1/4" = 1'-0"



3 PROPOSED RIGHT ELEVATION  
1/4" = 1'-0"



INTERIOR RENOVATION AND CAFETERIA ANNEX EXPANSION AT:  
**BROOKSIDE MIDDLE SCHOOL**  
100 BROOKSIDE AVE, ALLENDALE, NJ 07401  
ALLENDALE PUBLIC SCHOOL DISTRICT - BERGEN COUNTY  
NJ DOE PROJECT # 03-0040-010-23-4000

SUPERINTENDENT

MICHAEL J. BARCADEPONE

ALLENDALE BOARD OF EDUCATION

AMY GUNDERSEN, PRESIDENT  
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MARIA L. ENGELEIT



37 East Washington Ave.  
Atlentic Highlands, NJ 07716  
732.741.4900 (o) | 732.741.4977 (f)

  
Kevin M. Settembrino, AIA, LEED AP  
License No. AI 15163

OWNER  
Allendale  
Board of Education  
100 Brookside Ave,  
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MECH / ELECTRICAL / PLUMBING  
ENGINEER

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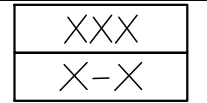
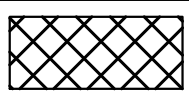
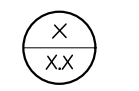


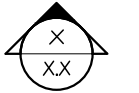
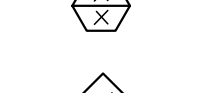
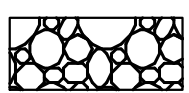
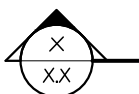


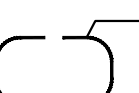
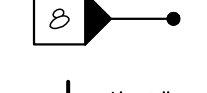
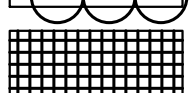








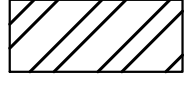
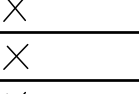
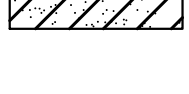




STRUCTURAL ENGINEER

MPP  
Engineers  
34 S Main Street  
Allentown, NJ 08501  
609.489.5511

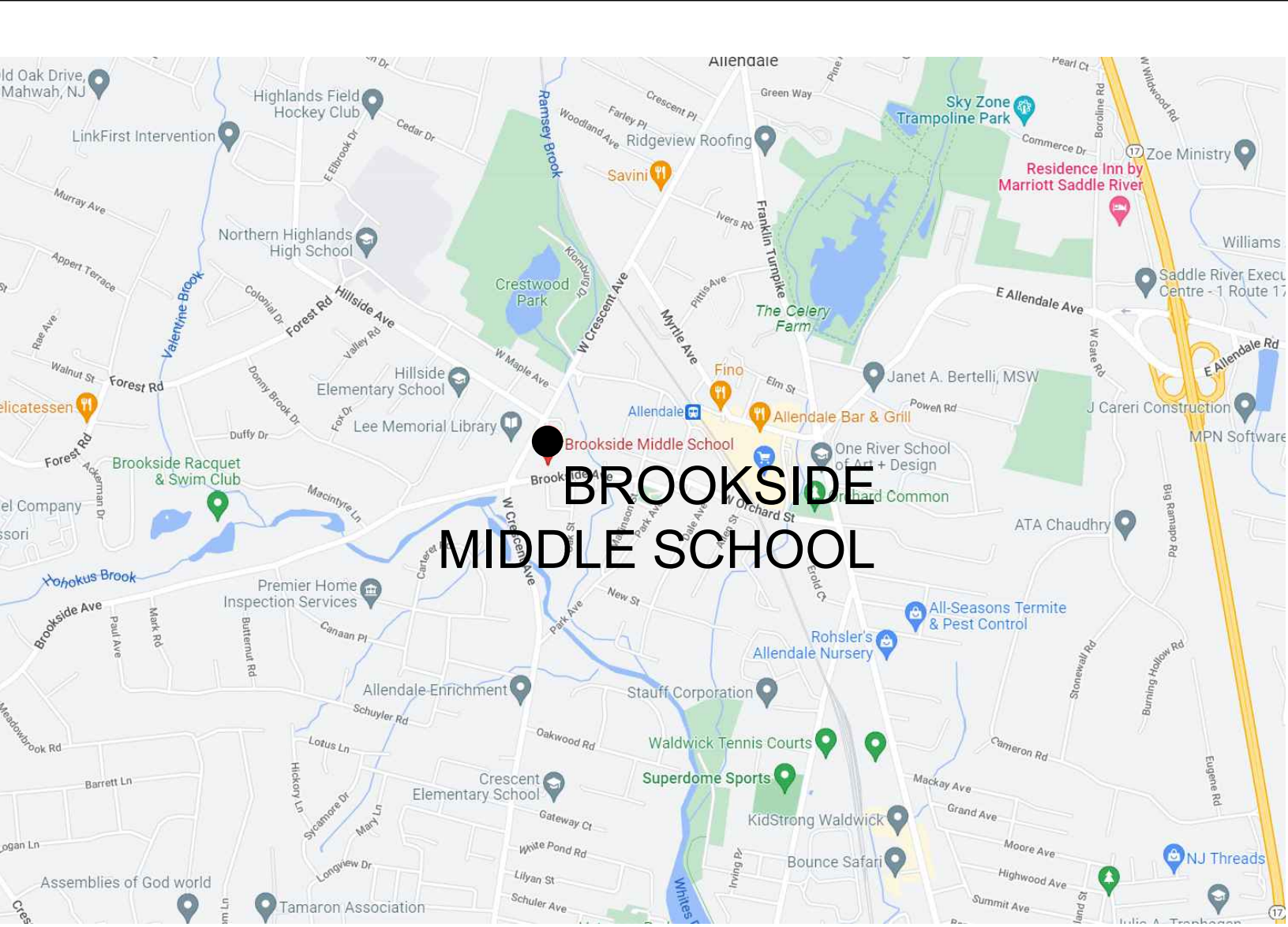
ABBREVIATIONS

AB	ANCHOR BOLT	ELEV	ELEVATION	INV	INVERT	REV	REVISED
ACOUS	ACOUSTICAL	EMER	EMERGENCY	JAN	JANITOR	RM	ROOM
ACT	ACOUSTICAL CEILING TILE	ENCL	ENCLOSURE	JOINT	JOINT	RO	ROUGH OPENING
ADJ	ADJUSTABLE	EQU	EQUIPMENT	JST	JOIST	RWC	REDWOOD
AFF	ABOVE FINISHED FLOOR	EW	EACH WAY	LAV	LABORATORY	RFWD	RAIN WATER CONDUCTOR
AGGR	AGGREGATE	EWC	ELECTRIC WATER COOLER	LAM	LAMINATE	SF	SQUARE FOOT
AL	ALUMINUM	EXP	EXPANSION	LAV	LAVATORY	SC	SOUTH
ALT	ALTERNATE	EXIST	EXISTING	LOCKER	LOCKER	SC	SOLID CORE
APPROX	APPROXIMATE	EXPO	EXPOSED	LLO	LONG LEG OUT	SCHED	SCHEDULE
ARCH	ARCHITECTURAL	EXT	EXTERIOR	LP	LOW POINT	SECT	SECTION
BD	BOARD	FA	FIRE ALARM	LT	LIGHT	SHR	SHOWER
BOF	BOTTOM OF FOOTING	FBO	FURNISHED BY OTHERS	LTG	LIGHTING	SHT	SHEET
BITUM	BITUMINUS	FDR	FLOOR DRAIN	LW	LONG WAY	SIM	SIMILAR
BLDG	BUILDING	FDN	FOUNDATION	MAS	MASONRY	SLO	SHORT LEG OUT
BLKS	BLOCKING	FE	FIRE EXTINGUISHER	MAX	MAXIMUM	SP	SPACES
BM	BEAM	FEC	FIRE EXTINGUISHER CABINET	MECH	MECHANICAL	SPEC	SPECIFICATION
BOS	BOTTOM OF STEEL	FF	FACTORY FINISH	MED	MEDIUM	SPM	SINGLE PLY MEMBRAIE
BOT	BOTTOM	FHC	FIRE HOSE CABINET	MEMB	MEMBRANE	SQ	SQUARE
BRG	BEARING	FIN	FINISH	MFR	MANUFACTURER	SST	STAINLESS STEEL
BU	BUILT-UP	FL	FLOOR	MH	MANHOLE	STA	STONE
BW	BOTH-WAYS	FLUOR	FLUORESCENT	MIN	MINIMUM	STD	STANDARD
CAB	CABINET	FOC	FACE OF CONCRETE	MIR	MIRROR	STL	STEEL
CB	CATCH BASIN	FOD	FACE OF FINISH	MIS	MISCELLANEOUS	STOR	STORAGE
CEM	CEMENT	FOM	FACE OF MASONRY	MO	MASONRY OPENING	STRUC	STRUCTURAL
CER	CERAMIC	FOS	FACE OF STUDS	MT	MARBLE THRESHOLD	SUSP	SUSPENDED
CL	CAST IRON	FPR	FIREPROOF	MTD	MOUNTED	SW	SHORT WAY
CIP	CAST-IN-PLACE	FS	FULL SIZE	MUL	MULLION	SYM	SYMMETRICAL
CJ	CONTROL JOINT	FTG	FOOT OR FEET	N	NORTH	TEMP	TEMPORARY
CLG	CEILING	FUR	FURRING	NIC	NO OR #	TEL	TELEPHONE
CH	CLOSET	FUT	FUTURE	NOM	NOMINAL	TER	TERRAZZO
CH	CEILING HEIGHT	GALV	GALVANIZED	NTS	NOT TO SCALE	T & G	TONGUE AND GROOVE
CLR	CLEAR	GB	GRAB BAR	OC	ON CENTER	THK	THICK
CML	CONCRETE MASONRY UNIT	GR	GROUND	OD	OUTSIDE DIAMETER (DIM.)	TC	TOP OF CURB
CNTR	COUNTER	GND	GRADE	OH	OVERHEAD	TOC	TOP OF CONCRETE
COL	COLUMN	GR	GLAZED STRUCTURAL UNIT	OPNG	OPENING	TOF	TOP OF FOOTING
CONC	CONCRETE	GSU	GLAZED STRUCTURAL UNIT	OPP	OPPOSITE	TOM	TOP OF MASONRY
CONN	CONNECTION	GWB	Gypsum WALLBOARD	PCC	PRECAST CONCRETE	TOS	TOP OF STEEL
CONST	CONSTRUCTION	GYP	GYPSPUM	PL	PLASTER	TOP	TOP OF PAVEMENT
CONT	CONTINUOUS	GC	GENERAL CONTRACTOR	PLAS	PLASTIC LAMINATE	TV	TELEVISION
CONTR	CONTRACTOR	HH	HEADER HEIGHT	PLYWD	PLYWOOD	TYP	TYPICAL
CORR	CORROSION	HB	HOSE BIBB	PR	PAIR	UNF	UNFINISHED
CSWK	CASEWORK	HBE	HOOK BOTH ENDS	PSP	POUNDS/SQ. FOOT	UON	UNLESS OTHER WSE NOTED
CTSK	COUNTERSINK	HBF	HORIZONTAL BOTH FACES	PT	POINT	VBF	VERTICAL BOTH FACES
DBL	DOUBLE	HDE	HOOK DISCONTINUOUS ENDS	PTD	PAINTED	VCT	VINYL COMPOSITION TILE
DEPT	DEPARTMENT	HDWD	HARDWOOD	PVMT	PAVEMENT	VERT	VERTICAL
DET	DETAIL	HGT	HEIGHT	QT	QUARTRY TILE	VEST	VESTIBULE
DF	DRINKING FOUNTAIN	HIF	HORIZONTAL INSIDE FACE	R	RISER	VIF	VERTICAL INSIDE FACE
DIA	DIAMETER	HMD	HOLLOW METAL	RAD	RADIUS	VOF	VERTICAL OUTSIDE FACE
DIM	DIMENSION	HOC	HORIZONTAL OUTSIDE FACE	RD	ROOF DRAIN	W	WEST
DISP	DISPENSER	HORIZ	HORIZONTAL	REF	REFERENCE	W	WITH
DN	DOWN	HP	HIGH POINT	REFR	REFLECTED	WC	WATER CLOSET
DS	DOWNSPOUT	HR	HOUR	REFR	REFRIGERATOR	WD	WOOD
DWG	DRAWING	ID	INSIDE DIAMETER (DIM.)	REG	REGISTER	WIO	WITHOUT IRON
DWR	DRAWER	IN	INCH	REIN	REINFORCED	WI	WEIGHT
EA	EACH	INSUL	INSULATION	REQ	REQUIRED	WIN	WINDOW
EB	EXPANSION BOLT	INT	INTERIOR	RES	RESILIENT	WP	WORKING POINT
EJ	EXPANSION JOINT			RET	RETURN	WTRPRF	WATERPROOF
ELEC	ELECTRICAL					WSCOT	WAINSCOT
						WWF	WELDED WIRE FABRIC

GRAPHIC SYMBOLS

NORTH ARROW		CEILING IDENTIFICATION		CONCRETE MASONRY UNIT	
ELEVATION IDENTIFICATION		CEILING HEIGHT		BRICK	
SHEET NUMBER		DOOR IDENTIFICATION		CONCRETE	
DETAIL IDENTIFICATION		WINDOW TYPE		DRAINAGE FILL	
SHEET NUMBER		PARTITION IDENTIFICATION		EARTH	
SECTION IDENTIFICATION		REVISION NUMBER		INSULATION - BATT	
SHEET NUMBER		TOILET ACCESSORY		INSULATION - RIGID	
REFERENCE BUBBLE		ELEVATION MARK		WOOD - ROUGH	
INTERIOR ELEV. IDENTIFICATION				WOOD - FINISH	
SHEET NUMBER				PLYWOOD	
ROOM NAME	ROOM NAME			STEEL	
ROOM NUMBER	XXX			STONE	
ROOM NAME	ROOM NAME				
ROOM NUMBER	XXX				
WALL FINISH	X				
BASE	X				
FLOOR FINISH	X				

LOCATION MAP



PROJECT INFORMATION

APPLICABLE CODES:

- INTERNATIONAL BUILDING CODE, NJ ed., 2021
- NATIONAL ELECTRIC CODE (NFPA 70) 2021
- NATIONAL STANDARD PLUMBING CODE, 2021
- ASHRAE 90.1 - 2019
- INTERNATIONAL MECHANICAL CODE, 2021
- INTERNATIONAL FUEL GAS CODE, 2021
- REHABILITATION SUBCODE - NJAC 5: 23-6
- BARRIER FREE SUBCODE - NJAC 5: 23-7 ANSI A117.1-2009; CHAPTER 11 OF IBC/2021

- SCOPE OF WORK:  
INTERIOR RENOVATION AT CAFETERIA AND RENOVATION OF ANNEX SPACE INTO E-SPORTS AND LOUNGE AREA WITH MOVABLE PARTITION. RENOVATIONS TO ALSO INCLUDE NEW MOVABLE PARTITION AT FITNESS ROOM. EXTERIOR RENOVATION TO INCLUDE ENCLOSURE OF COURTYARD WITH NEW MASONRY WALL AND NEW OUTDOOR SEATING AREAS.

CONSTRUCTION CLASSIFICATION	2B
USE GROUP	E
FIRE PROTECTION - MANUAL FIRE ALARMS	
EXISTING BUILDING	116620 SF
AREA OF RENOVATION - CAFETERIA + ANNEX NEW MOVABLE PARTITION AT FITNESS ROOM EXTERIOR RENOVATION - NEW ENCLOSED COURTYARD	6,300 SF 1,714 SF 6,600 SF

DRAWING LIST

GENERAL	COVER SHEET
TOOI	
ARCHITECTURAL	
SP-1	OVERALL SITE PLAN
A--001	OVERALL BUILDING PLAN
A--100	NEW WORK EXTERIOR PLAN
A--101	CAFETERIA/ANNEX PLAN
A--121	CAFETERIA/ANNEX REFLECTED CEILING PLAN
A--140	FURNITURE PLAN

GENERAL NOTES

1. THE GENERAL CONTRACTOR, HEREAFTER REFERRED TO AS "THE CONTRACTOR", SHALL INCLUDE ALL SUBCONTRACTORS AS CONTRACTED BY THE GENERAL CONTRACTOR FOR WORK ON THE ADDITIONS AND RENOVATIONS DESCRIBED BY THESE PLANS AND SPECIFICATIONS. "THE CONTRACTOR" SHALL BE RESPONSIBLE AND ACCOUNTABLE FOR THE SCHEDULING, COORDINATING QUALITY OF WORKMANSHIP AND TIMELY COMPLETION OF ALL WORK BY ITS SUBCONTRACTORS.

2. THE CONTRACTOR MUST COMPLY WITH ALL STATE AND FEDERAL OSHA REGULATIONS.

3. THE CONTRACTOR MUST COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS OF PUBLIC AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.

4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, AND FOR COORDINATING ALL REQUIRED INSPECTIONS FOR ALL STRUCTURAL, ELECTRICAL, GENERAL CONSTRUCTION OR OTHER WORK AS REQUIRED BY MUNICIPALITY.

5. THE CONTRACTOR MUST PERFORM WORK IN A MANNER TO PREVENT ACCIDENTS, INJURY, OR PROPERTY DAMAGE. ALL PRECAUTIONS FOR SAFETY ARE TO BE FOLLOWED. PROVIDE BARRICADES, GUARDRAILS, AND OR OTHER PROTECTION AS NECESSARY AND REQUIRED FOR MAXIMUM SAFETY.

6. THE CONTRACTOR IS RESPONSIBLE FOR COVERING, PROTECTING, AND OR ISOLATING ALL EXISTING WORK, EQUIPMENT, FURNISHING (FIXED), FIXTURES, FINISHED SURFACES, FLOORING, ETC. DURING DEMOLITION AND CONSTRUCTION. PROVIDE BARRICADES, GUARDS, TARPS, DROP-CLOTHS, TEMPORARY ENCLOSURES, TEMPORARY FLOOR COVERINGS, ETC. AS NECESSARY. THE CONTRACTOR MUST TAKE ALL MEASURES TO MINIMIZE THE IMPACT OF DEBRIS, DUST, FOOT TRAFFIC, AND OTHER POTENTIALLY DAMAGING EFFECTS DUE TO DEMOLITION AND CONSTRUCTION.

7. THE CONTRACTOR WILL BE HELD LIABLE AND ACCOUNTABLE FOR ALL DAMAGES TO PERSONS OR PROPERTY CAUSED BY REASON OF INSUFFICIENT PROTECTION OR CARELESS WORKMANSHIP DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR WILL RESTORE ANY PROPERTY DAMAGE TO THE ORIGINAL CONDITION OR REPAIR AS DIRECTED AT NO ADDITIONAL COST TO THE PROJECT.

8. ANY EXISTING MATERIALS, EQUIPMENT, FIXTURES, FINISHES, ETC. TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED AT CONTRACTOR'S EXPENSE.

9. ANY NEW MATERIALS, EQUIPMENT, FIXTURES, FINISHES, ETC. THAT ARE DAMAGED DUE TO CONSTRUCTION SHALL BE REPAIRED/REPLACED AT CONTRACTOR'S EXPENSE.

10. THE OWNER WILL NOT ACCEPT THE REPAIR OF DAMAGED WORK, EQUIPMENT, OR OTHER PROPERTY UNLESS, IN THEIR OPINION, THE REPAIRS HAVE MADE IT USEFUL AND EQUAL IN APPEARANCE AS PRIOR TO THE DAMAGE.

11. IN AREAS OF NEW CONSTRUCTION, THE CONTRACTOR IS TO PREPARE ALL DEMOLISHED SURFACES TO ACCOMMODATE NEW CONSTRUCTION AS NOTED IN THE CONSTRUCTION DOCUMENTS OR AS REQUIRED BY STANDARD TRADE PRACTICES. IN AREAS OF MINOR RENOVATION, THE CONTRACTOR IS TO PATCH, RE-SURFACE, AND OR REFINISH ALL SURFACES TO MATCH EXISTING ADJACENT SURFACES, UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.

12. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL CONDITIONS, OR OTHER UNFORESEEN CONDITIONS DISCOVERED BEFORE OR DURING DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL CONSULTATION AND RESOLUTION WITH THE ARCHITECT.

13. THE CONTRACTOR IS TO DISPOSE OF ALL CONSTRUCTION DEBRIS IN A LEGAL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY ON-SITE STORAGE AND THE REMOVAL OF ALL CONSTRUCTION DEBRIS UNLESS INSTRUCTED OTHERWISE BY THE OWNER.

14. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A REASONABLY CLEAN WORKPLACE ON A DAILY BASIS.

15. THE CONTRACTOR SHALL PERFORM ALL WORK ON SCHEDULE AS NEGOTIATED WITH THE OWNER PRIOR TO THE AWARD OF THE CONTRACT AND THE COMMENCEMENT OF WORK. ALL SPACES THROUGHOUT THE BUILDING ARE TO REMAIN ACCESSIBLE ON A MUTUALLY AGREEABLE SCHEDULE.

16. THE CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE DESIGN INTENT OF THE CONTRACT DOCUMENTS. NO CHANGES SHALL BE MADE WITH OUT THE APPROVAL OF THE OWNER.

17. FOR ALL ASSEMBLIES, THE CONTRACTOR SHALL REVIEW THE REFERENCED MATERIAL FOR DETAILED ASSEMBLY CONSTRUCTION.

18. THE ELECTRICAL SUBCONTRACTOR SHALL MEET OR EXCEED THE REQUIREMENTS OF THE APPLICABLE GOVERNING CODES AND COORDINATE THEIR WORK WITH THE ARCHITECTURAL DRAWINGS, WHICH TAKE PRIORITY OVER THE ELECTRICAL DRAWINGS. CONTRACTOR SHALL NOTIFY ARCHITECT OF CONFLICTS.

19. CONTRACTOR SHALL VERIFY AND/OR ESTABLISH ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS IN THE FIELD.

20. NO PRODUCTS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED ON THE PROJECT OR USED DURING THE CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS BEEN MET. SUBCONTRACTORS SHALL VERIFY TO THE CONTRACTOR THAT NO ASBESTOS OR OTHER HAZARDOUS PRODUCTS ARE USED IN THEIR WORK.

21. THESE DRAWINGS SHALL BE USED IN THE CONJUNCTION WITH THE WRITTEN BOOK FORMAT PROJECT MANUAL WHICH CONTAINS SPECIFICATIONS PREPARED FOR THIS PROJECT. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONFLICT BETWEEN SPECIFICATIONS AND DRAWINGS AS SOON AS CONFLICTS ARE DISCOVERED.

22. COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF MATERIALS UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED.

BOARD OF EDUCATION APPROVAL

BOARD OF EDUCATION  
APPROVED DATE 3/15/23  
Dr. Michael J. Barcadepone  
Superintendent  
Mrs. Amy Gunderson  
Board President

JOB NO. 22.115

DRAWN BY: BR CHECKED BY: KMS

DATE:

CAD FILE:

CAFE RENOVATION AT:

BROOKSIDE  
MIDDLE SCHOOL

100 BROOKSIDE AVE,  
ALLENDALE, NJ 07401  
NJ DOE#: 03-0040-010-23-4000

COVER SHEET

T001- DOE





SETTEMBRINO  
ARCHITECTS

37 East Washington Ave.  
Atlantic Highlands, NJ 07716  
732.741.4900 (o) | 732.741.4977 (f)

*Kevin M. Settembrino*  
Kevin M. Settembrino, AIA, LEED AP  
License No. AI 15163

OWNER  
Allendale  
Board of Education  
100 Brookside Ave,  
Allendale, NJ 07401  
(732) 928-1200

MECH / ELECTRICAL / PLUMBING  
ENGINEER

Eden  
Engineering  
14 Quaker Drive  
East Brunswick, NJ 08816  
732.568.4866

STRUCTURAL ENGINEER

MPP  
Engineers  
34 S Main Street  
Allentown, NJ 08501  
609.489.5511

No.	Description	Date
	NJ DOE SUBMITTAL	04.24.23

JOB NO. 22.115

DRAWN BY: BR CHECKED BY: KMS

DATE:

CAD FILE:

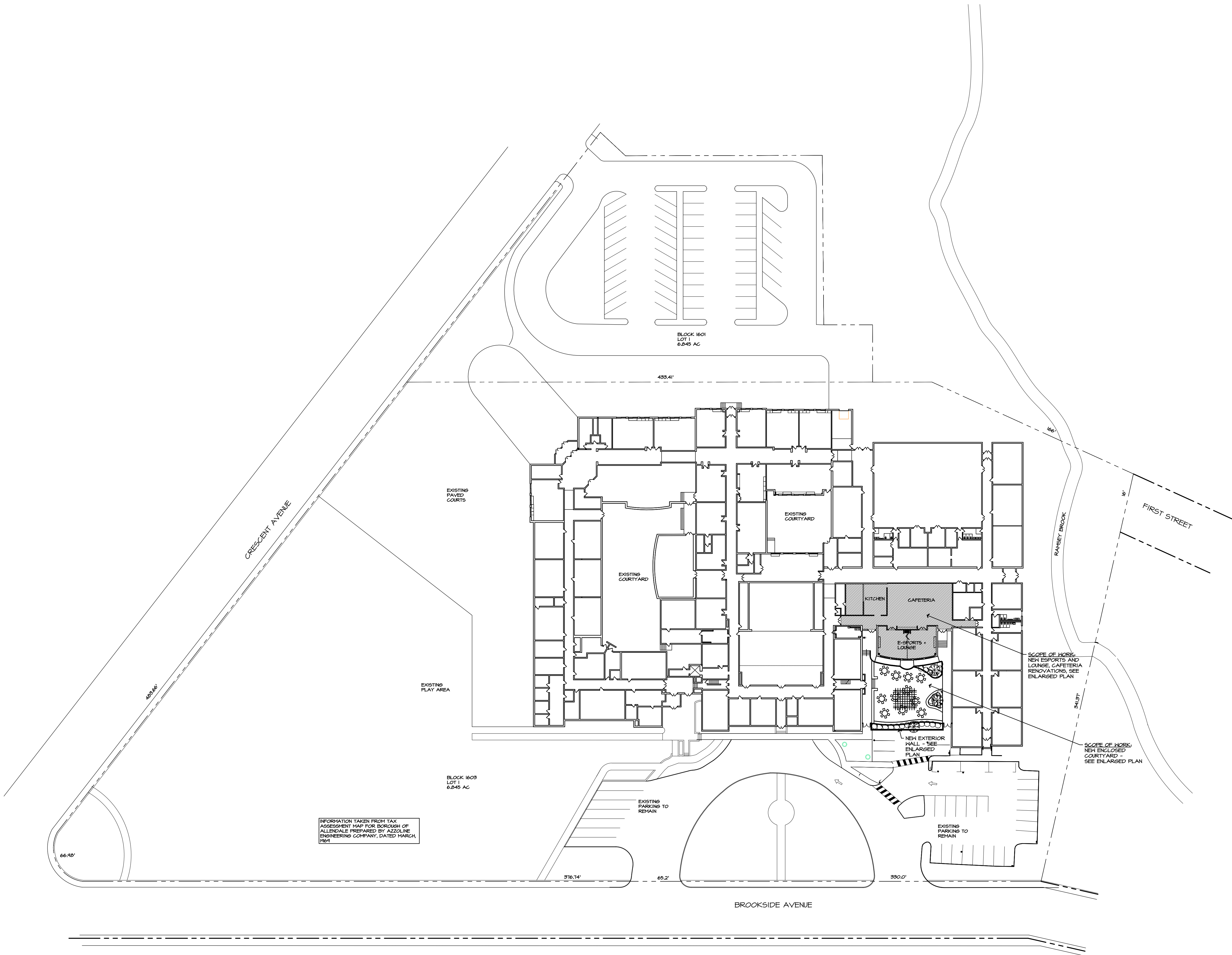
CAFE RENOVATION AT:

## BROOKSIDE MIDDLE SCHOOL

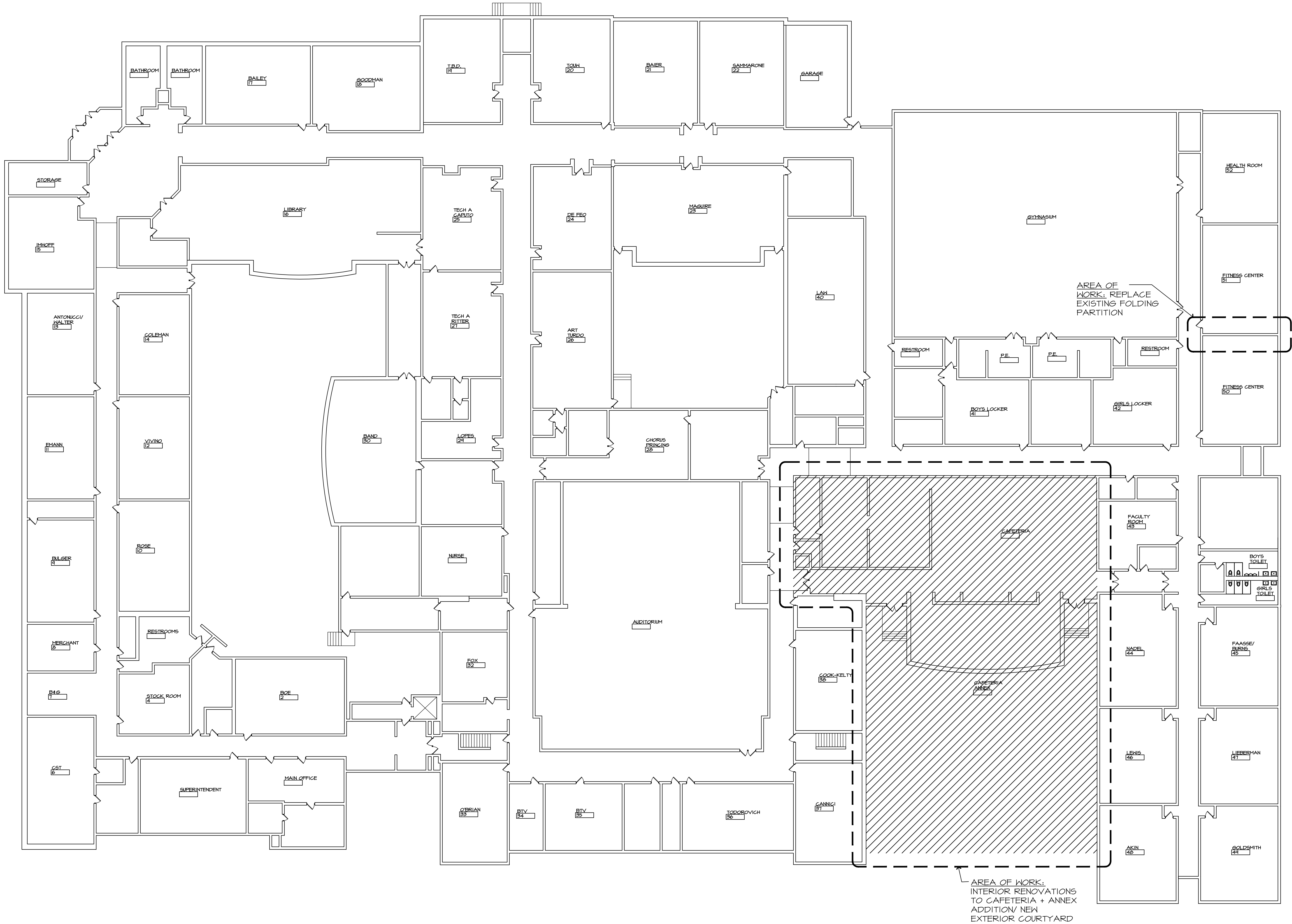
100 BROOKSIDE AVE,  
ALLENDALE, NJ 07401  
NJ DOE#: 03-0040-010-23-4000

OVERALL SITE PLAN

SP-1







**SETTEMBRINO**  
ARCHITECTS

37 East Washington Ave.  
Atlantic Highlands, NJ 07716  
732.741.4900 (o) | 732.741.4977 (f)

*Kevin M. Settembrino*  
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Eden  
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CAD FILE:

CAFE RENOVATION AT:

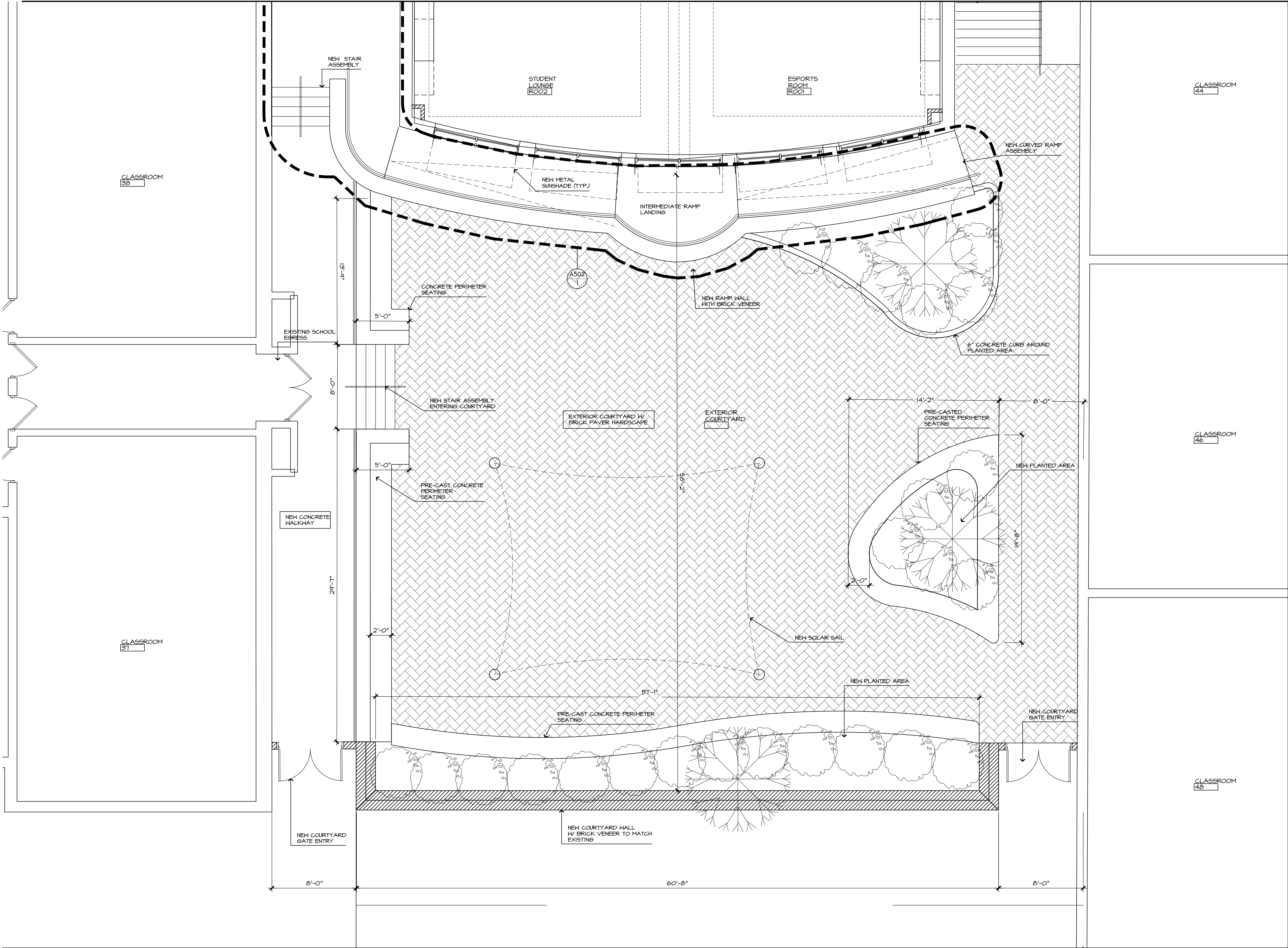
**BROOKSIDE**  
**MIDDLE SCHOOL**

100 BROOKSIDE AVE,  
ALLENDALE, NJ 07401  
NJ DOE#: 03-0040-010-23-4000

OVERALL BUILDING PLAN

**A-001**





**SETTEMBRINO**  
ARCHITECTS

37 East Washington Ave.  
Atlantic Highlands, NJ 07716  
732.741.4900 (o) | 732.741.4977 (f)

*Kevin M. Settembrino*  
Kevin M. Settembrino, AIA, LEED AP  
License No. AI 15163

OWNER  
Allendale  
Board of Education  
100 Brookside Ave.  
Allendale, NJ 07401  
(732) 928-1200  
MECH / ELECTRICAL / PLUMBING  
ENGINEER

Eden  
Engineering  
14 Quaker Drive  
East Brunswick, NJ 08816  
732.568.4866

STRUCTURAL ENGINEER  
MPP  
Engineers  
34 S Main Street  
Allentown, NJ 08501  
609.489.5511

No.	Description	Date
	NJ DOE SUBMITTAL	04.24.23

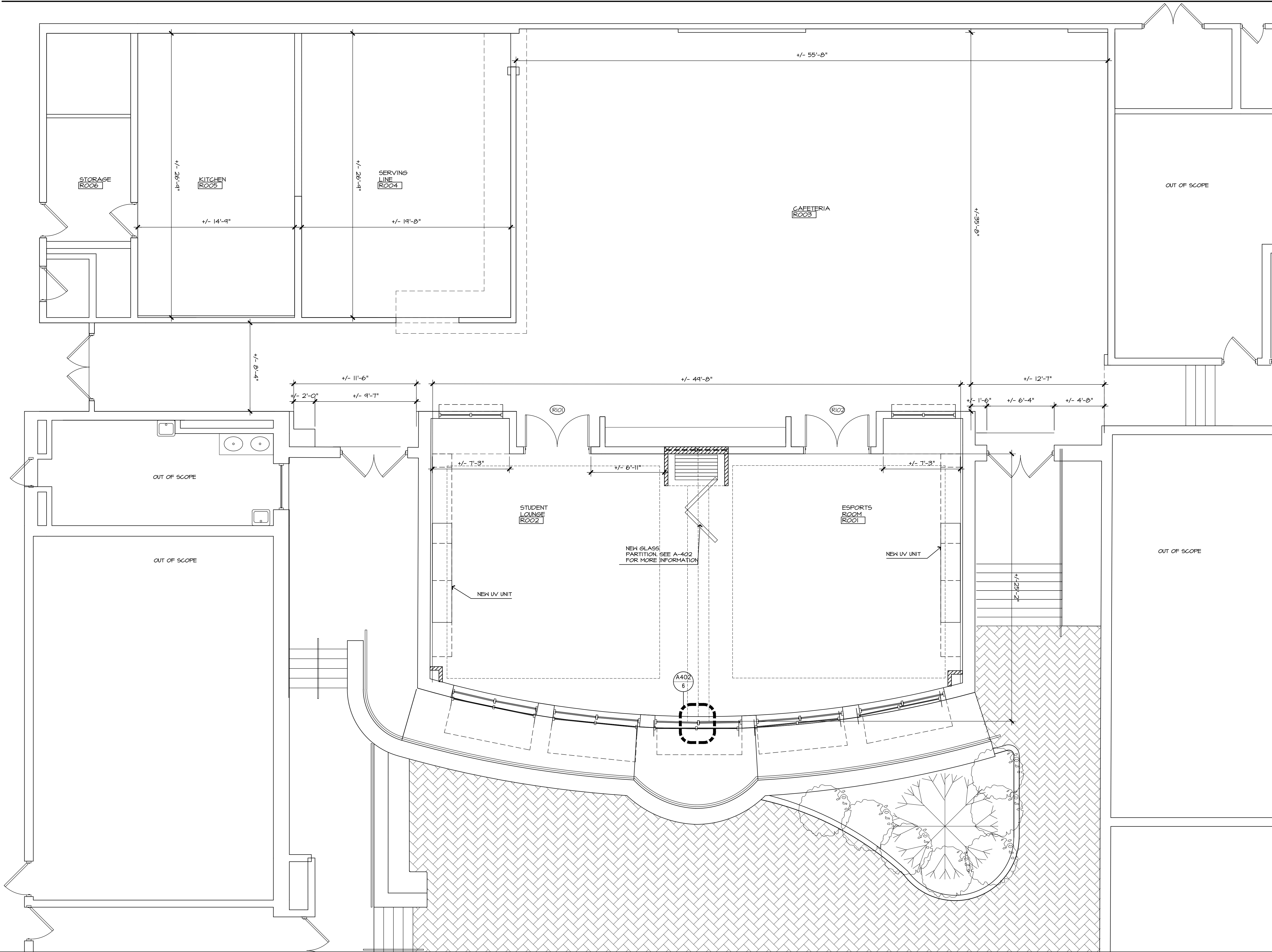
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DRAWN BY: BR CHECKED BY: KMS  
DATE:  
CAD FILE:

CAFE RENOVATION AT:  
**BROOKSIDE  
MIDDLE SCHOOL**  
100 BROOKSIDE AVE,  
ALLENDALE, NJ 07401  
NJ DOE#: 03-0040-010-23-4000

CAFETERIA/ANNEX  
OUTDOOR PLAN

**A-100**





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ARCHITECTS

37 East Washington Ave.  
Atlantic Highlands, NJ 07716  
732.741.4900 (o) | 732.741.4977 (f)

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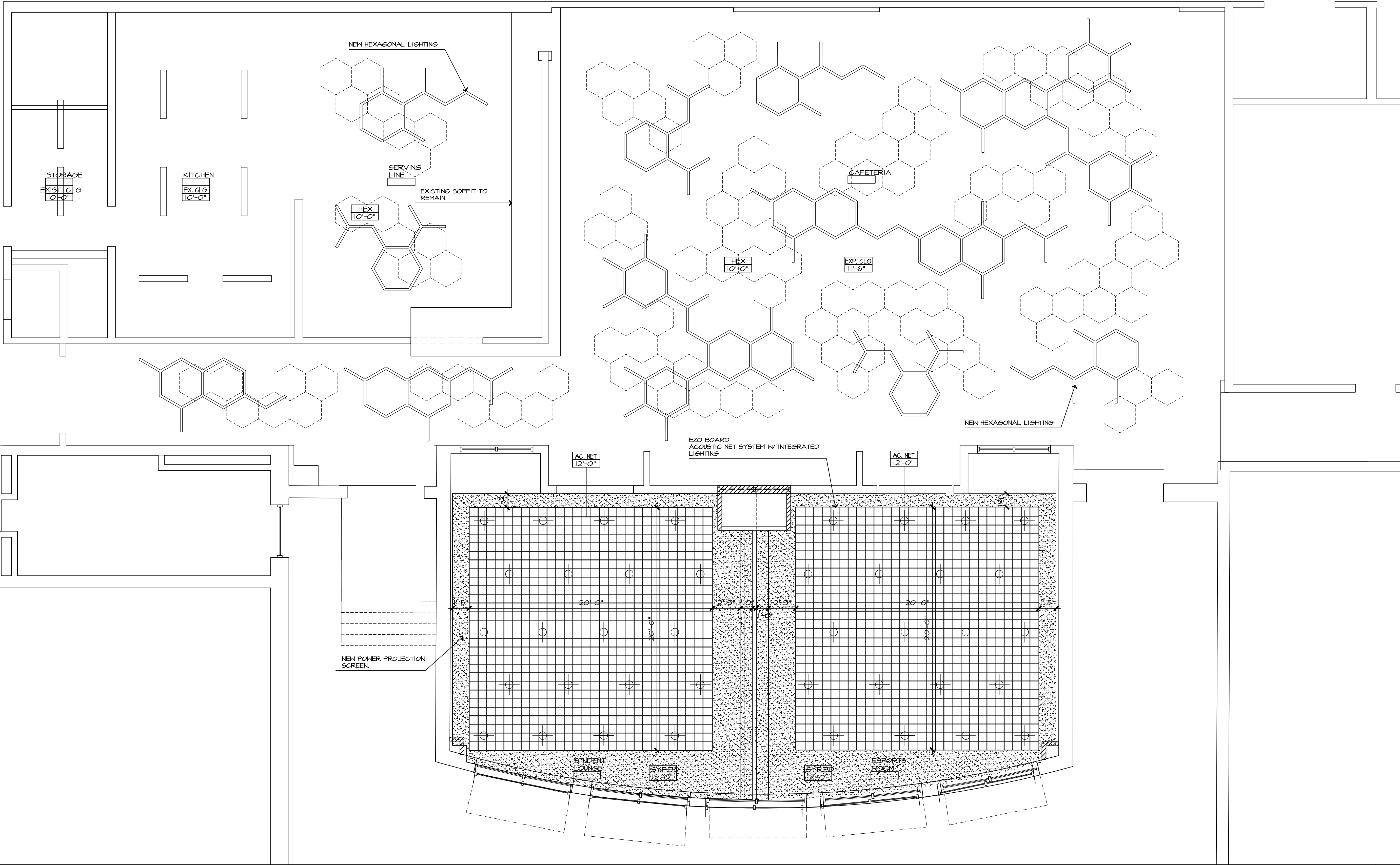
**BROOKSIDE**  
**MIDDLE SCHOOL**

100 BROOKSIDE AVE,  
ALLENDALE, NJ 07401  
NJ DOE#: 03-0040-010-23-4000

CAFETERIA/ANNEX PLAN

**A-101**





NEW WORK REFLECTED CEILING PLAN - CAFETERIA

SCALE: 1/4"=1'-0"

2

REFLECTED CEILING PLAN LEGEND

- NEW HEXAGONAL PATTERN PENDANT LIGHT FIXTURE. (SEE ELECTRICAL FOR MORE INFORMATION)
- NEW 4.5" CYLINDER PENDANT LIGHT FIXTURE. (SEE ELECTRICAL FOR MORE INFORMATION)
- NEW SURFACE MTD. LIGHT FIXTURE. (SEE ELECTRICAL FOR MORE INFORMATION)
- NEW HEXAGONAL ACOUSTIC CLOUD PANEL ABOVE LIGHT FIXTURE

RCP LEGEND

1



37 East Washington Ave.  
Atlantic Highlands, NJ 07716  
732.741.4900 (o) | 732.741.4977 (f)

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Board of Education  
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Allentown, NJ 08501  
609.489.5511

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	NJ DOE SUBMITTAL	04.24.23

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CAFE RENOVATION AT:

BROOKSIDE  
MIDDLE SCHOOL

100 BROOKSIDE AVE,  
ALLENDALE, NJ 07401  
NJ DOE#: 03-0040-010-23-4000

CAFETERIA/ANNEX  
REFLECTED CEILING PLAN

A-121





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ARCHITECTS

37 East Washington Ave.  
Atlantic Highlands, NJ 07716  
732.741.4900 (o) | 732.741.4977 (f)

*Kevin M. Settembrino*  
Kevin M. Settembrino, AA, LEED AP  
License No. AI 15163

OWNER  
Allendale  
Board of Education  
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Allendale, NJ 07401  
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Eden  
Engineering  
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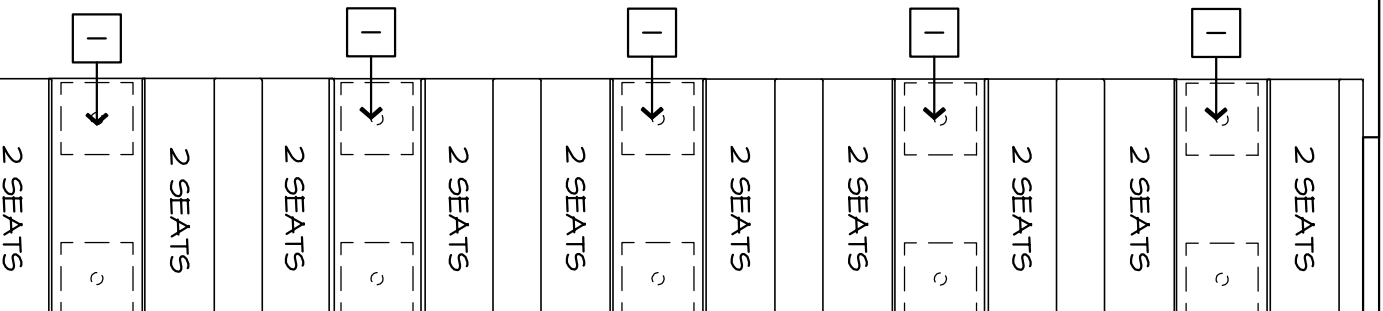
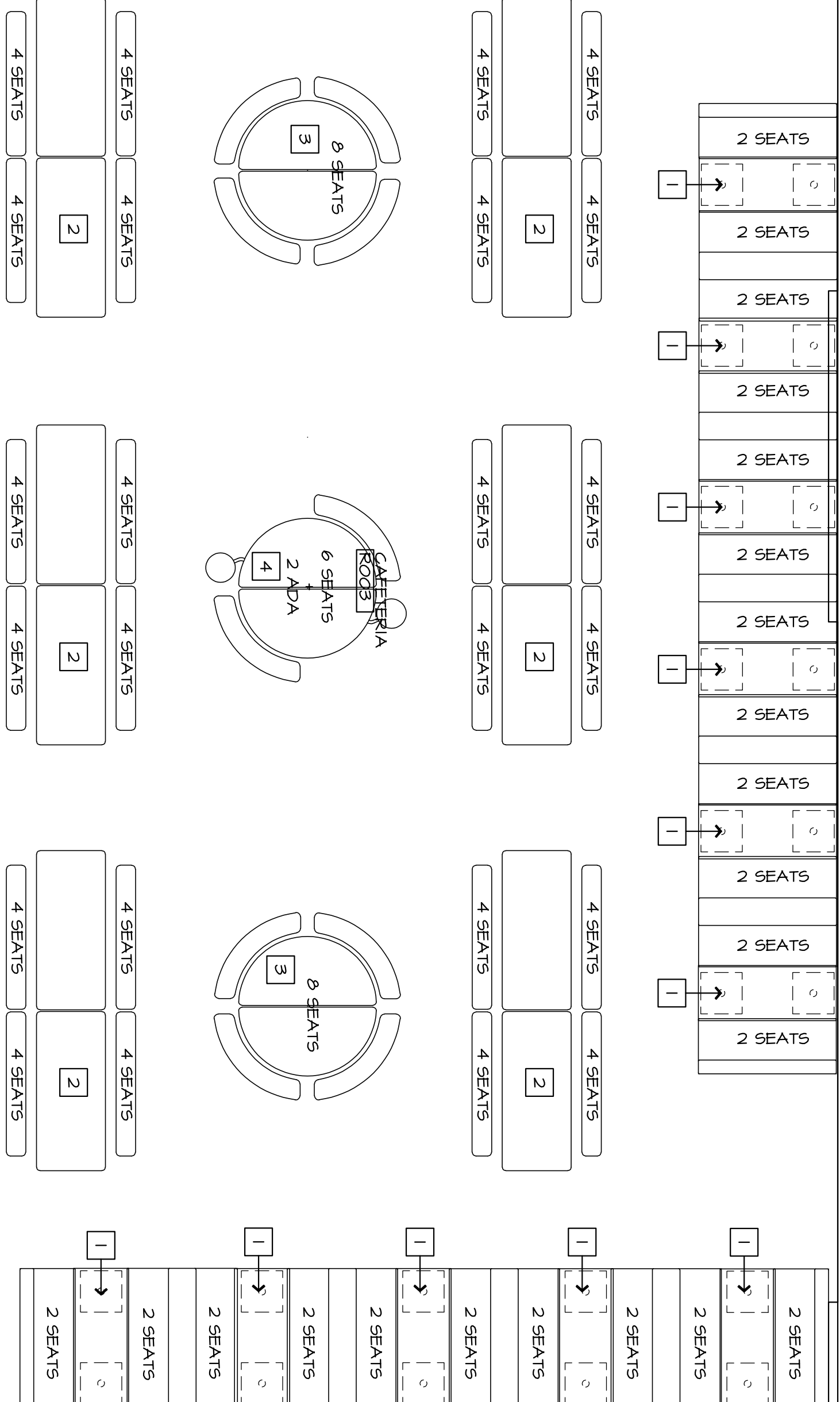
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	NJ DOE SUBMITTAL	04.24.23

JOB NO. 22-115  
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BROOKSIDE  
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100 BROOKSIDE AVE,  
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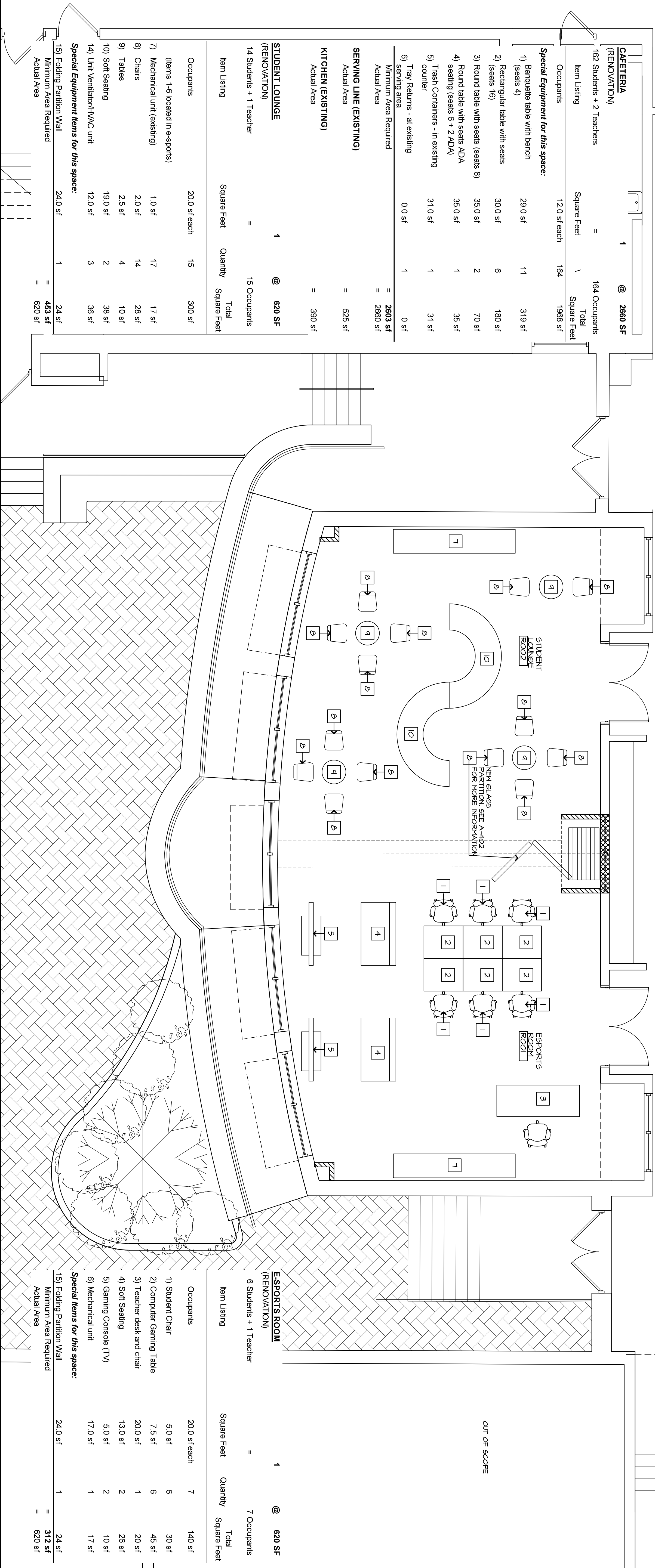
FURNITURE PLAN

A-140



OUT OF SCOPE

OUT OF SCOPE



CAFETERIA (RENOVATION)			
162 Students + 2 Teachers	=	164 Occupants	
Item Listing	Square Feet	Total Square Feet	
Occupants	12.0 sf each	164	1968 sf

Special Equipment for this space:

1) Banquette table with bench (seats 4)	29.0 sf	11	319 sf
2) Rectangular table with seats (seats 16)	30.0 sf	6	180 sf
3) Round table with seats (seats 8)	35.0 sf	2	70 sf
4) Round table with seats ADA seating (seats 6 + 2 ADA)	35.0 sf	1	35 sf
5) Trash Containers - in existing counter	31.0 sf	1	31 sf
6) Tray Returns - at existing serving area	0.0 sf	1	0 sf

Minimum Area Required  
Actual Area = 2660 sf

SERVING LINE (EXISTING)

Actual Area = 525 sf

KITCHEN (EXISTING)

Actual Area = 390 sf

STUDENT LOUNGE  
(RENOVATION)

14 Students + 1 Teacher = 15 Occupants

Item Listing	Square Feet	Quantity	Total Square Feet
--------------	-------------	----------	-------------------

Occupants	20.0 sf each	15	300 sf
(Items 1-6 located in e-sports)			
7) Mechanical unit (existing)	1.0 sf	17	17 sf
8) Chairs	2.0 sf	14	28 sf
9) Tables	2.5 sf	4	10 sf
10) Soft Seating	19.0 sf	2	38 sf
14) Unit Ventilator/HVAC unit	12.0 sf	3	36 sf

Special Equipment Items for this space:

15) Folding Partition Wall	24.0 sf	1	24 sf
Minimum Area Required			
Actual Area			= 443 sf

FURNITURE PLAN - CAFETERIA

SCALE: 1/4"=1'-0"

1



EXTERIOR IMPROVMENTSAT:  
HILLSIDE ELEMENTARY SCHOOL

89 HILLSIDE AVE, ALLENDALE, NJ 07401  
ALLENDALE PUBLIC SCHOOL DISTRICT - BERGEN COUNTY  
NJ DOE PROJECT #: 03-0040-020-23-3000

SUPERINTENDENT

MICHAEL J. BARCADEPONE

ALLENDALE BOARD OF EDUCATION

AMY GUNDERSEN, PRESIDENT  
KIMBERLEY ROSNER, VICE PRESIDENT  
NATALIE CAPANO  
TODD FLIEGEL  
DAVID VERBEL

BUSINESS ADMINISTRATOR/BOARD SECRETARY

MARIA L. ENGELEIT



SETTEMBRINO  
ARCHITECTS

37 East Washington Ave.  
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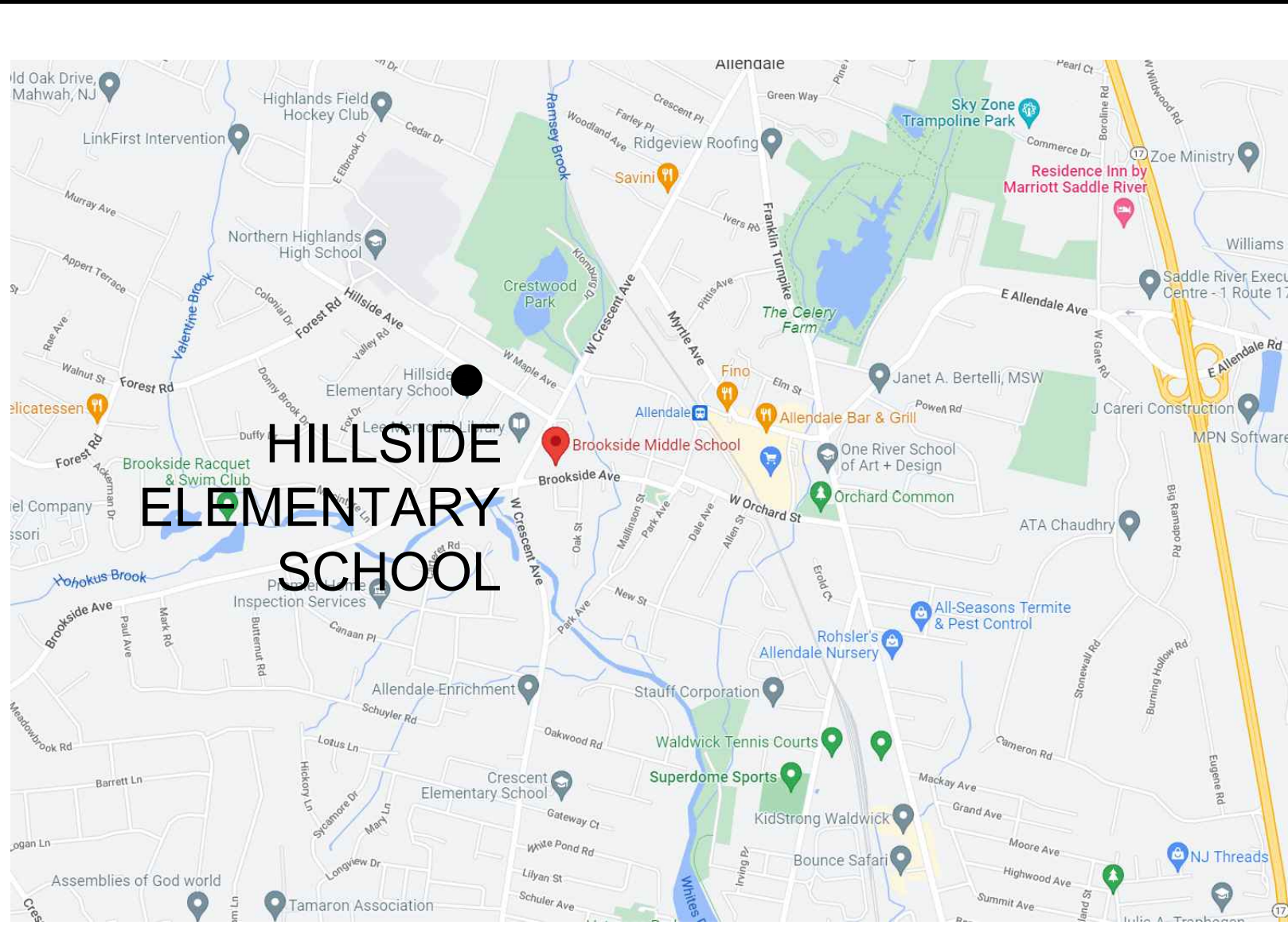
OWNER  
Allendale  
Board of Education  
100 Brookside Avenue  
Allendale, NJ 07401  
(732) 928-1200

ABBREVIATIONS

LOCATION MAP

GENERAL NOTES

AB	ANCHOR BOLT	ELEV	ELEVATION	INV	INVERT	REV	REVISED
ACOUS	ACOUSTICAL	EMER	EMERGENCY	JAN	JANITOR	RM	ROOM
ACT	ACOUSTICAL CEILING TILE	ENCL	ENCLOSURE	JOINT	JOINT	RO	ROUGH OPENING
AD	AREA DRAIN	EQ	EQUIPMENT	LAB	LABORATORY	RWC	RAIN WATER CONDUCTOR
ADJ	ADJUSTABLE	EW	EQUIPMENT	LAM	LAMINATE	RWD	REDWOOD
AFF	ABOVE FINISHED FLOOR	EXP	ELECTRIC WATER COOLER	LAV	LAVATORY	SF	SQUARE FOOT
AGGR	AGGREGATE	EXST	EXISTING	LKR	LOCKER	S	SOUTH
AL	ALUMINUM	EXST	EXISTING	LPO	LONG LEG OUT	SC	SOLID CORE
ALT	ALTERNATE	EXST	EXISTING	LP	LOW POINT	SCHD	SCHEDULE
APPROX	APPROXIMATE	EXST	EXISTING	LT	LIGHT	SECT	SECTION
ARCH	ARCHITECTURAL	FA	FIRE ALARM	LTG	LIGHTING	SH	SILL HEIGHT
BD	BOARD	FBO	FURNISHED BY OTHERS	LW	LONG WAY	SHW	SHOWER
BOF	BOTTOM OF FOOTING	FD	FLOOR DRAIN	MAS	MASONRY	SHT	SHEET
BTUM	BITUMINUS	FDM	FOUNDATION	MAX	MAXIMUM	SIM	SIMILAR
BLDG	BUILDING	FE	EXTINGUISHER	MECH	MECHANICAL	SLO	SHORT LEG OUT
BLKG	BLOCKING	FEC	FIRE EXTINGUISHER CABINET	MEM	MEMBRANE	SP	SPACES
BM	BEAM	FF	FACTORY FINISH	MTL	METAL	SPEC	SPECIFICATION
BOS	BOTTOM OF STEEL	FHC	FIRE HOSE CABINET	MFR	MANUFACTURER	SPM	SINGLE PLY MEMBRAIE
BOT	BOTTOM	FL	FLOOR	MH	MANHOLE	SQ	SQUARE
BRG	BEARING	FLUOR	FLUORESCENT	MIN	MINIMUM	STA	STAINLESS STEEL
BW	BOTH-WAYS	FOC	FACE OF CONCRETE	MIR	MIRROR	STD	STANDARD
CAB	CABINET	FOF	FACE OF FINISH	MISC	MISCELLANEOUS	STL	STEEL
CB	CATCH BASIN	FOF	FACE OF MASONRY	MT	MARBLE THRESHOLD	STRUC	STRUCTURAL
CEM	CEMENT	FOS	FACE OF STUDS	OC	ON CENTER	SUSP	SUSPENDED
CER	CERAMIC	FRF	FIREPROOF	OD	OUTSIDE DIAMETER (DIM.)	SW	SHORT WAY
CI	CAST IRON	FT	FOOTING	OFF	OVERHEAD	SYM	SYMMETRICAL
CIP	CAST-IN-PLACE	FURR	FURNISHING	NO OR #	NOT IN CONTRACT	T	TEMPORARY
CJ	CONTROL JOINT	FUT	FUTURE	N	NORTH	TEL	TELEPHONE
CL	CENTER LINE	GA	GAUGE	NTS	NOT TO SCALE	TER	TERRAZZO
CLG	CEILING	GALV	GALVANIZED	OC	ON CENTER	T & G	TONGUE AND GROOVE
CLO	CLOSED	GB	GRAB BAR	OD	OUTSIDE DIAMETER (DIM.)	THK	THICK
CH	CEILING HEIGHT	GL	GLASS	OFF	OVERHEAD	TOC	TOP OF CURB
CLR	CLEAR	GND	GROUND	OPNG	OPENING	TOF	TOP OF CONCRETE
CMU	CONCRETE MASONRY UNIT	GR	GRADE	OPP	OPPOSITE	TOF	TOP OF FOOTING
CNTR	COUNTER	GRS	GRADED STRUCTURAL UNIT	OPP	OPPOSITE	TOM	TOP OF MASONRY
COL	COLUMN	GWB	GYPSUM WALLBOARD	PCC	PRECAST CONCRETE	TOS	TOP OF STEEL
CONC	CONCRETE	GYP	GYPSUM	PL	PLATE	TP	TOP OF PAVEMENT
CONN	CONNECTION	HC	HOLLOW CORE	PLAM	PLASTIC LAMINATE	TV	TELEVISION
CONST	CONSTRUCTION	HG	HEADER HEIGHT	PLAS	PLASTER	TV	TOP OF WALL
CONT	CONTINUOUS	HOB	HOLE BOTH ENDS	PLYWD	PLYWOOD	TYP	TYPICAL
CONTR	CONTRACTOR	HBF	HORIZONTAL BOTH FACES	PAIR	PAIR	UNF	UNFINISHED
CSWK	CASEWORK	HCB	HOLLOW CORE	PSP	POUNDS/SQ. FOOT	UNF	UNLESS OTHER WSE NOTED
CT	CERAMIC TILE	HCD	HOLLOW CORE	PSI	POINT	VBF	VERTICAL BOTH FACES
CTS	COUNTERSUNK	HDD	HARDWOOD	PT	POINT	VCT	VINYL COMPOSITION TILE
DBL	DOUBLE	HDM	HOLLOW METAL	PVT	PAVEMENT	VERT	VERTICAL
DEPT	DEPARTMENT	HDI	HORIZONTAL INSIDE FACE	QU	QUARRY TILE	VEST	VESTIBULE
DET	DETAIL	HDO	HORIZONTAL OUTSIDE FACE	R	RADIUS	VIF	VERTICAL INSIDE FACE
DF	DRINKING FOUNTAIN	HDP	HORIZONTAL INSIDE FACE	REF	REFLECTED	VOF	VERTICAL OUTSIDE FACE
DIA	DIAMETER	HDS	HARDWARE	RD	ROOF DRAIN	W	WITH
DIM	DIMENSION	HHT	HIGH POINT	REF	REFERENCE	WC	WATER CLOSET
DISP	DISPENSER	HID	HOLLOW INSIDE FACE	REF	REFLECTED	WO	WOOD
DN	DOWN	HIE	HORIZONTAL INSIDE FACE	REFR	REFRIGERATOR	W	WROUGHT IRON
DS	DOWNSPOUT	HID	HORIZONTAL INSIDE FACE	REFR	REFRIGERATOR	WO	WITHOUT
DWG	DRAWING	HID	HORIZONTAL INSIDE FACE	REFR	REFRIGERATOR	W	WEIGHT
DWR	DRAWER	HID	HORIZONTAL INSIDE FACE	REFR	REFRIGERATOR	W	WINDOW
EA	EACH	HID	HORIZONTAL INSIDE FACE	REFR	REFRIGERATOR	W	WORKING POINT
EB	EXPANSION BOLT	HID	HORIZONTAL INSIDE FACE	REFR	REFRIGERATOR	W	WINDSCOT
EJ	EXPANSION JOINT	HID	HORIZONTAL INSIDE FACE	REFR	REFRIGERATOR	W	WATERPROOF
ELEC	ELECTRICAL	HID	HORIZONTAL INSIDE FACE	REFR	REFRIGERATOR	W	WELDED WIRE FABRIC



PROJECT INFORMATION

APPLICABLE CODES:

- INTERNATIONAL BUILDING CODE, NJ ED., 2021
- NATIONAL ELECTRICAL CODE, (NFPA 70) 2021
- NATIONAL STANDARD PLUMBING CODE, 2021
- ASHRAE 90.1 - 2019

- INTERNATIONAL MECHANICAL CODE, 2021
- INTERNATIONAL FUEL GAS CODE, 2021
- REHABILITATION SUBCODE - NJAC 5: 23-6
- BARRIER FREE SUBCODE - NJAC 5: 23-7; ANSI A117.1-2009; CHAPTER II OF IBC/2021

SCOPE OF WORK:

DOOR LOCKSET REPLACEMENT AT CORRIDOR DOORS (INTERIOR) FOR SECURITY.

CONSTRUCTION CLASIFICATION	2B
USE GROUP	E
FIRE PROTECTION - MANUAL FIRE ALARMS	
FIRE PROTECTION - SPRINKLERS (HALL OF FAME CORRIDOR)	
EXISTING BUILDING	41,641 SF
AREA OF WORK (SITE WORK)	+/- 60,300 SF
	1.38 ACRES

DRAWING LIST

GENERAL  
TOO1 COVER SHEET  
ARCHITECTURAL  
A-101 DEMOLITION SITE PLAN  
A-101 NEW WORK SITE PLAN  
A-102 OVERALL SITE PLAN - NEW WORK

BOARD OF EDUCATION APPROVAL

BOARD OF EDUCATION  
APPROVED DATE 3/15/23  
Dr. Michael J. Barcadepone  
Superintendent  
Mrs. Amy Gundersen  
Board President

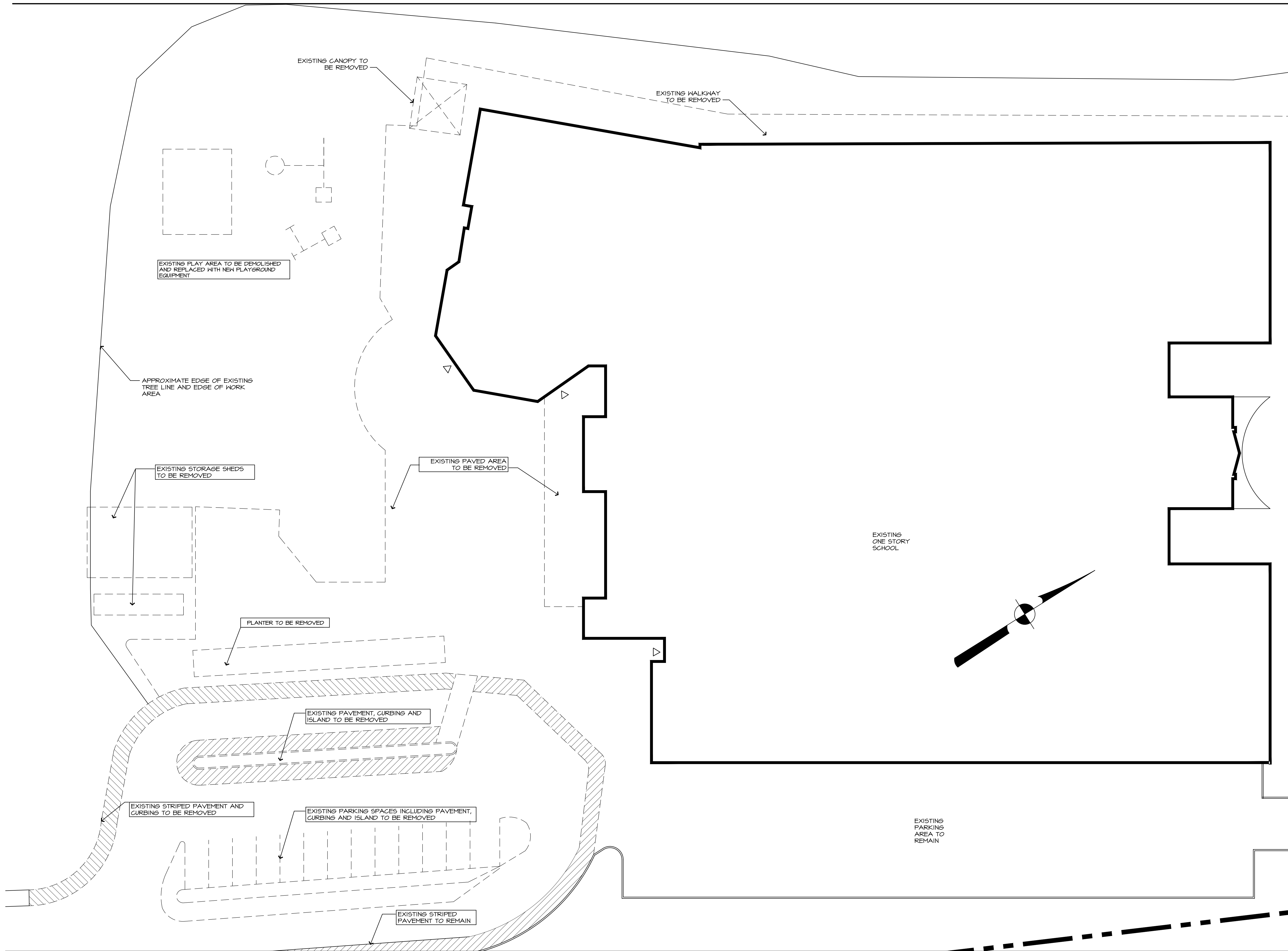
COVER SHEET

T001

GRAPHIC SYMBOLS

NORTH ARROW		CEILING IDENTIFICATION		CONCRETE MASONRY UNIT	
ELEVATION IDENTIFICATION		CEILING HEIGHT		BRICK	
SHEET NUMBER		DOOR IDENTIFICATION		CONCRETE	
DETAIL IDENTIFICATION		WINDOW TYPE		DRAINAGE FILL	
SHEET NUMBER		PARTITION IDENTIFICATION		EARTH	
SECTION IDENTIFICATION		REVISION NUMBER		INSULATION - BATT	
SHEET NUMBER		TOILET ACCESSORY		INSULATION - RIGID	
REFERENCE BUBBLE		ELEVATION MARK		WOOD - ROUGH	
INTERIOR ELEV. IDENTIFICATION				WOOD - FINISH	
SHEET NUMBER				PLYWOOD	
ROOM NAME				STEEL	
ROOM NUMBER				STONE	
ROOM NAME					
ROOM NUMBER					
WALL FINISH					
BASE					
FLOOR FINISH					





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No.	Description	Date
	NJ DOE SUBMITTAL	04.21.23
	LAND USE BOARD SUBMITTAL	04.21.23

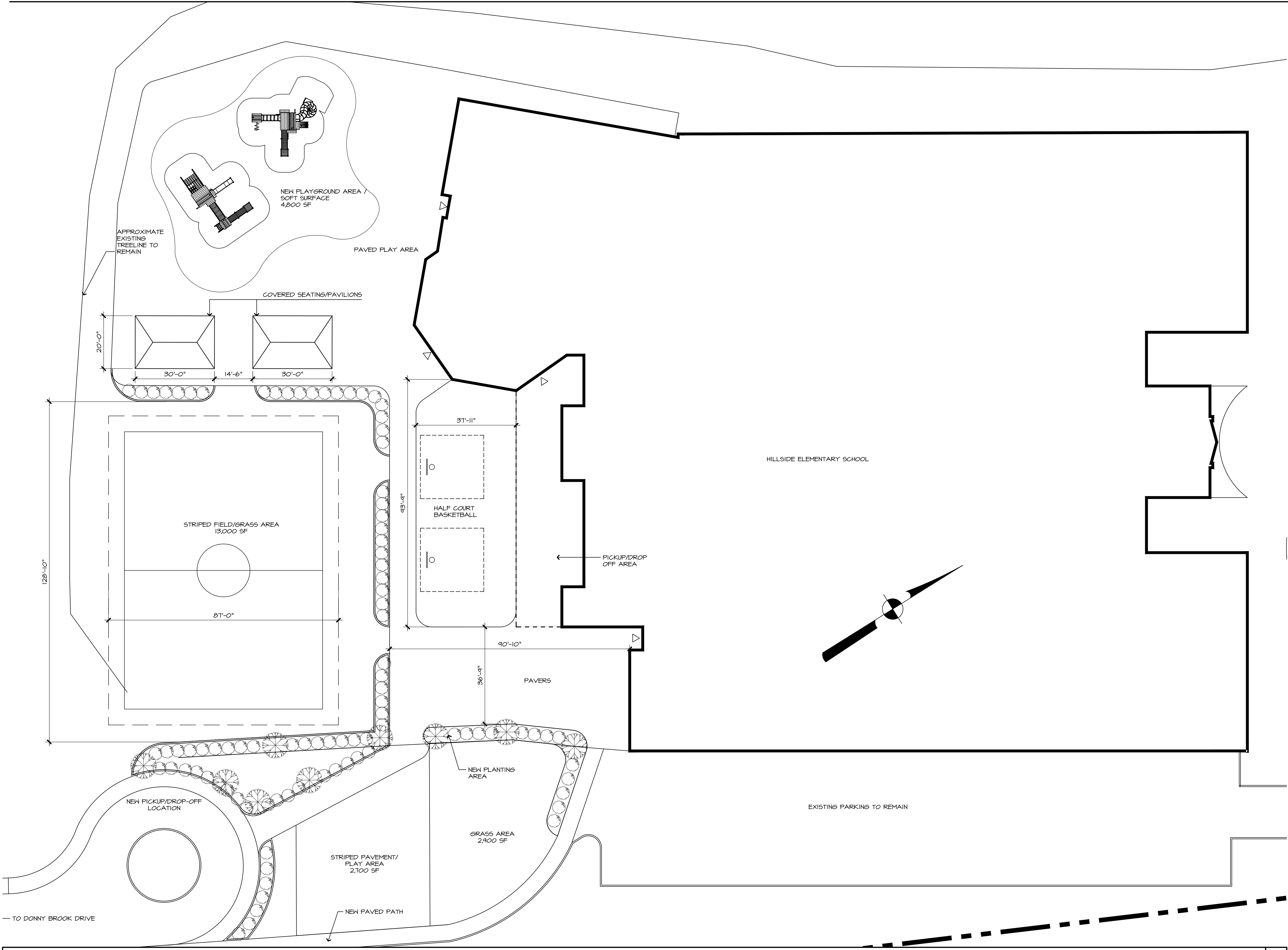
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CAD FILE:

EXTERIOR IMPROVEMENTS AT:  
**HILLSIDE  
ELEMENTARY  
SCHOOL**  
89 HILLSIDE AVE.  
ALLENDALE, NJ 07401  
NJ DOE#: 03-0040-020-23-1000

DEMOLITION SITE PLAN

**D-100**





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**SCHOOL**

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NEW WORK SITE PLAN

**A-101**





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ARCHITECTS

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SCHOOL

89 HILLSIDE AVE.  
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OVERALL SITE PLAN - NEW  
WORK

A-102

