LAND USE BOARD
BOROUGH OF ALLENDALE
Municipal Building
500 West Crescent Ave.
Allendale, NJ

The Regular Meeting of the Allendale Land Use Board will be held in the Council Chambers in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401 on June 21, 2023 at 7:30 p.m. Formal action will be taken.

I. CALL TO ORDER
A. Open Public Meetings Act Announcement
B. Salute to Flag

II. ROLL CALL

III. ELECTION OF CHAIRMAN
ELECTION OF VICE CHAIRMAN

IV. APPROVAL OF MINUTES
May 17, 2023 Land Use Board Regular Meeting

V. PUBLIC HEARINGS:
Application File No.: LUB 2023-05
Applicant: Michael Zeoli & Samantha Danubio
Address: 41 Elmwood Avenue, Allendale, NJ 07401
Block 2009 Lot: 4
Application: Two story addition in rear and side yards. Pursuant to Section 270-37A.
(carried from the meeting of May 17, 2023)
VanCleef report

Application File No: LUB 2023-06
Applicant: Lauren & Rick Goldberg
Address: 118 Green Way, Allendale, NJ 07401
Block: 801 Lot: 39
Application: Addition and renovation of existing home. Pursuant to Section 270-64A (2)
VanCleef report

Application File No.: LUB 2023-09
Applicant: Veolia Water New Jersey, Inc.
Address: 664 West Crescent Avenue, Allendale, NJ 07401
Block 1503.01 Lot: 6
Application: Preliminary & Final Site Plan and Variance Relief. A temporary water treatment facility is proposed to be added in the northeast corner of the property.

VI. OPEN TO THE PUBLIC FOR COMMENT

VII. OTHER

VIII. ADJOURNMENT

AGENDA & AGENDA MATERIALS SUBJECT TO CHANGE

Borough Website
Bulletin Board

ALLENDALE LAND USE BOARD
APPLICATION CHECK LIST

NAME Lauren & Rick Goldberg BLOCK 801 LOT 39

ADDRESS 118 Green Way

ZONE AAA TYPE OF VARIANCE Side yard setback

BRIEF DESCRIPTION OF APPLICATION addition and renovation to an existing single family residence.

SPECIFIC VARIANCE(S) REQUIRED 270 - 64A[redacted] (2)

ADMINISTRATIVE REQUIREMENTS	STATUS
1. Application form complete	✓
2. Fee paid	✓
3. Denial by Building Inspector	✓
4. Affidavit of Service	✓
5. Proof of Publication	✓
6. Taxes Current	✓
7. Plot Plan	✓
8. Maps	✓
9. Photographs	✓
10. Email address	✓
11. Miscellaneous	

3/22/22
Date

Applicant's Signature

BOROUGH OF ALLENDALE
CODE ENFORCEMENT OFFICE
500 West Crescent Avenue Allendale, NJ 07401

Anthony Hackett
Zoning Official

Phone: (201) 818-4400 x208
Fax: (201) 825-1913

MEMORANDUM

TO: Richard Goldberg & Lauren Paterno
118 Green Way
Allendale, NJ 07401

FROM: Anthony Hackett, Zoning Official/Construction Official

CC: Linda Garofalo Land use Administrator

RE: Addition and renovation

DATE: February 6, 2023

The Allendale Building/Zoning Department received the following documents:

A. Borough of Allendale Zoning Review Application

B. Site plan and Architectural Plans prepared by Z+ Architects LLC Allendale NJ

I have reviewed these documents and the Borough of Allendale Zoning Ordinances and I must deny your application for the following reason(s):

1) Your property is located in the AAA zone, in order to calculate the side-yard setbacks, a formula is used (using your Gross Bldg. Floor Area). Currently there is a **26'.2"** setback requirement and you have **27'7"** on the left side. However, the proposed additional square footage from the addition would now require **29'3"** side yard setbacks, creating a non-conformity on the left side. **See Borough Code 270-64A (2)**

You are hereby notified that you have the right under N.J.S.A. 40:55D-72 to appeal this decision to the Zoning board of adjustments of the Borough of Allendale within 20 days from the date of the decision. For further information please visit. http://allendalenj.gov/zoning-board-of-adjustments/

BOROUGH OF ALLENDALE

LAND USE BOARD

DATE 4/26/2023

NOTICE OF HEARING TO PROPERTY OWNERS

(Cross out inapplicable sections)

TO WHOM IT MAY CONCERN:

In compliance with the Zoning Ordinance of the Borough of Allendale, NJ, notice is hereby served upon you to the effect that (I) (We) Lauren & Rick Croidberg hereby propose to (give detailed information) addition & renovation to existing single family home

Location 118 Green Way

The Zoning Officer of the Borough of Allendale , Bergen County, New Jersey, refused this request by reason of its being in violation of Section 270 - 64A (2)

of the Zoning Ordinance, from which decision (I) (We) hereby appeal. (I)(We) have applied to the Land Use Board for a (hardship), ~~(floor area ratio), (use) variance, (together with subdivision ____, site plan ____, conditional use ____ approval),~~ and from any other variances or waivers that the Board may deem necessary.

Any person or persons affected by this (appeal) (application) may have an opportunity to be heard at the meeting to be held June 21, 2023, at 7:30pm in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401.

All documents relating to this application may be inspected by the public between the hours of 9 a.m. and 4:30 p.m. in the office of the Borough Clerk in the Allendale Municipal Building, 500 West Crescent Avenue, Allendale, New Jersey 07401.

Signature

Note: This Notice must be personally Served or sent by certified or registered mail at least 10 days before the day of the hearing, and proof of service given to the Land Use Administrator.

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of Lauren & Rick Guldberg shows that on or about the 1 day of January, 2023 an application to the Zoning Official for the purpose of (describe intended action) renovation & addition of our single family home on the premises located at (street address) 118 Green Way Allendale NJ 07401 Block 801 / Lot 39 as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that after due consideration the Zoning Enforcement Officer did on the 6 day of February 2023 decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of appeal with said Officer, together with the required fee of 500 + 1,000, and requests that action of the Zoning Enforcement Officer be reversed or modified as the facts may be determined, and applicant further requests that a day be fixed for hearing on this appeal and states that the proper notice will be given to all owners of property situated within two hundred (200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

An application is hereby made for a (Hardship) (Floor Area Ratio) (Use) variance from the terms of Article(s) and Section(s) 270-64A (2) permit renovation & addition to our single family home And the continuation of an existing left side yard setback of 27.7' where 26.3' existing was required and 29.4' improved is required.

Rick

Signature of Applicant

Lauren Guldberg

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 39 Block(s) 801
Street Address 118 Greenway Allendale NJ 07401
Applicant Lauren & Rick Goldberg Address 118 Greenway
Owner Lauren & Rick Goldberg Address 118 Greenway
Lessee _____ Address _____
Last Previous Occupancy _____
Size of Lot ~~23880000~~ 27129.00 SF
Floor area ratio calculation 13.5%
Percentage of lot occupied by building(s) 12.5%
Height of building(s) 2 stories 24 feet 4"
Set back from front property line 51.6 ft. From side (if corner lot) _____ ft.
Zoning requirements – Frontage 50, side yards 29.4, set-back 29.4, rear yard 50
"Prevailing set-back" of adjoining buildings within one block _____
Has there been any previous appeal involving these premises? No
If so, state character of appeal and date of disposition _____

Proposed use: Single Family Residence

This application for a use variance includes an application for subdivision no, conditional use no approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

(a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
(b) Fifteen (15) copies of all application documents
(c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified "location map" and clearly indicate such buildings and their approximate location, together with "prevailing set-back" dimensions.
(d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
(e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
(f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

Date: 3/22/23

Richard
Signature of Applicant or Agent

NEWSPAPER NOTICE

LAND USE BOARD

BOROUGH OF ALLENDALE

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Land Use Board of the Borough of Allendale will hold a public hearing on June 21, 20 23, at 7:30 p.m. in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, New Jersey 07401 on the application of Lauren & Rick Goldberg (Applicant) at 118 Green Way Allendale NJ 07401 (Address) Block No. 301, Lot No. 39 for a (hardship, floor area ratio, use) variance from Section 270 - 64A (2)

_____ of the zoning ordinance of the Borough of Allendale, and for any other variances or waivers that the Board may deem necessary, for the purpose of addition and renovation of existing home

Name and Address of Applicant

Lauren Paterno & Rick Goldberg
118 Green Way
Allendale NJ 07401

Sample Legal Notice

To be published in *The Record* **or** *The Ridgewood News* at least ten (10) days prior to the scheduled hearing date.

Original notice cut from newspaper must be given to Board Secretary along with all forms.

AFFADAVIT OF PROOF OF SERVICE

LAND USE BOARD

OF

BOROUGH OF ALLENDALE

PROOF OF SERVICE OF NOTICES REQUESTED BY STATUTE MUST BE FILED AND VERIFIED WITH BOARD SECRETARY AT LEAST 10 DAYS PRIOR TO MEETING OR CASE WILL NOT BE HEARD.

STATE OF NEW JERSEY)

COUNTY OF BERGEN) SS.

Lauren & Rick Goldberg, of full age, being duly sworn according to law, deposes and says, that (s)he resides at 118 Green Way in the municipality of Allendale, County of Bergen, and State of New Jersey, and that (s)he is (are) the applicant(s) in a proceeding before the Land Use Board of Allendale, New Jersey, being an appeal or application under the Zoning Ordinance, which relates to premises at 118 Green Way, and that on _____, 20_____ (s)he gave written notice of the hearing on this application to each and all of the persons upon whom service must be made, in the required form and according to the attached lists, and in the manner indicated thereon.

Richard

Applicant's Signature

Lauren Goldberg

Sworn to and subscribed before me

this 26 day of April,

2022

JULIE L SCUTARO
Notary Public, State of New Jersey
Comm. # 50194231
My Commission Expires 05/05/2027

NOTICE TO APPLICANT: Attach list of all persons served.

PATERNO-GOLDBERG RESIDENCE

118 GREEN WAY, ALLENDALE, NJ

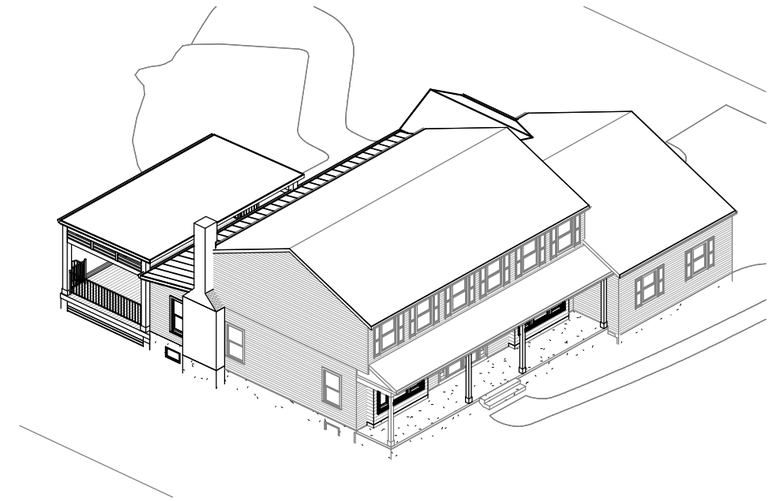
DRAWING LIST

SK-0 TITLE SHEET
SK-1 ZONING INFO
SK-2 EXISTING SURVEY
SK-3 SURVEY
SK-4 TAX MAP
SK-5 BASEMENT DEMO PLAN
SK-6 PROPOSED BASEMENT PLAN
SK-7 1ST FLOOR DEMO PLAN
SK-8 PROPOSED 1ST FLOOR PLAN
SK-9 PROPOSED 2ND FLOOR PLAN
SK-10 ROOF DEMO PLAN
SK-11 PROPOSED ROOF PLAN
SK-12 PROPOSED EXTERIOR ELEVATIONS
SK-13 PROPOSED EXTERIOR ELEVATIONS
SK-14 PROPOSED EXTERIOR ELEVATIONS
SK-15 PROPOSED EXTERIOR ELEVATIONS
SK-16 EXISTING PHOTOS
SK-17 EXTERIOR VIEWS
SK-18 EXTERIOR VIEWS
SK-19 EXTERIOR VIEWS
SK-20 EXTERIOR VIEWS

PROJECT DESCRIPTION

ADDITION AND RENOVATION TO AN
EXISTING SINGLE-FAMILY RESIDENCE

BLOCK 801, LOT 39



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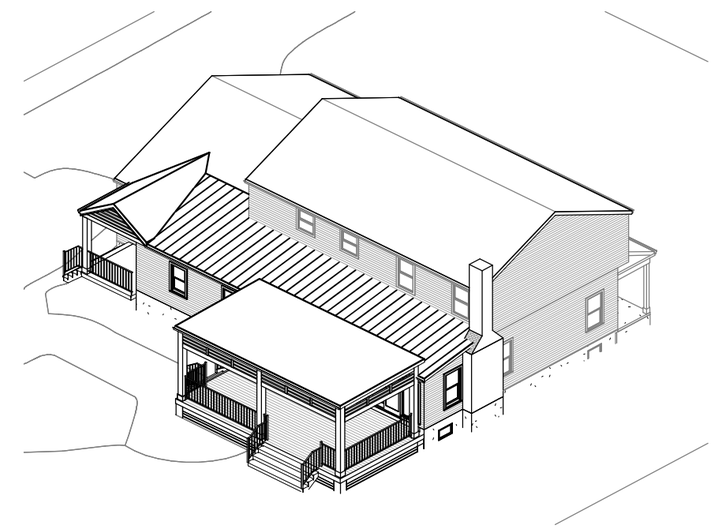


2 REAR LEFT

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC

240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: TITLE SHEET
DATE: 1/6/23
SCALE:

DRAWING #: SK-0

ZONING DATA	REQUIRED	EXISTING	PROPOSED
ZONE:	AAA	AAA	AAA
MIN. LOT REQUIREMENT			
AREA:	40,000 SF	*27,129 SF	*27,129 SF
LOT WIDTH:	120 FT	130 FT	130 FT
MIN. YARD REQUIREMENT			
FRONT:	50 FT	51.6 FT	51.6 FT
SIDE:	26.3 FT (EXG)	L: 27.7 FT	*L: 27.7 FT
	29.4 FT (NEW)	R: 37.9 FT	R: 37.9 FT
REAR:	50 FT	112.5 FT	110.3 FT
BUILDING COVERAGE:	--% / -- SF	10.7% / 2,890 SF	12.5% / 3,388 SF
OTHER IMPERVIOUS COVERAGE:	--% / -- SF	14% / 3,813 SF	13.3% / 3,621 SF
MAX. TOTAL COVERAGE:	33.4% / 9,061 SF	24.7% / 6,703 SF	25.8% / 7,009 SF
MAX. BUILDING HEIGHT:	35 FT / 2.5 STORIES	24.3 FT / 2 STORIES	24.3 FT/ 2 STORIES
MAX. G.B.A.:	5,860 SF	3,282 SF	3,669 SF
MAX. FLOOR AREA RATIO:	21.6%	12.1%	13.5%

*** DENOTES A NONCONFORMITY**

CALCULATIONS

GBA

EXG
1ST FLOOR = 1,549 SF
2ND FLOOR = 1,192 SF
GARAGE (ATTACHED) = 541 SF
TOTAL = 3,282 SF

PROPOSED
1ST FLOOR = 1,543 SF
2ND FLOOR = 1,192 SF
GARAGE (ATTACHED) = 541 SF
ADDITION = 393 SF
TOTAL = 3,669 SF

BUILDING COVERAGE

EXG
BUILDING = 1,549 SF
GARAGE (ATTACHED) = 541 SF
DECK & STAIRS = 545 SF
FRONT PORCH = 245 SF
CHIMNEY (EXG) = 10 SF
TOTAL = 2,890 SF

PROPOSED
BUILDING = 1,543 SF
GARAGE (ATTACHED) = 541 SF
FRONT PORCH = 251 SF
REAR PORCH & STAIRS = 122 SF
ADDITION = 393 SF
COVERED ENTERTAINING = 528 SF
CHIMNEY (NEW) = 10 SF
TOTAL = 3,388 SF

IMPERVIOUS COVERAGE

EXG
DRIVEWAY = 1,631 SF
CONCRETE PATIO = 1,048 SF
FRONT WALK = 239 SF
STEPPING STONES = 86 SF
POOL = 809 SF
TOTAL = 3,813 SF

PROPOSED
DRIVEWAY = 1,631 SF
CONCRETE PATIO = 942 SF
FRONT WALK = 239 SF
POOL = 809
TOTAL = 3,621 SF

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

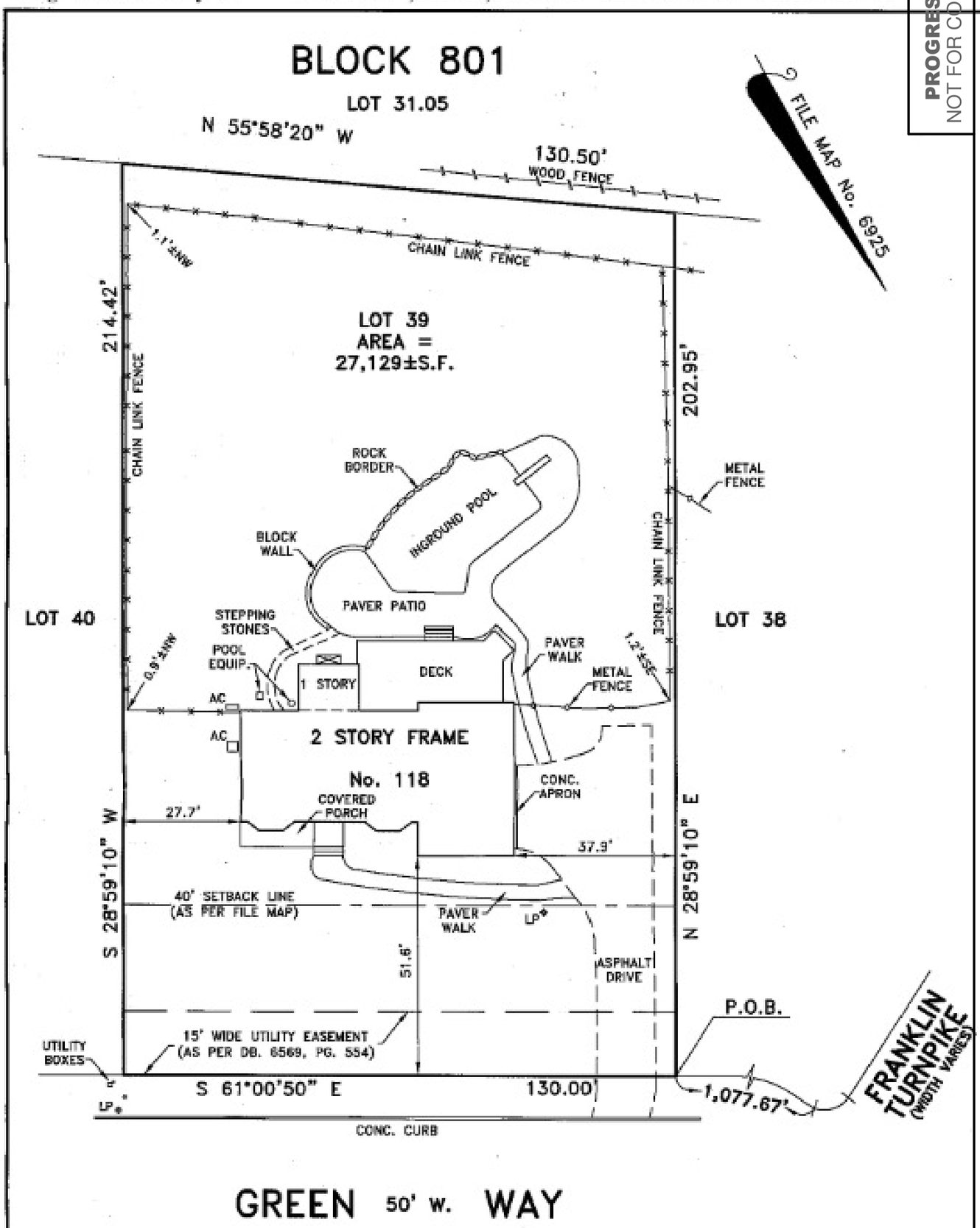
TITLE: ZONING INFO
DATE: 1/6/23
SCALE:

DRAWING #: SK-1

Lantelme, Kurens & Associates, PC

Engineers & Surveyors 101 West Street, Hillsdale, N.J. 07642 Ph. 201-666-2450 Fax 201-666-9745

FILE NO. TM-25



PROPERTY CORNERS NOT SET AS PER CONTRACT.

THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.

PROPERTY SURVEY

PROPERTY SITUATED IN: BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

LOT NO.: 39 (TAX MAP & FILE MAP)

BLOCK NO.: 801 (TAX MAP & FILE MAP)

CERTIFIED TO: TITLEMARK, LLC; CATIC TITLE INSURANCE COMPANY; BANK OF AMERICA, N.A. ATTN: CLOSING PROTECTION, 7105 CORPORATION DR., PLANO, TX 75024; RICHARD ELIOT GOLDBERG AND LAUREN DANA PATERNO, HUSBAND AND WIFE; LAW OFFICES OF RICHARD CONTE

MAP SOURCE: "FINAL SUBDIVISION PLAT, GREENWAY AT ALLENDALE, ALLENDALE, BERGEN COUNTY, N.J." FILED IN THE BERGEN COUNTY CLERK'S OFFICE FEBRUARY 22, 1980 AS MAP NO. 7830.

LAND SURVEYOR
Christopher J. Lantelme
P.E. & L.S. 39580

SCALE: 1"=30'	DATE: 9/19/19	PARTY: GB/DR	DRAWN BY: JL

PROGRESS PRINTS
NOT FOR CONSTRUCTION

DRAWING #: SK-2

TITLE: EXISTING SURVEY

DATE: 1/6/23

SCALE:

ZONING BOARD APPLICATION

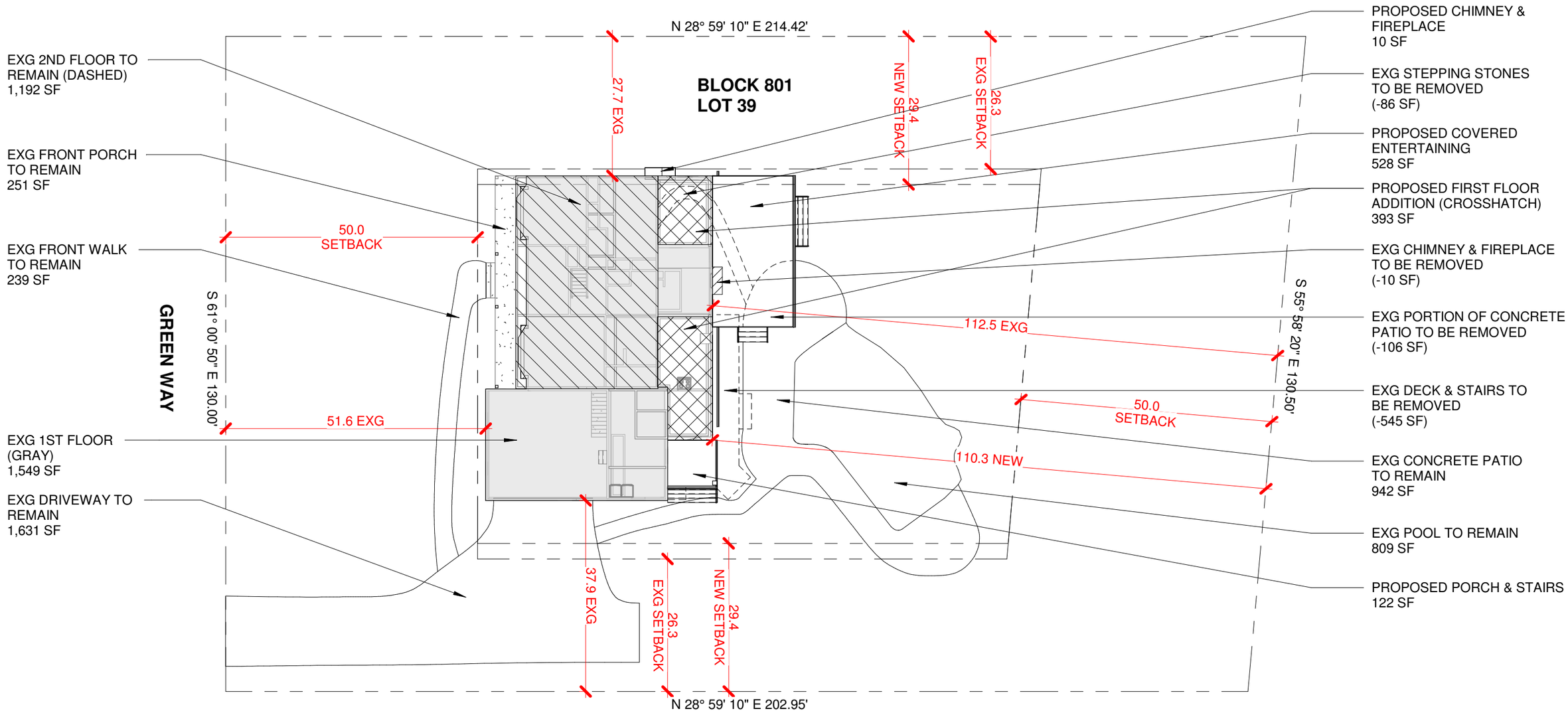
PROJECT #: 2057

PROJECT NAME: PATERNO GOLDBERG

118 GREEN WAY
ALLENDALE, NJ 07401

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ARCHITECTS
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866



SURVEY INFO TAKEN FROM CHRISTOPHER J. LANTELME, LIC. NO. 39580, LANTELME, KURENS, & ASSOCIATES, PC, ON 09/19/19

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

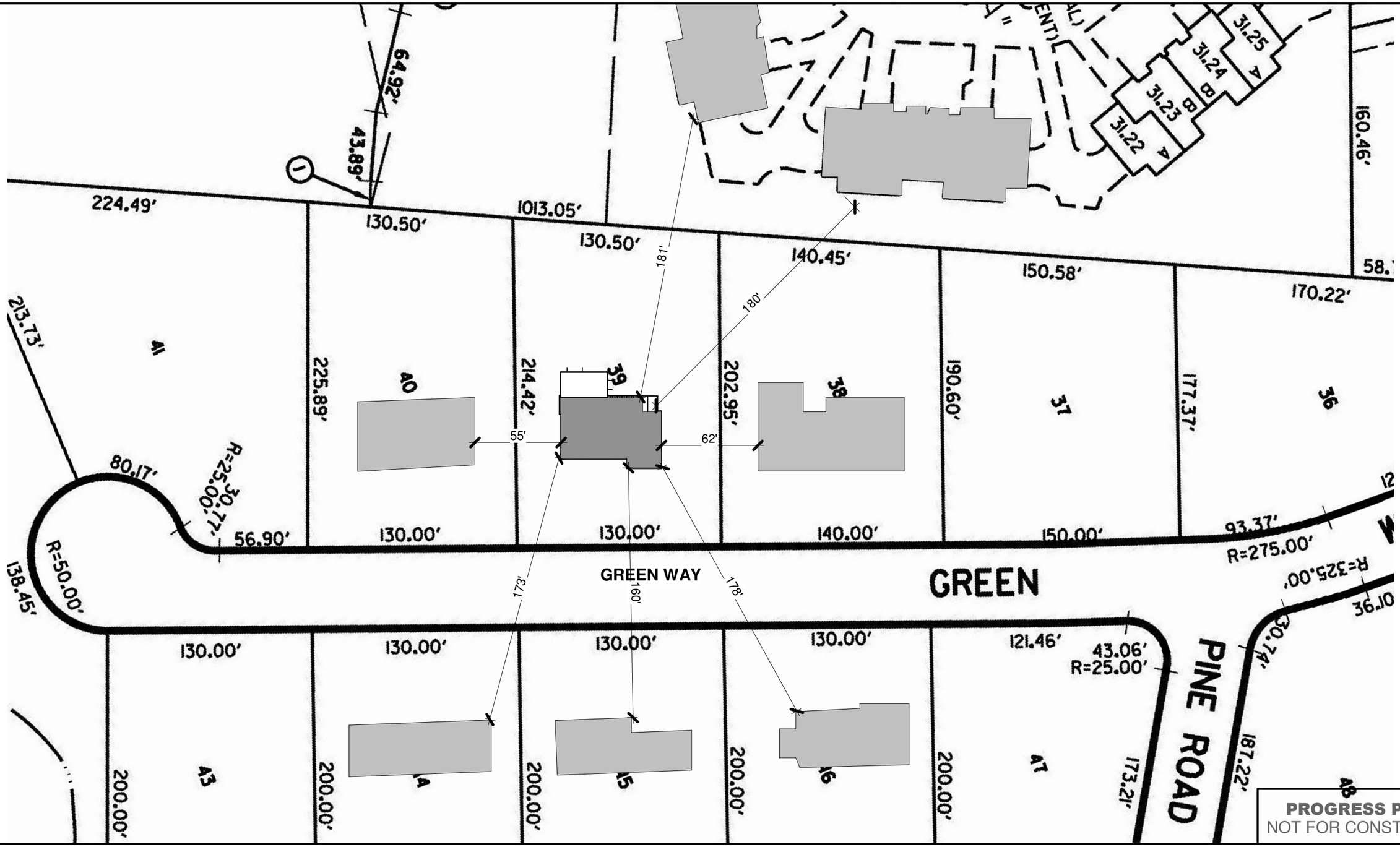
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: SURVEY
DATE: 1/6/23
SCALE: 1" = 20'-0"

DRAWING #: SK-3



PROGRESS PRINTS
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MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

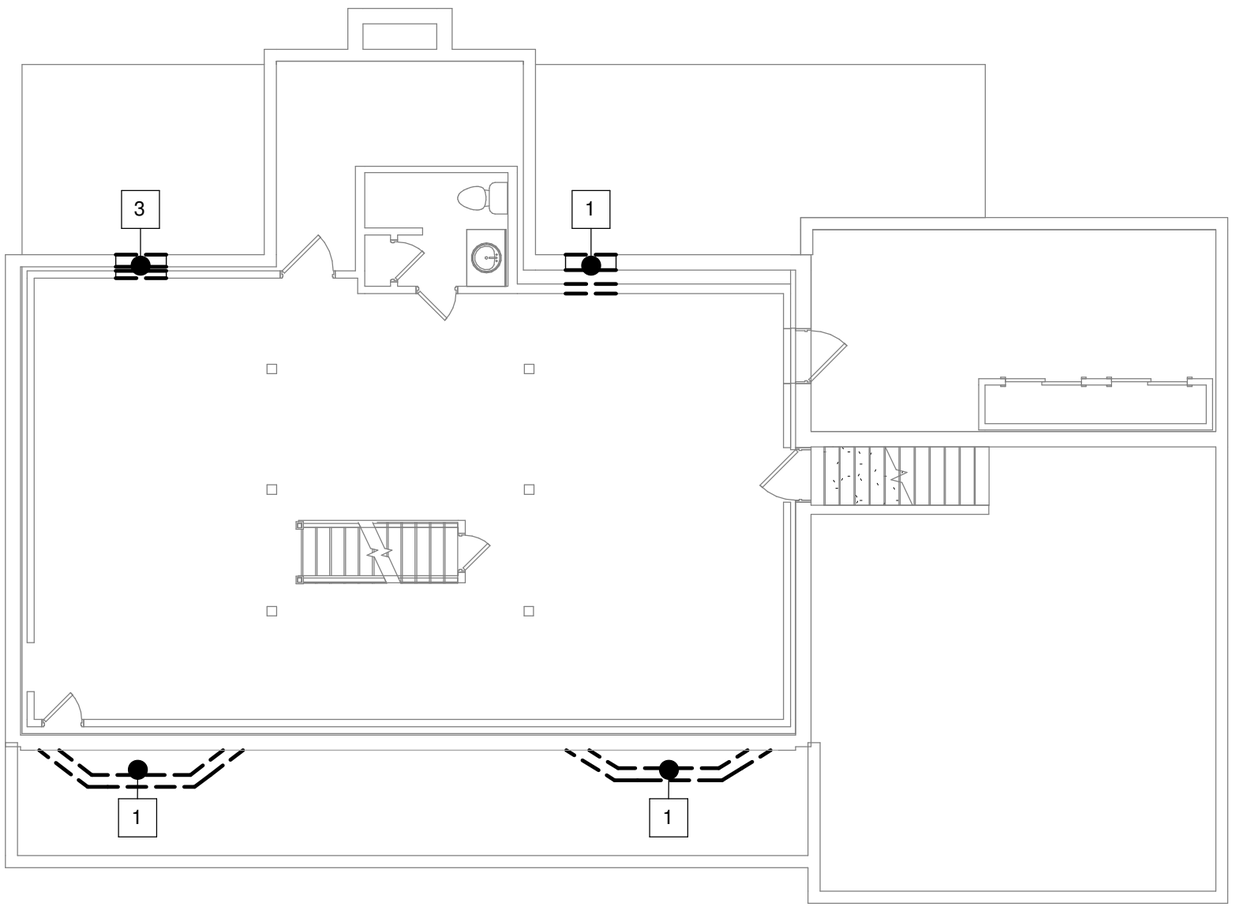
ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG

118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: TAX MAP
DATE: 1/6/23
SCALE: 1" = 60'-0"

DRAWING #: SK-4



1 BASEMENT DEMO PLAN
1/8" = 1'-0"

DEMOLITION LEGEND

1	REMOVE EXISTING WALL CONSTRUCTION AS INDICATED. TEMPORARILY SHORE STRUCTURE AS NECESSARY. SEE FLOOR PLAN FOR NEW CONFIGURATION AS REQUIRED.
2	REMOVE EXISTING DOOR/WINDOW AND INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED.
3	REMOVED EXISTING WINDOW AND REPLACE WITH NEW DOOR OF SAME WIDTH.
4	REMOVE EXISTING BAY WINDOW AND PREP FOR NEW BOX BAY WINDOW.
5	REMOVE EXISTING LAUNDRY IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
6	REMOVE EXISTING DECK AND ASSOCIATED DECKING, BRIDGE, RAILING, STEPS, STRUCTURE, AND SUPPORTING FOOTINGS.
7	REMOVE EXISTING BATH IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
8	REMOVE EXISTING KITCHEN IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
9	REMOVE EXISTING FIREBOX, HEARTH, MANTLE, & ASSOCIATED CONSTRUCTION AND INFILL/PATCH OPENING TO MATCH SURROUNDING WALLS.
10	REMOVE EXISTING STAIR IN ITS ENTIRETY.
11	REMOVE EXISTING ROOF IN ITS ENTIRETY. TEMPORARILY SHORE STRUCTURE AS NECESSARY.
12	REMOVE EXISTING COLUMN IN ITS ENTIRETY.
13	INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED. PREP FOR NEW DOOR OPENING.

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZI ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

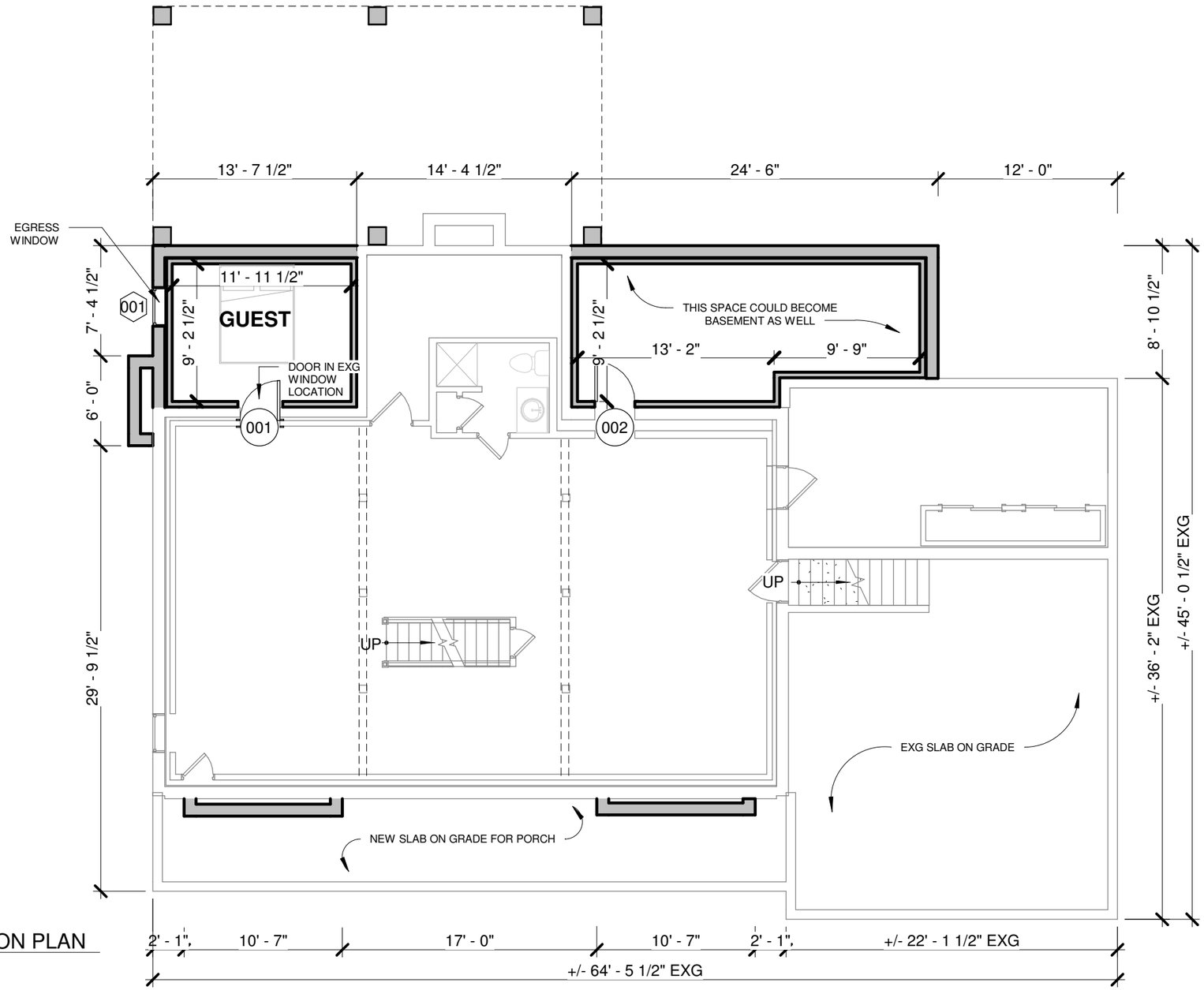
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: BASEMENT DEMO PLAN
DATE: 1/6/23
SCALE: As indicated

DRAWING #: SK-5



1 BASEMENT CONSTRUCTION PLAN
1/8" = 1'-0"

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC

240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

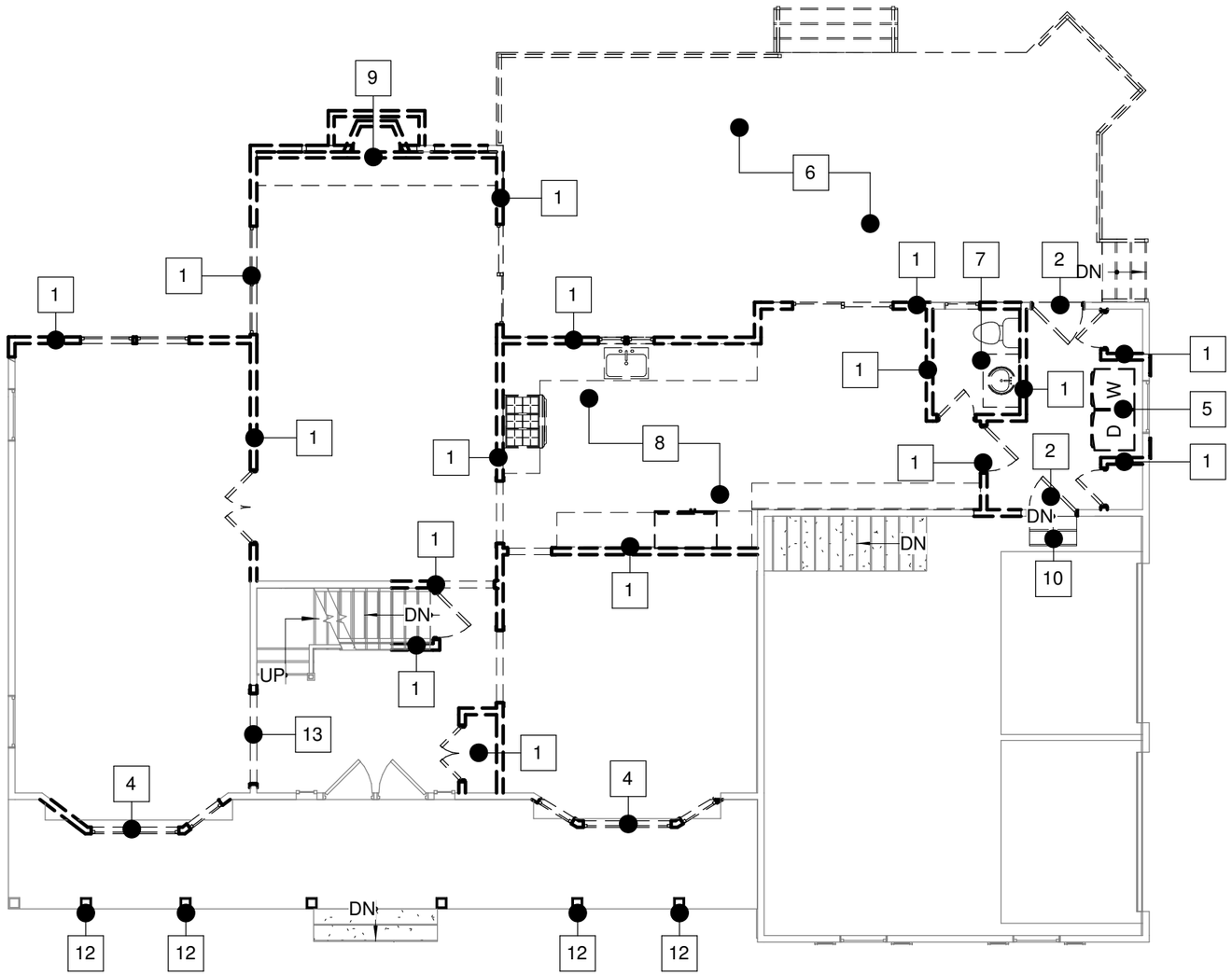
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: PROPOSED BASEMENT PLAN
DATE: 1/6/23
SCALE: 1/8" = 1'-0"

DRAWING #: SK-6



1 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"

DEMOLITION LEGEND

1	REMOVE EXISTING WALL CONSTRUCTION AS INDICATED. TEMPORARILY SHORE STRUCTURE AS NECESSARY. SEE FLOOR PLAN FOR NEW CONFIGURATION AS REQUIRED.
2	REMOVE EXISTING DOOR/WINDOW AND INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED.
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11	REMOVE EXISTING ROOF IN ITS ENTIRETY. TEMPORARILY SHORE STRUCTURE AS NECESSARY.
12	REMOVE EXISTING COLUMN IN ITS ENTIRETY.
13	INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED. PREP FOR NEW DOOR OPENING.

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

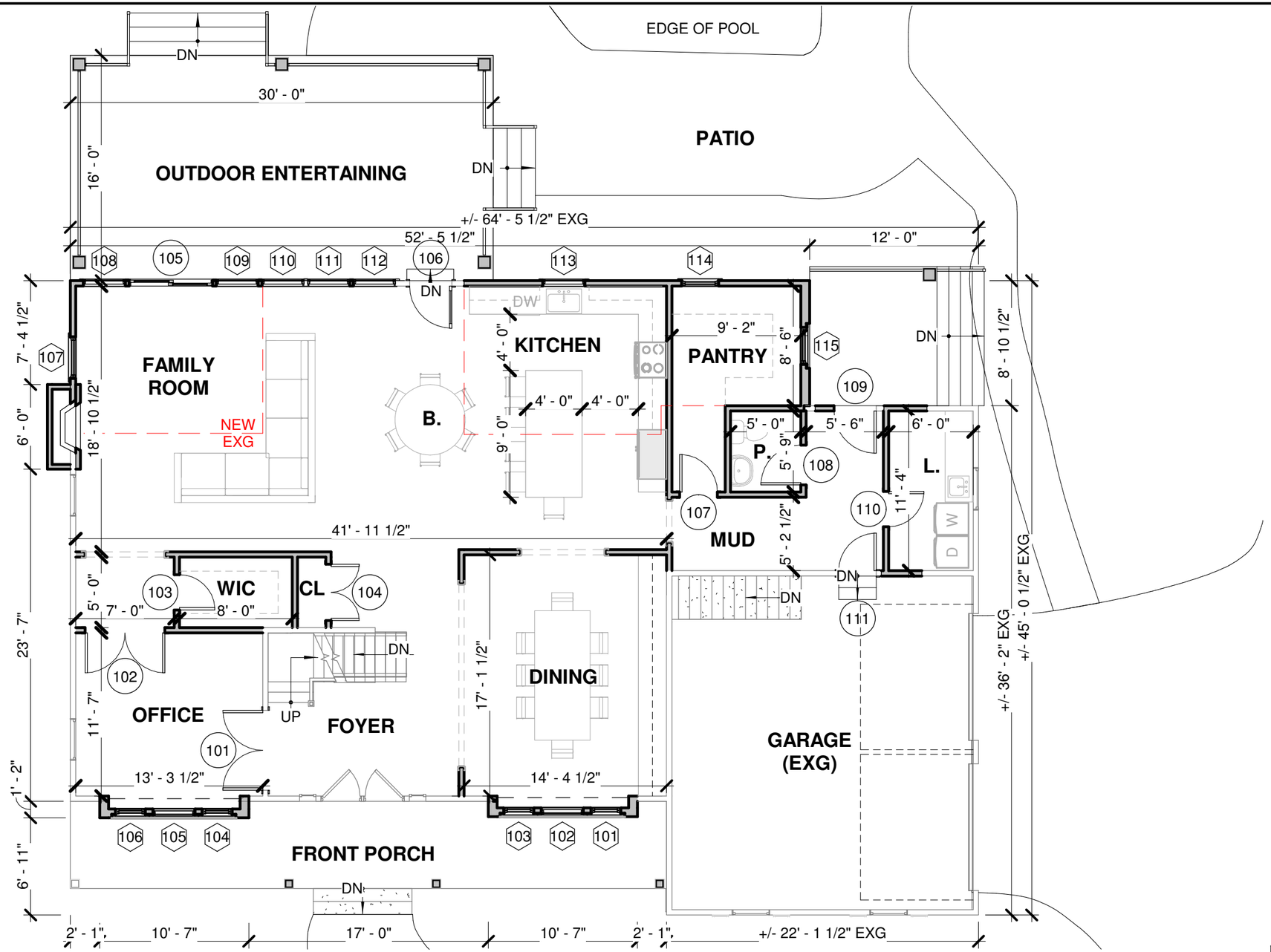
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: FIRST FLOOR DEMO PLAN
DATE: 1/6/23
SCALE: As indicated

DRAWING #: SK-7



1 FIRST FLOOR CONSTRUCTION PLAN
1/8" = 1'-0"

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

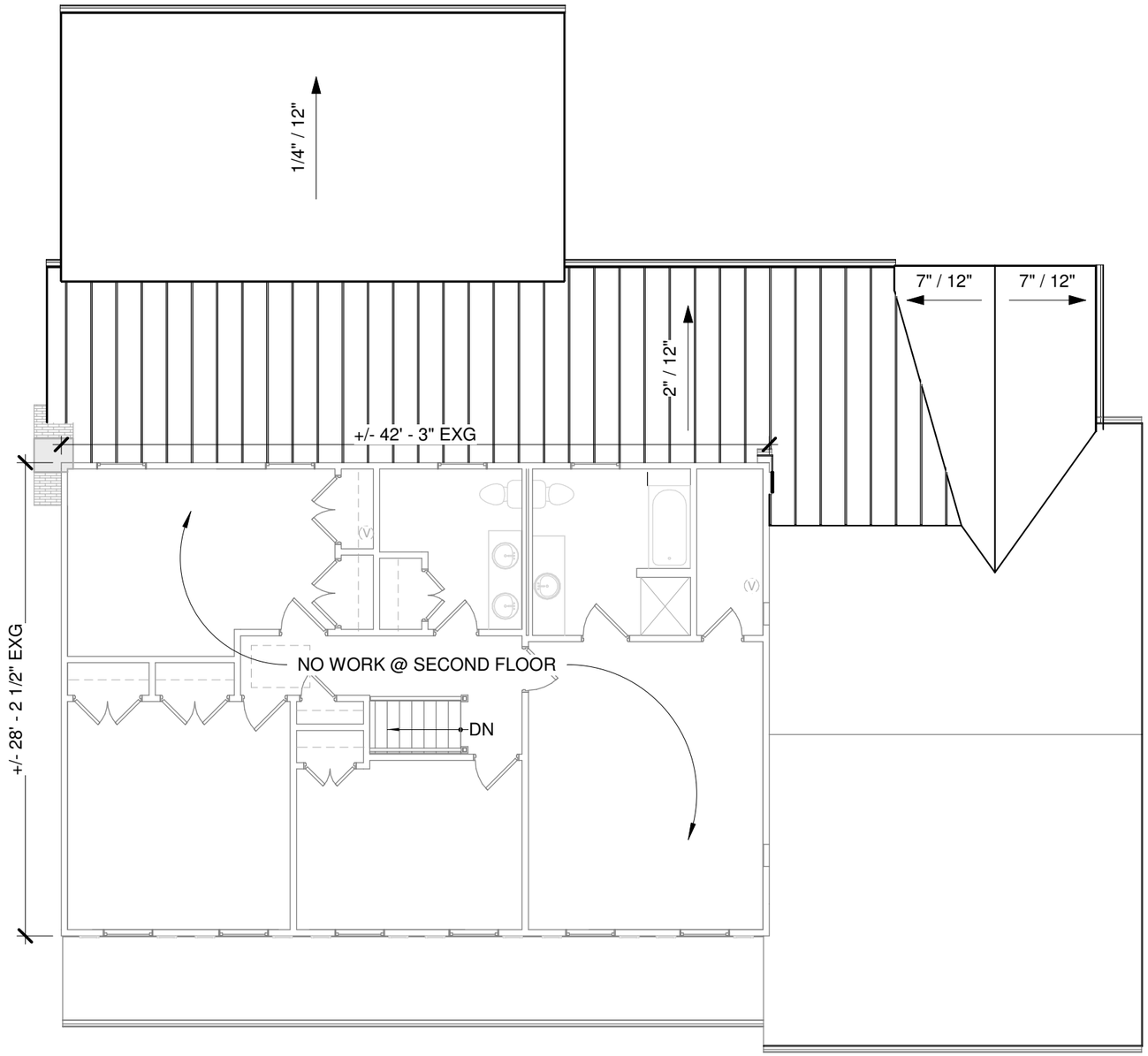
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: PROPOSED 1ST FLOOR PLAN
DATE: 1/6/23
SCALE: 1/8" = 1'-0"

DRAWING #: SK-8



1 SECOND FLOOR CONSTRUCTION PLAN
1/8" = 1'-0"

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

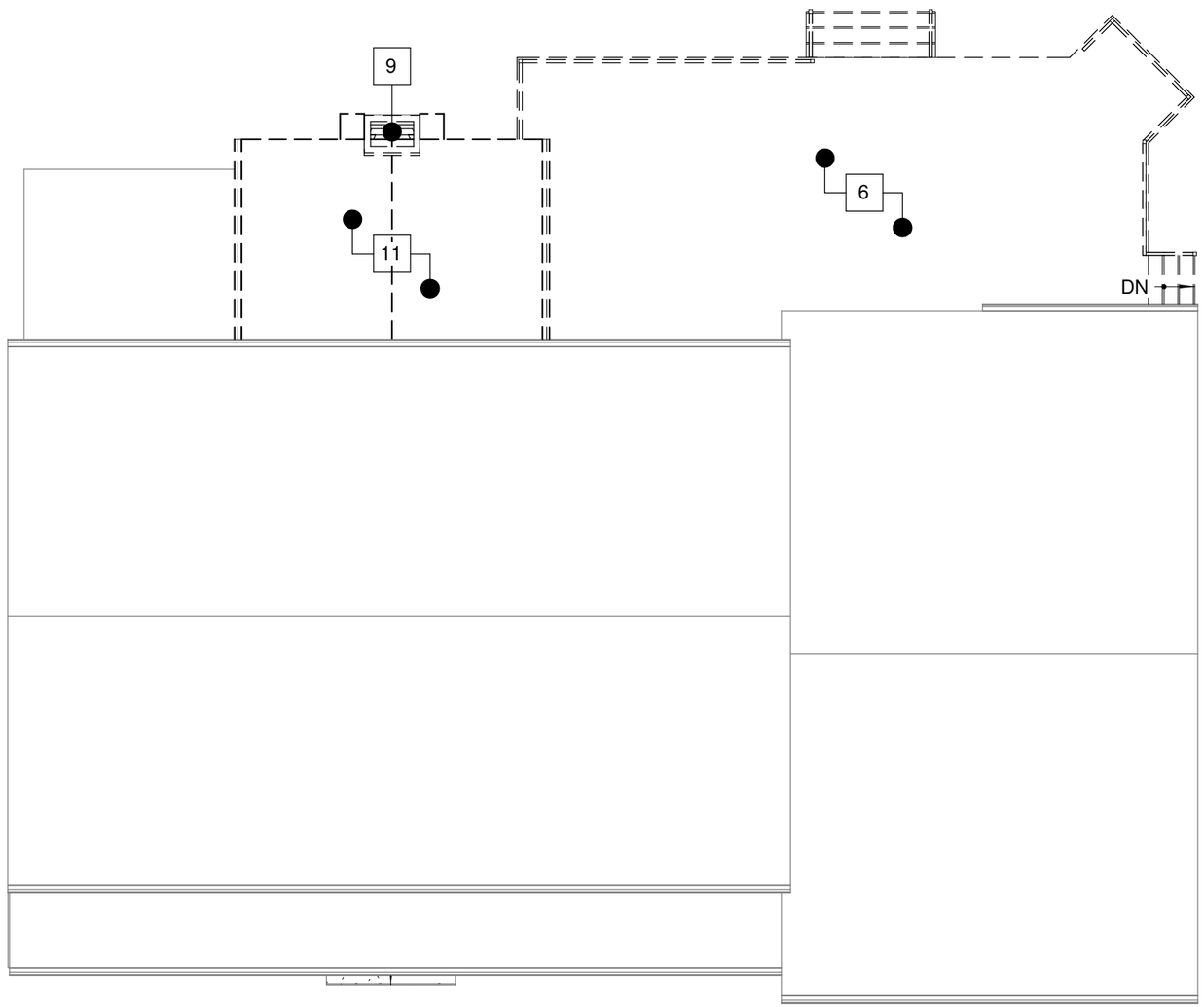
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: PROPOSED 2ND FLOOR PLAN
DATE: 1/6/23
SCALE: 1/8" = 1'-0"

DRAWING #: SK-9



2 ROOF DEMO PLAN
1/8" = 1'-0"

DEMOLITION LEGEND

1	REMOVE EXISTING WALL CONSTRUCTION AS INDICATED. TEMPORARILY SHORE STRUCTURE AS NECESSARY. SEE FLOOR PLAN FOR NEW CONFIGURATION AS REQUIRED.
2	REMOVE EXISTING DOOR/WINDOW AND INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED.
3	REMOVED EXISTING WINDOW AND REPLACE WITH NEW DOOR OF SAME WIDTH.
4	REMOVE EXISTING BAY WINDOW AND PREP FOR NEW BOX BAY WINDOW.
5	REMOVE EXISTING LAUNDRY IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
6	REMOVE EXISTING DECK AND ASSOCIATED DECKING, BRIDGE, RAILING, STEPS, STRUCTURE, AND SUPPORTING FOOTINGS.
7	REMOVE EXISTING BATH IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
8	REMOVE EXISTING KITCHEN IN ITS ENTIRETY. CAP AND SAFE ALL PLUMBING AND ELECTRICAL ELEMENTS AS REQUIRED.
9	REMOVE EXISTING FIREBOX, HEARTH, MANTLE, & ASSOCIATED CONSTRUCTION AND INFILL/PATCH OPENING TO MATCH SURROUNDING WALLS.
10	REMOVE EXISTING STAIR IN ITS ENTIRETY.
11	REMOVE EXISTING ROOF IN ITS ENTIRETY. TEMPORARILY SHORE STRUCTURE AS NECESSARY.
12	REMOVE EXISTING COLUMN IN ITS ENTIRETY.
13	INFILL/PATCH OPENING TO MATCH ADJACENT AS REQUIRED. PREP FOR NEW DOOR OPENING.

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

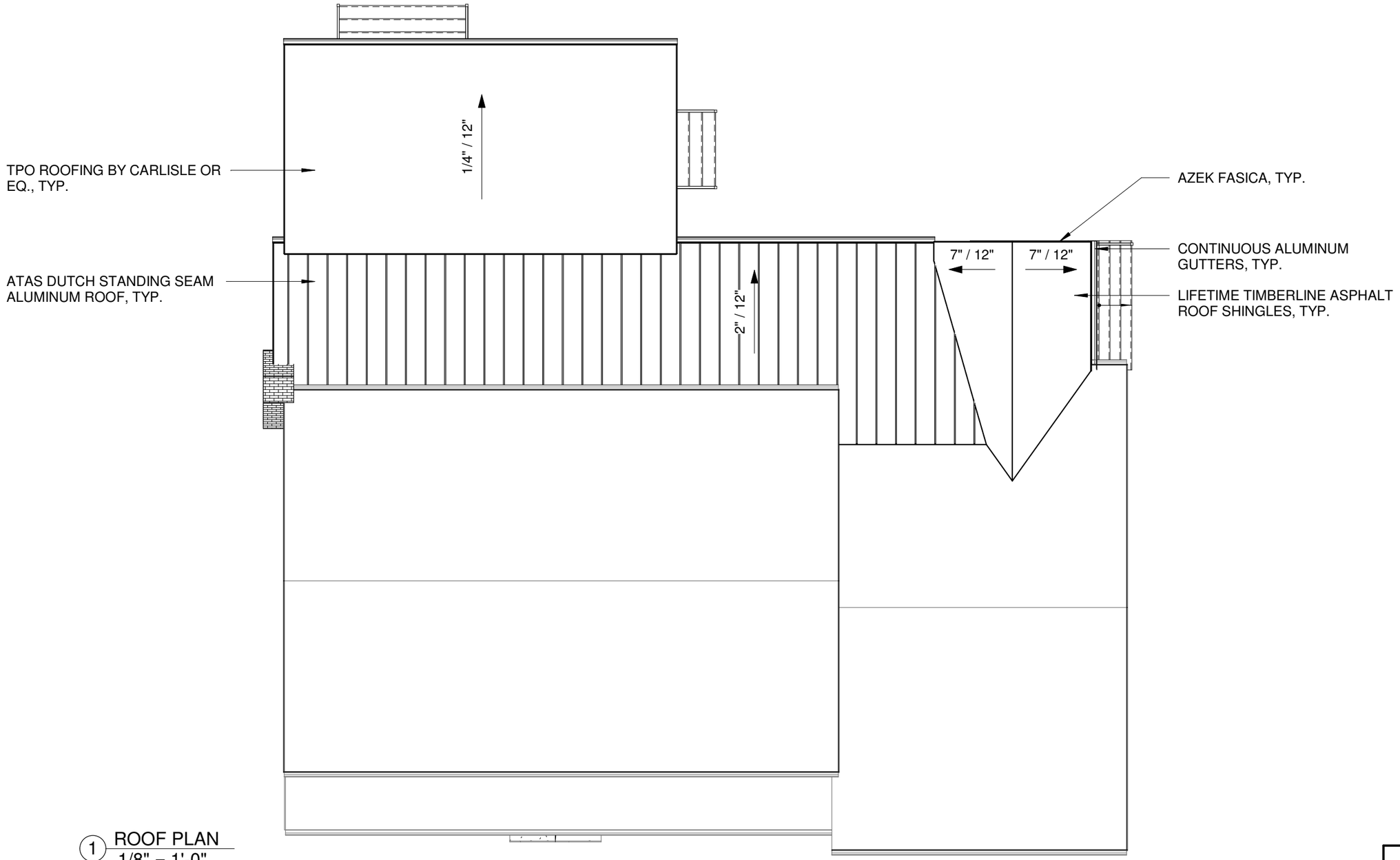
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: ROOF DEMO PLAN
DATE: 1/6/23
SCALE: As indicated

DRAWING #: SK-10



1 ROOF PLAN
1/8" = 1'-0"

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: PROPOSED ROOF PLAN
DATE: 1/6/23
SCALE: 1/8" = 1'-0"

DRAWING #: SK-11

1 FRONT ELEVATION
1/8" = 1'-0"

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: EXTERIOR ELEVATIONS
DATE: 1/6/23
SCALE: 1/8" = 1'-0"

DRAWING #: SK-12

1 REAR ELEVATION
1/8" = 1'-0"

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

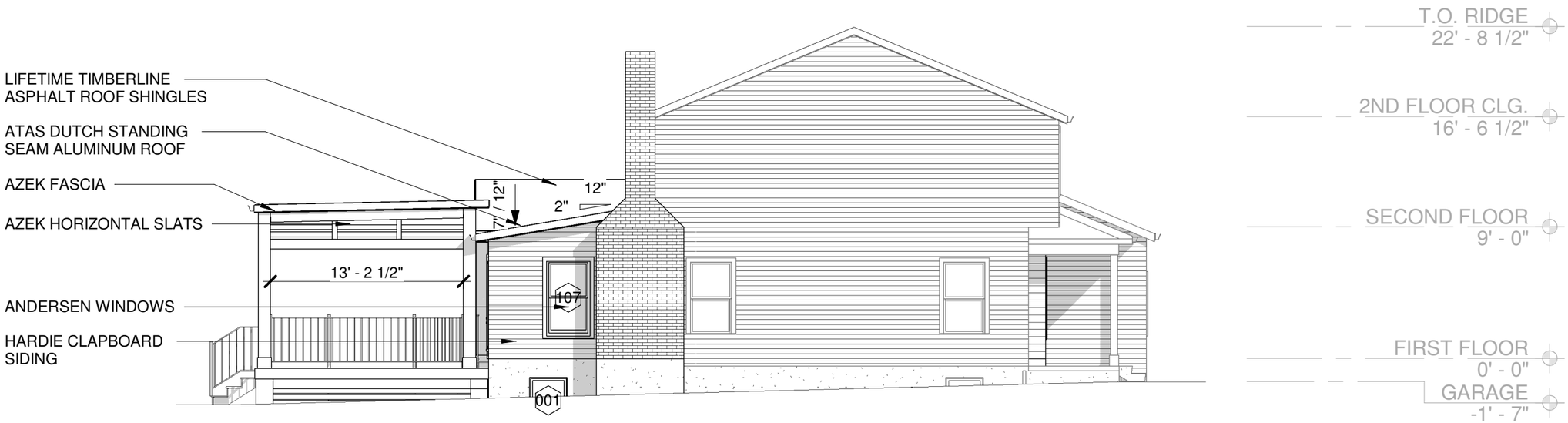
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: EXTERIOR ELEVATIONS
DATE: 1/6/23
SCALE: 1/8" = 1'-0"

DRAWING #: SK-13



1 LEFT ELEVATION
1/8" = 1'-0"

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

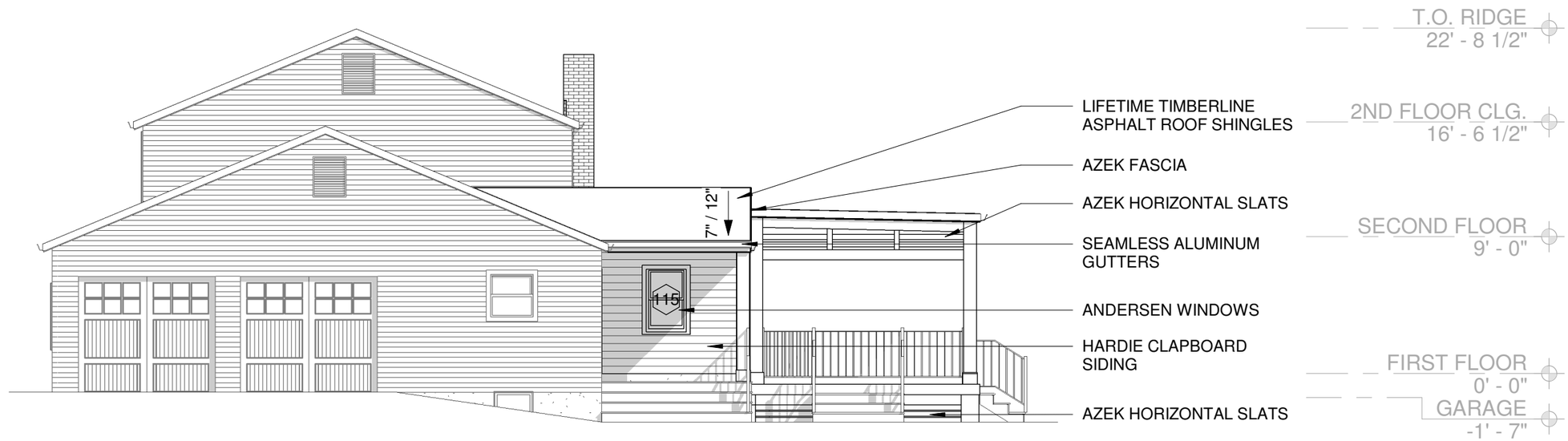
MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: EXTERIOR ELEVATIONS
DATE: 1/6/23
SCALE: 1/8" = 1'-0"

DRAWING #: SK-14



1 RIGHT ELEVATION
1/8" = 1'-0"

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC
240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057
PROJECT NAME: PATERNO GOLDBERG
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: EXTERIOR ELEVATIONS
DATE: 1/6/23
SCALE: 1/8" = 1'-0"

DRAWING #: SK-15

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC

240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057

PROJECT NAME: PATERNO GOLDBERG

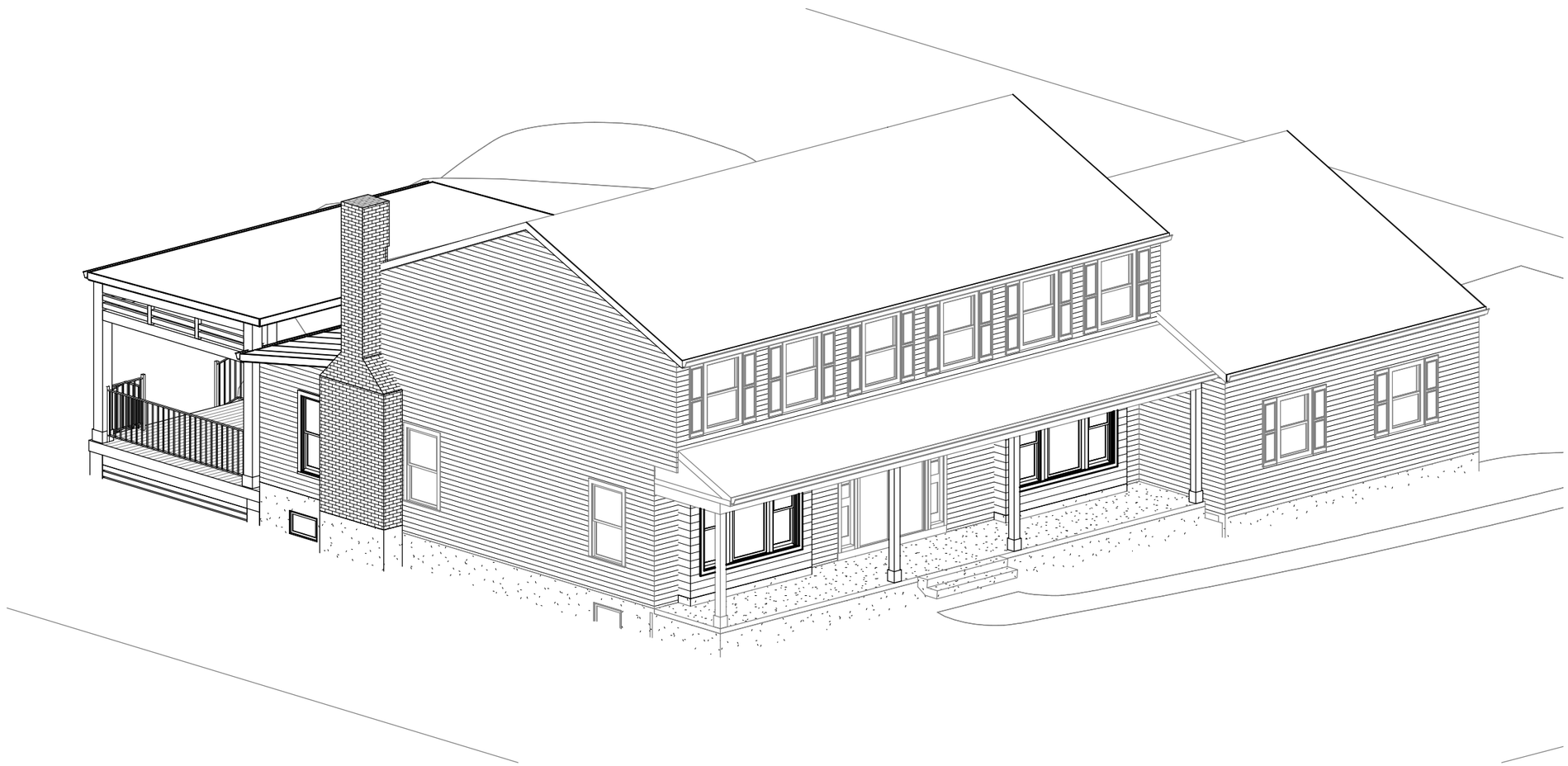
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: EXISTING PHOTOS

DATE: 1/6/23

SCALE:

DRAWING #: SK-16



1 LEFT FRONT

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC

240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057

PROJECT NAME: PATERNO GOLDBERG

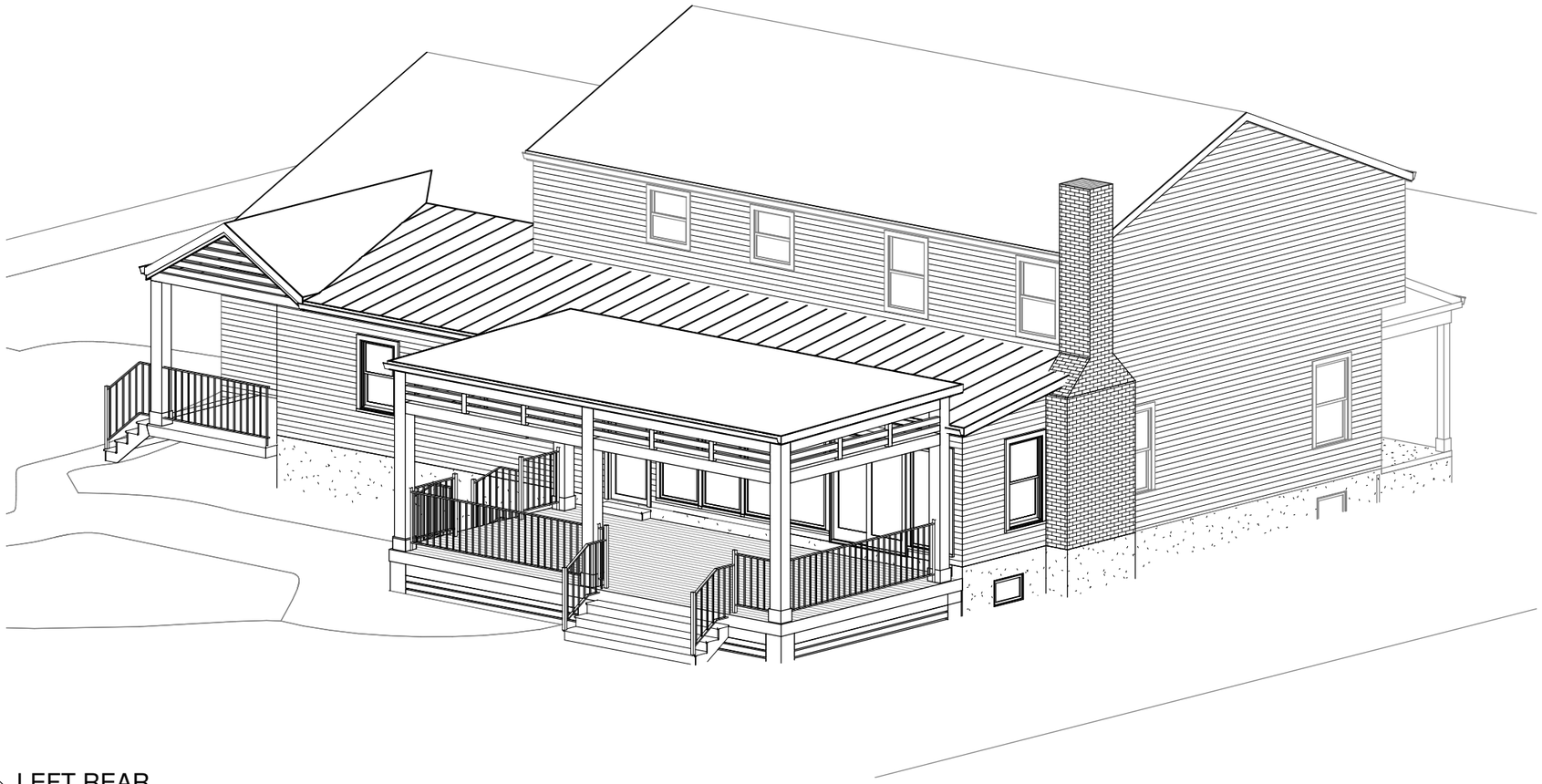
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: EXTERIOR VIEWS

DATE: 1/6/23

SCALE:

DRAWING #: SK-17



1 LEFT REAR

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC

240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057

PROJECT NAME: PATERNO GOLDBERG

118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: EXTERIOR VIEWS

DATE: 1/6/23

SCALE:

DRAWING #: SK-18

1 RIGHT REAR

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC

240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057

PROJECT NAME: PATERNO GOLDBERG

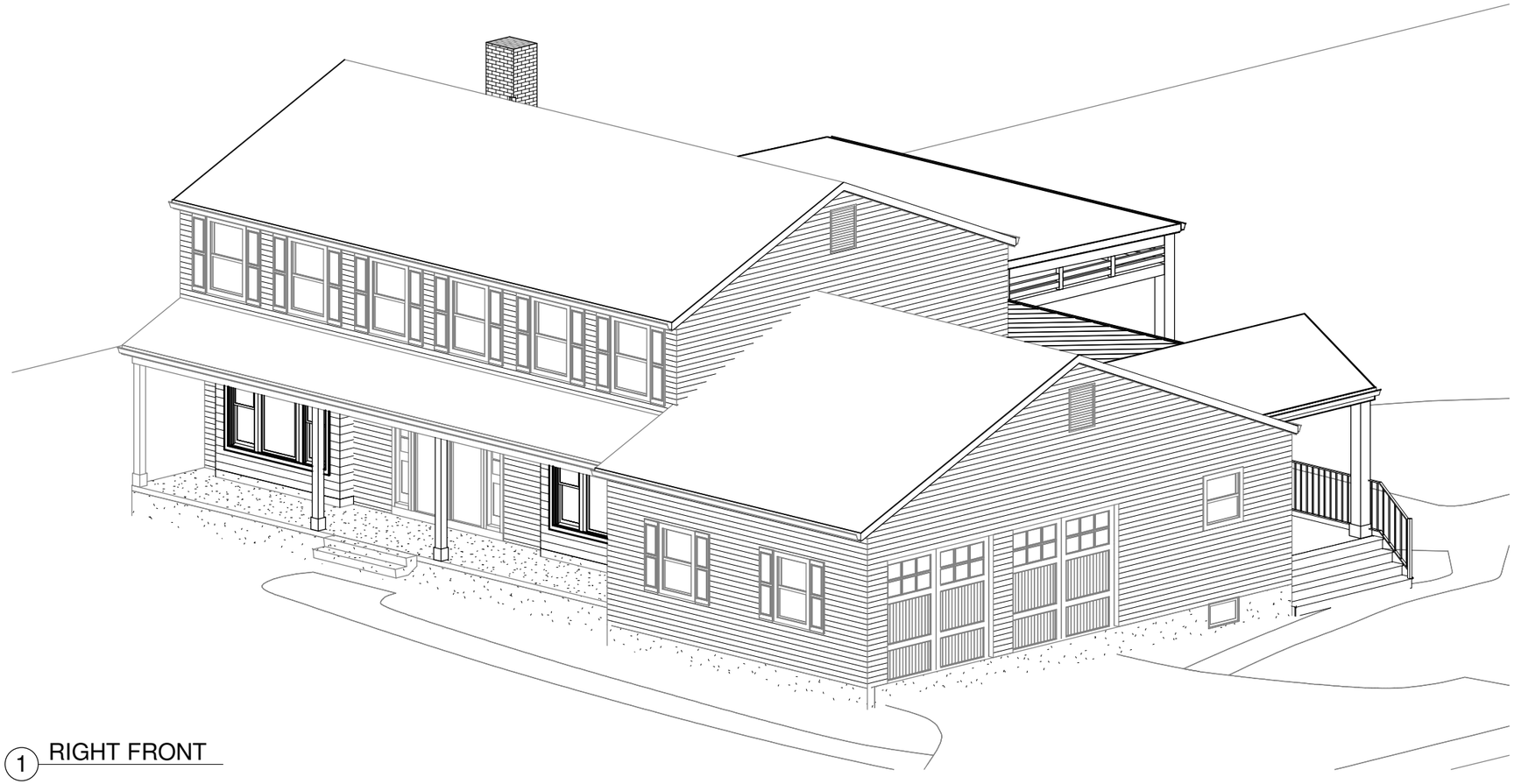
118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: EXTERIOR VIEWS

DATE: 1/6/23

SCALE:

DRAWING #: SK-19



1 RIGHT FRONT

PROGRESS PRINTS
NOT FOR CONSTRUCTION

ZT ARCHITECTS LLC

240 W. CRESCENT AVE., SUITE D
ALLENDALE, NJ 07401
T: 201.785.8855 F: 201.785.8866

MARY FITZPATRICK SCRO, ARCHITECT
LICENSE # 21AI01591800

ZONING BOARD APPLICATION

PROJECT #: 2057

PROJECT NAME: PATERNO GOLDBERG

118 GREEN WAY
ALLENDALE, NJ 07401

TITLE: EXTERIOR VIEWS

DATE: 1/6/23

SCALE:

DRAWING #: SK-20

Van Cleef
ENGINEERING WITH FOCUS

111 Howard Boulevard, Suite 110
Mt. Arlington, NJ 07856
862-284-1100

Memorandum

To: Borough of Allendale Land Use Board
L. Garofalo, Board Secretary / C. Botta, Board Attorney

Cc: L. Paterno & R. Goldberg, Applicants / M. Fitzpatrick Scro, Applicant's Architect

From: Michael Vreeland, Board Engineer

Date: June 3, 2023

Re: LUB 2023-06 – Paterno & Goldberg
Variance Application –Addition
118 Green Way
Block 801, Lot 39
ALN-1001.061

We are in receipt of the following information pertaining to the above-referenced application:

A. Land Use Application and associated documents;
B. February 6, 2023 Allendale Code Enforcement Office correspondence (Anthony Hackett) to applicant deny zoning application; and
C. Architectural Plan Set (including copy of survey), entitled, "Paterno-Goldberg Residence, 118 Green Way, Allendale, NJ,". The plans prepared by Z+ Architects, LLC (Mary Fitzpatrick Scro, AIA) consist of 20 sheets and are dated January 6, 2023.

We have reviewed the information along with the Borough Code (Code), visited the site and offer the following comments:

1. INTRODUCTION

The subject ±0.623 acre property is commonly known as 118 Green Way. The property is currently developed with a single-family dwelling and associated amenities. The property is located within the Borough's AAA Residence Zone District and is surrounded by residential uses.

The application and plans propose additional and renovations to the dwelling (including rear footprint and first floor expansions).

The application and plans request relief for conflicts with §270-51B(1) (lot area) and §270-64A(2) (side yard setback).

2. TECHNICAL COMPLETENESS

We have reviewed the application for technical completeness in accordance with the Application Checklist. Based on the nature of the proposal, we believe the Applicant's submission is sufficient to conduct technical review.

We defer to the Land Use Administrator and the Board Attorney regarding administrative and legal completeness matters.

3. ZONING

We have reviewed this application in accordance with the requirements of the Borough's Code. Based on this review we find the following:

3.1. Non-Conforming Conditions:

3.1.1. §270-51B(1) – Minimum Lot Area
Comment: The zoning table indicates the existing 27,129 sf lot is less than the required 40,000 sf. The application does not appear to alter this condition.

3.1.2. §270-64A(2) – Side Yard Setbacks
Comment: The zoning table indicates the existing gross building area is 3,282 sf and requires ±26.3 ft enhanced side yard setback. The existing setbacks are conforming (±27.7 ft left; ±37.9 ft right).

The proposal increases the GBA and expands the required enhanced side yard to ±29.35 ft. The plans propose to maintain the existing 27.7 ft left setback. The renovated dwelling will encroach ±1.7 ft into the expanded left setback.

3.2. Discussion:

Since this proposal does not meet the requirements noted above, the Applicant must seek relief from the Board pursuant to the Municipal Land Use Law under N.J.S.A. 40-55D-70c.

The Applicant has requested "C" variances in conjunction with this proposal.

"C(1)" or "Hardship" Variances:
In judging an application by the C(1) criteria, the core question presented to the Board is whether there has been a showing of (1) peculiar and exceptional practical difficulties to, or (2) exceptional and undue hardship upon, the Applicant arising out of (a) the exceptional narrowness, shallowness or shape of the subject property, or (b) by reason of exceptional topographic conditions or physical features uniquely affecting the subject property, or (c) by reason of an extraordinary and exceptional situation uniquely affecting the subject property or the structures lawfully existing thereon. In all cases, the alleged hardship must relate to a specific piece of property.

"C(2)" or "Benefits v. Detriments" Variances:
In judging an application by the C(2) criteria, the core questions presented to the Board is whether the grant of a variance would promote or advance the purposes of the Municipal Land Use Law and the benefits of such deviation outweigh any detriment.

As in all variance cases, the Applicant bears the burden of proving both the positive and negative criteria. Relief cannot be granted unless it can be granted without substantial detriment to the public good and unless it will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

We specifically note that it is the Applicant's burden to show the special reasons and satisfy the negative criteria. As such, the Applicant will need to present additional information concerning the aforementioned issues as well as the positive and negative elements pertaining to the subject proposal.

4. TECHNICAL REVIEW COMMENTS

4.1. Testimony should address proposed building finishes, colors, and materials.

4.2. Testimony should address potential conflicts with existing mechanical equipment including relocation of AC unit(s).

4.3. Testimony should address tree removal and replacement as well as proposed landscaping.

4.4. Testimony should address exterior lighting.

4.5. Testimony should address distance from pool to expanded dwelling and confirm setback will comply with §270-32B.

4.6. Should the Board approve this application:

4.6.1. Site grading and stormwater management will need to be addressed. The Applicant will need to obtain Soil Movement Permit (§225) and Plot Plan Approval (§196). The Applicant is advised that drainage calculations will be required to demonstrate stormwater management measures have been designed to reduce runoff and sized for tributary areas (§225-5.D).

4.6.2. Soil erosion and sediment control measures will need to be provided. The measures need to be in place prior to initiating soil disturbance and maintained until the area of disturbance has been permanently stabilized.

4.6.3. Inspection of the existing water and sewer services will need to be addressed. The sewer service will need to be TV inspected prior to reuse. The water service material should also be verified.

4.6.4. We recommend an "As-Built Plan" be required prior to requesting a certificate of occupancy.

Please contact me should you have any questions.

Van Cleef
ENGINEERING WITH FOCUS

111 Howard Boulevard, Suite 110
Mt. Arlington, NJ 07856
862-284-1100

Memorandum

To: Borough of Allendale Land Use Board
L. Garofalo, Board Secretary / C. Botta, Board Attorney

Cc: M. Zeoli & M. Danubio, Applicants / J. Ferraro, Applicant's Architect

From: Joseph R. Vuich, PE for the Board Engineer

Date: April 25, 2023

Re: LUB 2023-05 – Zeoli & Danubio
Variance Application – Single-Family 2-Story Addition
41 Elmwood Avenue
Block 2009, Lot 4
ALN-1001.060

We are in receipt of the following information pertaining to the above-referenced application:

A. Land Use Application and associated documents;
B. Zoning Permit Denial Letter, Allendale Zoning Department, dated March 21, 2023;
C. Existing Conditions Photos, not dated;
D. Survey consisting of 1 sheet entitled, "Property Survey, Borough of Allendale, Bergen County, New Jersey, Lot No. 4, Block No. 2009," prepared by Christopher J. Lantelme, PE, PLS of Lantelme, Kurens & Associates, PC, dated May 30, 2019, last revised November 19, 2022;
E. Architectural Plan Set consisting of 4 sheets entitled, "Zeoli Residence, 41 Elmwood Avenue, Allendale, NJ 07401, prepared by John Anthony Ferraro, RA of John Anthony Ferraro PC, dated January 25, 2023, without revision.

We have reviewed the information along with the Township Code (Code), visited the site and offer the following comments:

1. INTRODUCTION

The subject property is commonly known as 41 Elmwood Avenue. It is 0.159 acres in size and located on the north side of Elmwood Avenue, mid-block between the intersections with Birch Street and Franklin Turnpike (CR-507). The property is located within the Borough's A Residence Zone District. It is surrounded by single-family residential uses on all sides. It is currently developed with a 2-story frame dwelling, asphalt driveway, front walk, shed, and slate BBQ patio.

The Applicant proposes to construct a 2-story rear addition, requiring variance relief for 33% Floor Area Ratio (FAR) whereas maximum 25% is permitted, proposed 7.4-foot right (west) and 5.1 foot left (east) side yard setback whereas 15 feet is required.

2. TECHNICAL COMPLETENESS

We have reviewed the application for technical completeness in accordance with the Application Checklist. Based on the nature of the proposal, we believe the Applicant's submission is sufficient to conduct technical review.

We defer to the Land Use Administrator and the Board Attorney regarding administrative and legal completeness matters.

3. ZONING

We have reviewed this application in accordance with the requirements of the Borough's Code. Based on this review we find the following:

3.1. Non-Conforming Conditions:

3.1.1. §270-57E(1) – Minimum Lot Area

Comment: The A Residence Zone District requires a minimum lot size of 20,000 square feet. The subject property has an existing non-conforming lot area of 6,947 square feet.

3.1.2. §270-57F – Minimum Lot Width

Comment: The A Residence Zone District requires a minimum lot width of 115 feet. The subject property has an existing non-conforming lot width of 50 feet.

3.1.3. §270-63A(1) – Floor Area Ratios

Comment: The subject property has a lot area less than 10,000 square feet and therefore is permitted a maximum 25% FAR. The existing 2-story dwelling complies with a 22% FAR. After the proposed 2-story rear addition the dwelling has a 33% FAR. Testimony shall be provided in support of the required variance relief.

3.1.4. §270-64C – Side Yard Setbacks

Comment: The proposed gross building area is less than 2,400 square feet and therefore is permitted a minimum side yard setback of 15 feet. The existing 2-story dwelling has existing non-conforming side yard setbacks of 7.4-foot right (west) and 5.1 foot left (east). The proposed 2-story rear addition matches the 7.4-foot right (west) side yard setback and has a 14.9-foot left (east) side yard setback. Both require variance relief and exacerbate the existing non-conforming conditions proposed to remain. Testimony shall be provided in support of the required variance relief.

3.2. Discussion:

Since this proposal does not meet the requirements noted above, the Applicant must seek relief from the Board pursuant to the Municipal Land Use Law under N.J.S.A. 40-55D-70c.

The Applicant has requested "C" variances in conjunction with this proposal.

"C(1)" or "Hardship" Variances:
In judging an application by the C(1) criteria, the core question presented to the Board is whether there has been a showing of (1) peculiar and exceptional practical difficulties to, or (2) exceptional and undue hardship upon, the Applicant arising out of (a) the exceptional narrowness, shallowness or shape of the subject property, or (b) by reason of exceptional topographic conditions or physical features uniquely affecting the subject property, or (c) by reason of an extraordinary and exceptional situation uniquely affecting the subject property or the structures lawfully existing thereon. In all cases, the alleged hardship must relate to a specific piece of property.

"C(2)" or "Benefits v. Detriments" Variances:
In judging an application by the C(2) criteria, the core questions presented to the Board is whether the grant of a variance would promote or advance the purposes of the Municipal Land Use Law and the benefits of such deviation outweigh any detriment.

As in all variance cases, the Applicant bears the burden of proving both the positive and negative criteria. Relief cannot be granted unless it can be granted without substantial detriment to the public good and unless it will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

We specifically note that it is the Applicant's burden to show the special reasons and satisfy the negative criteria. As such, the Applicant will need to present additional information concerning the aforementioned issues as well as the positive and negative elements pertaining to the subject proposal.

4. TECHNICAL REVIEW COMMENTS

4.1. The Site Plan on Sheet A-2 of the Architectural Plan Set shall illustrate and dimension the proposed rear yard patio shown on the Proposed First Floor Plan on Sheet A-3.

4.2. The Architectural Plan Set shall be revised to include existing and proposed lot coverage calculations to demonstrate compliance with §270-63 *'Impervious Surfaces'* for maximum allowable impervious coverage of 55%.

4.3. Testimony should address proposed building finishes, colors, and materials.

4.4. Testimony should address the condition and ownership of existing fence encroachments.

4.5. Testimony should address the proposed relocation of AC unit(s).

4.6. Testimony should address tree removal and replacement as well as proposed landscaping.

4.7. Testimony should address construction access for equipment and materials due to the limiting existing side yard setbacks.

4.8. Testimony should address exterior lighting.

4.9. Should the Board approve this application:

4.9.1. Site grading and stormwater management will need to be addressed. The Applicant will need to obtain Soil Movement Permit (§225) and Plot Plan Approval (§196). The Applicant is advised that drainage calculations will be required to demonstrate stormwater management measures have been designed to reduce runoff and sized for tributary areas (§225-5.D).

4.9.2. Soil erosion and sediment control measures will need to be provided. The measures need to be in place prior to initiating soil disturbance and maintained until the area of disturbance has been permanently stabilized.

4.9.3. Inspection of the existing water and sewer services will need to be addressed. The sewer service will need to be TV inspected prior reuse. The water service material should also be verified.

4.9.4. We recommend an "As-Built Plan" be required prior to requesting a certificate of occupancy.

This concludes our comments at this time. We reserve the right to make additional comments based on further documents submitted. Should there be any questions, please contact our office at your earliest convenience.

Borough of Allendale Land Use Board

Disclosure Statement – Appendix A

Name of Applicant: Veolia Water New Jersey, Inc.

Address: 200 Lake Shore Drive City : Haworth

State: NJ Zip: 07641 Phone: (201) 986-2702

Applicant is a (Corporation) Partnership Individual

Pursuant to N.J.S.A. 40-55D-48.1, the names and addresses of all persons owning 10% of the stock in a corporate applicant or 10% interest in any partnership applicant must be disclosed. List names, addresses and partnership interest here.

Name: Please see attached Ownership Disclosure. Interest %_____

Address:_____ City:_____ State:_____

Name:_____ Interest %_____

Address:_____ City:_____ State:_____

Name:_____ Interest %_____

Address:_____ City:_____ State:_____

Name:_____ Interest %_____

Address:_____ City:_____ State:_____

Name:_____ Interest %_____

Address:_____ City:_____ State:_____

INTEREST OF APPLICANT (Owner, Lessee, Etc.) Easement

NAME OF OWNER: (If Different from Applicant) Richard & Susan Silvestri

Name of Applicant's ATTORNEY: Craig P. Bossong, Esq.

Address: 430 Mountain Avenue, Suite 103 City: New Providence

State: NJ Zip: 07974 Phone: (908) 454-8300

Name of Applicant's ARCHITECT:_____

Address:_____ City :_____

State :_____ Zip:_____ Phone: ( )_____

Name of Applicant's SURVEYOR:_____

Address:_____ City:_____

State :_____ Zip:_____ Phone: ( )_____

Name of Applicant's ENGINEER: Mott MacDonald - Eugene C. DeStefano

Address: 111 Wood Avenue South City: Iselin

State: NJ Zip: 08830 Phone: (201) 499-1089

Name of Applicant's PLANNING CONSULTANT:_____

Address:_____ City:_____

State:_____ Zip:_____ Phone: ( )_____

Name of Applicant's TRAFFIC ENGINEER:_____

Address:_____ City:_____

State:_____ Zip:_____ Phone: ( )_____

Borough of Allendale Land Use Board

Variance or Waiver Relief – Appendix B

Section 1 – APPLICATION FOR VARIANCE RELIEF

In connection with your application for variance relief, please set forth:

1. The section(s) of the ordinance regulations of the Borough of Allendale from which variance relief is requested:
   270-14 - Accessory Buildings (Six foot separation required between accessory bulidings)
   270-54 - B - Front Yard (40-ft required)
   270-83 - Accessory Buildings (One permitted per lot. This would be second.)

2. The nature of the variance relief requested: The front yard requirement is 40-ft. The existing front yard is 15.83-ft when measured to the existing well house.

3. In what manner, in this particular case, the strict application of the foregoing ordinance regulations will result on practical difficulties or undue hardship upon you inconsistent with the general purpose and intent of said regulations: The proposed project is for installation of water treatment equipment that will enable recently issued water quality regulations to be met. The facility is temporary and will be removed when a permanent solution is implemented.

4. In what manner, in this particular case, there exist exceptional circumstances or conditions applicable to the premises which are the subject of this application, which do not apply generally to other premises located in the same zone district or neighborhood: The treatment facility will be installed in as close proximity to the existing well as practicable. The well is on this property.

5. In what manner, in this particular case, the granting of the variance relief requested will not be substantially detrimental to the public welfare or injurious to the premises in the area in which the premises which are the subject of this application are located:
   The treatment facility will be housed in a building the size of a shed. It will be adjacent to the existing well. There will not be additional traffic or burden on existing infrastructure.

Section 2 – APPLICATION FOR SUBDIVISION OR SITE PLAN RELIEF FROM DESIGN STANDARDS

In connection with your application for preliminary subdivision deviation relief or preliminary site plan deviation relief, please set forth:

1. The section(s) of the Residential Site Improvement Standards (RSIS) of the Borough of Allendale Land Subdivision or Site Plan Ordinances from which deviation relief is requested:
   N/A

2. In what manner, in this particular case, this literal enforcement of the provisions of said sections is impracticable and will exact undue hardship because of peculiar conditions pertaining to the premises which are the subject of this application: N/A

Section 3 – APPLICATION FOR MODIFICATION OR WAIVER OR SITE PLAN AND/OR SUBDIVISION DETAILS.

In connection with your application for modification or waiver of site plan and/or subdivision details, please set forth:

1. The Borough Ordinances or RSIS provision of requiring site plan and/or subdivision details which are purposely omitted from your development plan and the reasons for such omission:
   N/A

2. The peculiar conditions applicable to the premises which are the subject of this application or applicable to the proposed construction thereon, which render the omitted site plan and/or subdivision details unnecessary to properly evaluate your site plan and/or subdivision:
   N/A

Borough of Allendale Land Use Board

Variance or Waiver Relief – Appendix C

Schedule	Existing	Required	Provided
Lot Area (Sq. Ft.)	40,025	26,000	40,025
Lot Width (~~Sq~~. Ft.)	148.6	130 - 200	148.6
Lot Depth (~~Sq.~~ Ft.)	118.24		118.24
Max. Coverage (%)	32.0%	27.5%	32.4%
Improved Lot Coverage (%)	32.0%	27.5%	32.4%
Max. Bldg. Height (Stories/Feet)	1 / 9.17	2.5 / 35	1 / 13.5
Min. Front Depth (Ft.)	15.83	40	15.83
Min. Rear Depth (Ft.)	82.08	26,000	40,025
Min. Side (Sum Both Each-Min) (Ft.)	22.75	20	22.75
Floor Area Ratio	8.89%	19%	9.67%
Parking Stalls	N/A	N/A	N/A
Handicapped stalls	N/A	N/A	N/A
Loading Spaces	N/A	N/A	N/A
Garage(s)/Stalls	N/A	N/A	N/A

Distance of the nearest part of the lot(s) to the nearest residential zone

The lot is in a residential zone.

BOROUGH OF ALLENDALE LAND USE BOARD

APPLICATION FOR DEVELOPMENT

Application No. _____

Filing Date _____

Time Limitation Date _____

Notice of Incomplete Application _____

Application Perfected _____

Nature of Disposition _____

Date of Disposition _____

SECTION I. APPLICANT HEREBY APPLIES FOR:

_____ Concept Review

X Preliminary Site Plan Approval

X Final Site Plan Approval

_____ Sketch Plan Review and Classification

_____ Minor Subdivision Approval

_____ Major Preliminary Subdivision

_____ Final Subdivision

X Variance Relief Pursuant to 40:55D- 60 (c)

_____ Subdivision or Site Plan Deviation relief

_____ Modification or Waiver of Subdivision or Site Plan details

_____ Conditional Use Approval

_____ Other (Please Specify) _____

Fee Paid _____

Legal & Engrg. Escrow Paid_____

Taxes Paid_____

SECTION II.

A. APPLICANT INFORMATION:

1. Name of Applicant: Veolia Water New Jersey, Inc. Phone: 201 986-2702
   Address of Applicant: 200 Lake Shore Drive Haworth, NJ 07641
   (If Applicant is other than an individual, complete Appendix A – Disclosure Statement)
2. Name and Address of Applicants Attorney, If Any:
   Craig Bossong,430 Mountain Avenue, Suite 103, New Providence, NJ 07974
3. Name and Address of owner of premises : Richard & Susan Silvestri, 664 West Crescent Avenue Allendale, NJ 07401
4. Correspondence is to be Addressed and Mailed as Follows :
   Eugene C. DeStefano, Mott MacDonald, 111 Wood Avenue South, Iselin, NJ 08830
5. The Premises Which Are the Subject of this Application Are Known as :
   664 West Crescent Avenue Allendale, NJ 07401 and
   are shown as Lot 6 in Block 1503.01 on Sheet # 15 of
   Allendale Tax Map.
6. The size of the premise is 4,243 square feet; 0.9 acres.
   Frontage: 82.08 ; Depth: 118.24.

7. The zone district in which premise are located is AA - One Family Residential
8. Now located on premise is a Single Family Home
9. The date of the last deed of record is 07/18/2003, which deed was recorded in the Deed Book 8598 at page 353.
10. The grantee(s) named in said deed were Susan Silvestri & Richard Silvestri.
11. The interest of the applicant in premise, if other than the owner, is: Owner

B. SUBJECT PROPERTY SITE DATA

Location: 664 West Crescent Avenue Allendale, NJ 07401

(Street Address, Cross Streets or Other Identifications)

Tax Map: Page(s): 15 Block(s): 1503.01 Lot(s): 6

Dimensions:

Frontage: 82.08 feet Depth: 118.24 feet Total Area: 0.9 feet/acres

Present Zoning District: AA - One Family Residential

Present Use of Subject Property: Single Family Home

Is the property located on a Municipal X County____ or Private____ Road?

Proposed Use/Change The primary use of the property will remain single family residential

Describe in detail the exact nature of the application and to the changes to be made to the subject property, including proposed use of premise.

A temporary water treatment facility is proposed to be added in the northeast corner of the property

Proposed Number of Buildings: 2 existing, 1 new

Proposed Gross Floor Area of all structures: 3,870 Sq. Ft.

Percentage of coverage by buildings: 9.67%

Percentage by impervious cover: 31%

Number of existing lots: 1 Proposed number of lots: 1

Proposed No. of dwelling units: 1 existing

Proposed area to be disturbed : 390 Sq. Ft.

Existing Building Height: Existing house 2 stories, existing well house

Proposed Building Height: 11.55 ft

Anticipated Number of Employees per Shift: N/A Hours of Operation: As needed for water supply

Restrictions, covenants, easements, association by-laws, existing or proposed on property:

Existing: (Yes) No Proposed: Access agreement

Attach legible copies of deed restrictions.

Does the within proposal affect a Municipal or State designated historic site and/or building? Yes (No)

C - ZONING DATA: SEE ZONING SCHEDULE ANNEXED AS APPENDIX C

(State current zone in which lot(s) is located)

D - EXISTING CONDITIONS: (Attach additional sheets containing responses to the following);

1. Are there any buildings or signs now on the site? (Yes) No If yes, which if any, is the applicant proposing to remove. N/A

2. Is the applicant proposing to erect new signs on the site? Yes (No) If yes, describe proposed sign locations, sign design, dimensions as depicted on plans and state whether the proposed sign(s) comply with Borough sign ordinance.

3. Is the applicant proposing the removal of any existing fences? Yes (No) Describe and state whether proposed fence(s) comply with the Borough Fence Ordinance.

4. Is the site in conformance with the Zoning Ordinance of the Borough? Yes

5. Identify the soils at the site, using the U.S. SCS descriptions. What percentage of the site is covered by each soil type. UdwuB -- Udorthents, wet substratum-Urban land complex

Soil Map Unit	Percentage Cover	Acidity	Erodibility	Drainage
UdwuB	100%	See attached map and table		

6. Describe dominant flora and fauna at the site. See attached description

7. Are there threatened or endangered wildlife and/or vegetative species at the site? Yes_____ No X
8. What is the source of information leading to your conclusions about threatened or endangered wildlife or species?

See attached description

9. If endangered or threatened species are associated with the site, list them below.

See attached description

10. Percentage of site with
    O to 10% slopes:
    10 to 15% slopes:
    15 to 20% slopes:
    20% slopes:

E. REVISIONS TO APPROVED PLANS: Please indicate prior Allendale LUB application numbers, the original requirements of the approved plan and the requested change or revision (attach separate sheet if necessary).

_____
_____
_____
_____
_____

Section III. APPLICATION INFORMATION

A. Does the current owner or the applicant now own or have any interest in any other property which adjoins the premises which are the subject of this application? _____Yes _____(No)
(If yes, describe the contiguous property by reference to the current tax map of Borough of)
_____

B. Have the premises which are the subject of this application been the subject of Land Use Board action?
_____Yes ____X____No
(If yes, please attach a copy of the Land Use Board resolution to this application)

C. Are the premises which are the subject of this application located within 100 feet of a brook or located on a county road? _____Yes _____No. Do the said premises consist of more than one acre in area?
_____Yes _____(No) Does the proposed improvement on said premises involve the installation of more than five parking spaces? _____Yes _____(No)

D. Is any portion of the premises which are the subject of this application intended to be dedicated or reserved for the public use? _____Yes _____(No)

E. If this application is for final subdivision approval, does the final plat follow exactly the preliminary plat in regard to details and area covered? _____Yes _____No If not, indicate material changes N/A

F. If this application is for variance relief, has a decision been rendered or an order issued by the Borough Director of Buildings and Inspections? _____Yes _____(No)

I. The details of the within application are shown on a certain plan entitled

Veolia Water New Jersey, Inc. Allendale Well 11
Temporary PFAS Treatment - Preliminary and Final Site Plan

Said plan is comprised of 12 sheets.

Section IV. INFORMATION TO BE SET FORTH IN APPENDIX B.

i. If this application is for various relief, pursuant to 40:55D-60 (c), please set forth in Appendix B, Section 1, hereof, all of the information requested.

ii. If this application is for subdivision or site plan standards relief, please set forth in Appendix B, Section 2 hereof, all of the information requested.

iii. If this application is for modification or waiver of site plan or subdivision details, please set forth in Appendix B, Section 3 hereof, all of the information requested.

Section V. AUTHORIZATION BY OWNER

Mott MacDonald is hereby authorized to file the within application with the Borough Clerk of the Borough of Allendale.

Dated: *OWNER'S AUTHORIZATION ATTACHED

OWNER

Section VI. CERTIFICATION BY APPLICANT

The undersigned applicant does hereby certify that all of the statements contained in this application are true.

Dated: 4/27/23

APPLICANT

OWNER'S AUTHORIZATION

I, Susan and/or Richard Silvestri, the current property owners of 664 West Crescent Avenue, Allendale, New Jersey hereby consent to Veolia Water New Jersey, Inc. to file an application with the Allendale Planning Board for the purposes of installing a temporary water treatment equipment.

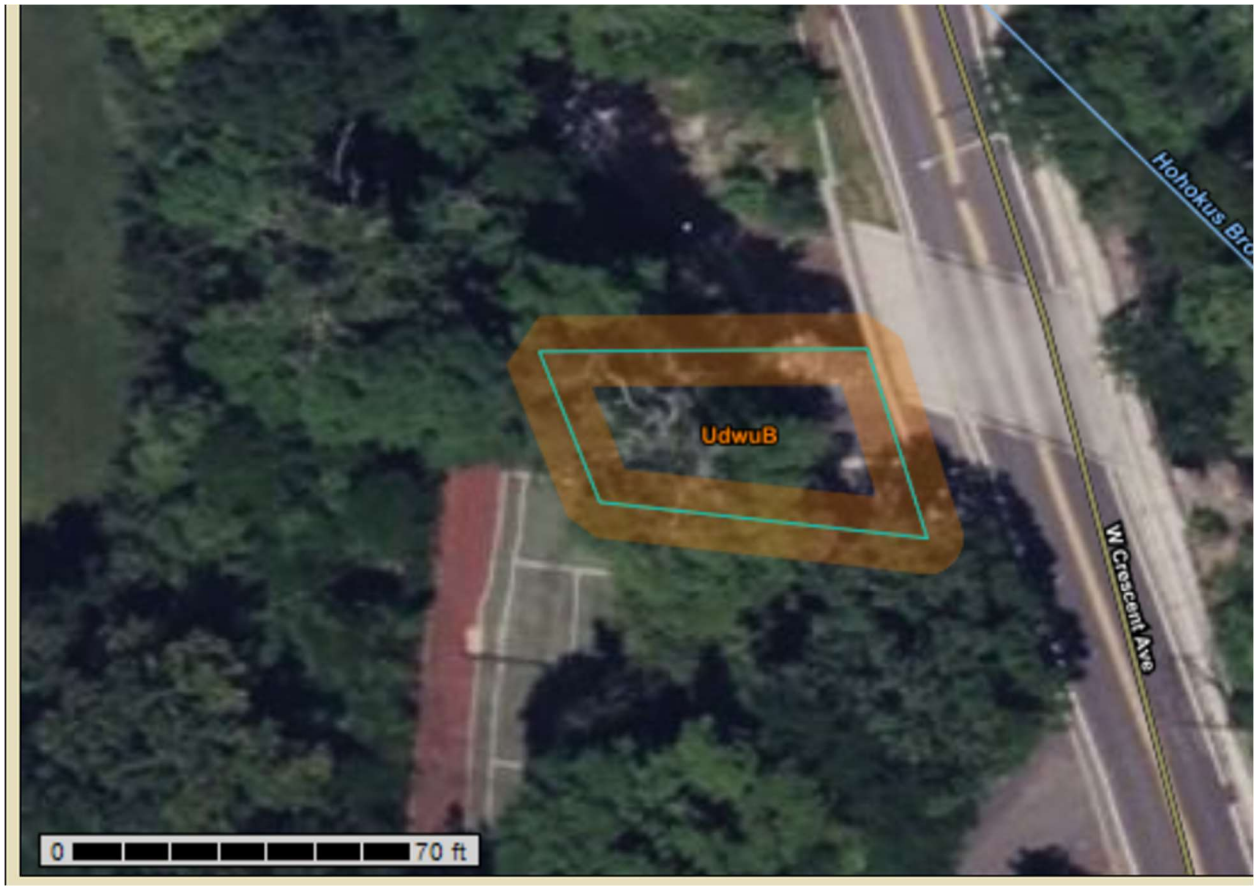
Susan or Richard Silvestri

Dated: 4/14/2023

Soil report on VWNJ Allendale Well #1 for the Town Planning Board

Form NRCS Web Soil Survey and Standards for Soil Erosion and Sediment Control in New Jersey

Soil map unit	Percentage Cover	Acidity	Erodibility	Drainage
UdwuB -- Udorthents, wet substratum-Urban land complex	100%	not high acid-producing. pH (1 to 1 water) > 4	Erosion factor Kw = .02 indicating low erodibility	Moderately well drained



Floral and Fauna

Vegetation observed within (*) and immediately adjacent to the project site (i.e., areas in proximity to existing well building and proposed project limits of disturbance) includes, but is not limited to:

- *red maple (Acer rubrum)
- *tree of heaven (Ailanthus altissima)
- *Japanese pachysandra (Pachysandra terminalis)
- eastern hemlock (Tsuga canadensis)
- sugar maple (Acer saccharum)
- tuliptree (Liriodendron tulipifera)
- white oak (Quercus alba)
- black oak (Quercus velutina)
- burningbush (Euonymus alatus)
- wine raspberry (Rubus phoenicolasius)
- garlic mustard (Alliaria petiolata)

T&E Species

Based on a review of the NJ-GeoWeb Landscape Project 3.3 Skylands layer, rank 1 habitat (urban - residential, single unit, low density) is identified within the project site and rank 3 habitat (deciduous wooded wetlands & stream and canals) is identified adjacent to the project site. The NJDEP adopted a conservation ranking system that assigns various wildlife habitats in a five-tier system. Rank 1 is assigned to species-specific habitat patches that meet habitat-specific suitability requirements such as minimum size or core area criteria for endangered, threatened or special concern wildlife species, but that do not intersect with any confirmed occurrences of such species. Rank 3 is assigned to species-specific patches containing one or more occurrences of State threatened species. According to the NHP response letter, Black-crowned Night-heron (Nycticorax nycticorax – State threatened) foraging and Yellow-crowned Night-heron (Nyctanassa violacea – State threatened) foraging were found to be on the referenced site (Block 1503.01 Lot 6).

OWNERSHIP DISCLOSURE

Veolia Water New Jersey, Inc. Ownership

Veolia Water New Jersey, Inc., a New Jersey corporation, is 100% wholly owned by

Veolia Water Resources LLC, a Delaware limited liability company that is 100% wholly owned by

Veolia Utility Parent, Inc., a Delaware corporation that is jointly owned

20% by Stichting Depositary PGGM Infrastructure Funds, acting in its capacity as title holder of PGGM Infrastructure Fund, a Dutch pension fund, and

80% by Veolia Water USA, Inc., a Delaware corporation.

Veolia Water USA, Inc. is 100% wholly owned by

Veolia North America (Paramus), Inc., a Delaware corporation that is 100% wholly owned by

SUEZ Groupe S.A.S., a French company that is wholly owned by

SUEZ S.A., a French company that is 100%* owned by

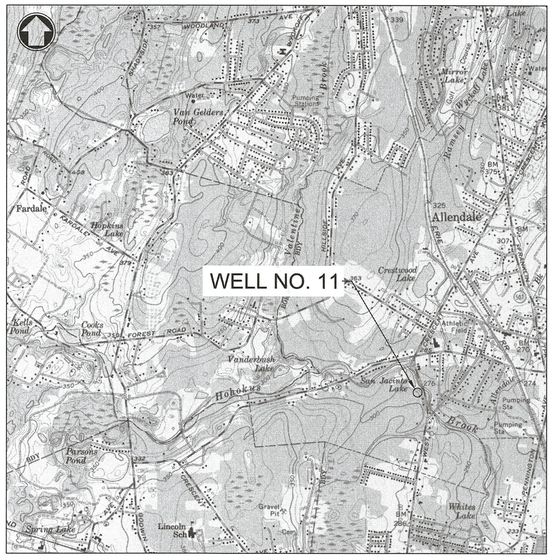
Veolia Environnement S.A., a French public limited company

* SUEZ has delisted from Euronext Paris and Euronext Brussels.

VEOLIA WATER NEW JERSEY, INC.

BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
BLOCK 1503.01 LOT 6
PRELIMINARY AND FINAL: SITE PLAN



SOURCE: USGS QUADRANGLE - RAMSEY

USGS MAP

0 2000 4000

SCALE: 1" = 2000'

INDEX OF DRAWINGS

B/O	SHEET NO.	DESCRIPTION
GENERAL		
1	G001	COVER SHEET
2	G002	KEY MAP, GENERAL NOTES & LEGEND
CIVIL		
3	C101	EXISTING CONDITIONS PLAN
4	PL 1.1	SITE PLAT
5	C102	SITE PLAN
6	C501	CONSTRUCTION DETAILS
7	C502	SOIL EROSION AND SEDIMENT CONTROL PLAN (SHEET 1 OF 3)
8	C503	SOIL EROSION AND SEDIMENT CONTROL PLAN (SHEET 2 OF 3)
9	C504	SOIL EROSION AND SEDIMENT CONTROL PLAN (SHEET 3 OF 3)
ARCHITECTURAL		
10	A001	RENDERING
11	A101	FLOOR PLAN, EGRESS PLAN, REFLECTED CEILING PLAN, ROOF PLAN, AND CODE ANALYSIS
12	A102	ELEVATIONS AND WALL SECTIONS

APRIL 2023

MOTT MACDONALD

Certificate No. 24GA28016600

4/4/23

EUGENE C. DESTEFANO
Professional Engineer - N.J. Lic. No. 24GE038615

OWNER
VEOLIA WATER NEW JERSEY, INC.
200 LAKE SHORE DRIVE
HAWORTH, NJ 07641

APPLICANT
VEOLIA WATER NEW JERSEY, INC.
200 LAKE SHORE DRIVE
HAWORTH, NJ 07641

APPROVED BY THE BOROUGH OF ALLENDALE LAND USE BOARD AT ITS MEETING OF _____

BOARD CHAIRPERSON DATE

BOARD SECRETARY DATE

ENGINEER DATE

LEGEND:

GS	GAS SERVICE
WS	WATER SERVICE
S	SANITARY LATERAL
CO	SANITARY SEWER CLEANOUT
W	WATER METER / WATER SERVICE VALVE
CATV	CABLE TELEVISION
	GAS SERVICE VALVE
	CATCH BASIN/DRAIN INLET
CI/CIP	CAST IRON PIPE
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
CULV.	CULVERT
DI/DIP	DUCTILE IRON PIPE
TRP	TRANSITE PIPE
ACP	ASBESTOS CEMENT (TRANSITE) PIPE
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE PIPE
VCP	VITRIFIED CLAY PIPE
	FIRE HYDRANT
TL	TRAFFIC LIGHT
	TREE
	TREE LINE
	FENCE
	FENCE
	EXISTING EDGE OF PAVEMENT
	BUILDING
	CURB
W	EXISTING WATER LINE
G	EXISTING GAS LINE
	R.O.W.
	U/P W/ GUY
	TREE
	MANHOLE
	MONITOR WELL
	WATER METER
	VALVE
	HYDRANT
	GAS METER
	CONCRETE SPLASH PAD

D	STORM SEWER MANHOLE
T	TELEPHONE MANHOLE
LF	LINEAR FEET
BM	BENCH MARK
	TEST BORING
	TEST BORING WITH OBSERVATION WELL
	WATER VALVE
	GAS VALVE
	MONUMENT
BIT	BITUMINOUS PAVEMENT
E	ELECTRIC MANHOLE
	GUIDE RAIL
MB	MAIL BOX
MJ	MECHANICAL JOINT
FL	FLANGED JOINT
RJ	RESTRAINED JOINT
BTMH	BELL TELEPHONE MANHOLE
	SWAMP
GTS	GAS TEST STATION
LP	LAMP POST
PB/JB	PULL BOX OR JUNCTION BOX
TSL	TRAFFIC SIGNAL LOOP
TCB	TRAFFIC CONTROL BOX

KEY MAP:

SOURCE: BOROUGH OF ALLENDALE TAX MAP SHEETS 15, 16, AND 22; ZONE AA

200' PROPERTY OWNERS LIST

BLOCK 1503.01, 6

664 WEST CRESCENT AVENUE, ALLENDALE, NJ 07401

DATE REVISED: MARCH 20, 2023

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
1503.01 8	668 W CRESCENT AVE	2	FARGIS, JAMES E. & ANN CARROLL 668 W CRESCENT AVE ALLENDALE, NJ 07401
1503.01 9	684 W CRESCENT AVE	2	PAULIUS, ROBERT & SIGITA 684 W CRESCENT AVE ALLENDALE, NJ 07401
1503.01 7	660 W CRESCENT AVE	2	CAMPANARO, TRACY 660 W CRESCENT AVE ALLENDALE, NJ 07401
1503.01 11	6 STONEFENCE RD	2	MELORO, JAMES ROBERT 6 STONEFENCE RD ALLENDALE, NJ 07401
1503.01 14	42 CARTERET RD	1	POSKANZER, BARRY 40 CARTERET RD ALLENDALE, NJ 07401
1503.01 15	40 CARTERET RD	2	POSKANZER, BARRY 40 CARTERET RD ALLENDALE, NJ 07401
1503.01 10	2 STONEFENCE RD	2	CONNELLY, DANIEL J. & JANE M. 2 STONEFENCE RD ALLENDALE, NJ 07401
1503.01 5	611 W CRESCENT AVE	1	MARTIN, BARBARA J. 611 W CRESCENT AVE ALLENDALE, NJ 07401
1503.01 13	44 CARTERET RD	2	OBERDORF, MARIANNE 44 CARTERET RD ALLENDALE, NJ 07401
1503.01 12	46 CARTERET RD	2	ROSSI, LOUIS G. & AMY B. 46 CARTERET RD ALLENDALE, NJ 07401
1601 15	611 W CRESCENT AVE	2	MARTIN, BARBARA J. 611 W CRESCENT AVE ALLENDALE, NJ 07401
2206 11	W CRESCENT AVE	15C	BOROUGH OF ALLENDALE 500 W CRESCENT AVE ALLENDALE, NJ 07401

GENERAL NOTES:

1. ALL ELEVATIONS BASED ON NAVD '88 DATUM. REFER TO SHEET C101 FOR ADDITIONAL SURVEY RELATED NOTES.
2. AVAILABLE INFORMATION AS TO THE LOCATION OF EXISTING SUBSTRUCTURES AND UTILITIES HAS BEEN COLLECTED FROM VARIOUS SOURCES. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATION ONLY. THE SITE PIPING PLAN INDICATES THE APPROXIMATE LOCATION OF EXISTING PIPING. THE CONTRACTOR SHALL DIG TEST PITS AS NECESSARY TO VERIFY TRUE AND EXACT LOCATIONS OF UNDERGROUND LINES AND PIPING IN ORDER TO AVOID THE POSSIBLE CONFLICTS WITH NEW PIPING. SUCH WORK IS TO BE DONE WELL IN ADVANCE OF THE INSTALLATION OF THE NEW PIPES SO THAT MINOR ADJUSTMENTS CAN BE MADE PRIOR TO THE ACTUAL CROSSING.
3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION, AND SHALL COMPLY WITH ALL CURRENT MARKOUT REQUIREMENTS OF THE NEW JERSEY ONE CALL SYSTEM AT 1-800-272-1000.
4. EXCAVATIONS OR TRENCHING WITHIN CLOSE PROXIMITY OF UNDERGROUND FACILITIES OR UTILITY POLES WILL REQUIRE PROTECTION TO PREVENT DAMAGE OR INTERRUPTION OF SERVICE TO UNDERGROUND FACILITIES. THE COST TO PROVIDE THIS PROTECTION WILL BE BORNE BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL ABIDE BY ALL REQUIREMENTS OF THE "HIGH VOLTAGE PROXIMITY ACT."
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING THRUST BLOCKS WHICH ARE RESTRAINING EXISTING UTILITIES. EXISTING THRUST BLOCKS SHALL NOT BE UNDERMINED OR DISTURBED.
7. PRIOR TO ANY CONNECTION TO EXISTING FACILITIES, THE CONTRACTOR SHALL NOTIFY THE OWNER. ALL CONNECTIONS TO EXISTING FACILITIES WILL BE DONE AT THE CONVENIENCE OF THE OWNER.
8. EXISTING MAINS TO WHICH CONNECTIONS SHALL BE MADE ARE SIZED AND LOCATED IN ACCORDANCE WITH THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL BE PREPARED TO ACCOMMODATE CHANGES IN THE SIZE OR LOCATION BY MAINTAINING AT THE JOB SITE ADDITIONAL PIPE, FITTINGS AND VALVES IN THE RANGE OF SIZE BEING DEALT WITH. THIS ADDITIONAL MATERIAL SHALL BE AVAILABLE TO PREVENT DELAYS IN CONSTRUCTION.
9. ALL TRENCHES SHALL BE BACKFILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE KEPT TO A MINIMUM. OPEN TRENCHES SHALL BE STEEL PLATED OR BARRICADED WHEN WORK IS NOT IN PROGRESS.
10. UNLESS OTHERWISE SPECIFICALLY PERMITTED, NO WORK SHALL BE DONE BETWEEN THE HOURS OF 6:00PM AND 7:00AM PREVAILING TIME. NO CONSTRUCTION OR DEMOLITION WORK SHALL BE DONE BETWEEN THE HOURS OF 6:00PM AND 9:00AM PREVAILING TIME, OR BETWEEN THE HOURS OF 6:00PM AND 9:00AM ON WEEKENDS OR FEDERAL HOLIDAYS. IF IT SHALL BECOME ABSOLUTELY NECESSARY TO PERFORM WORK AT NIGHT, THE OWNER SHALL BE INFORMED IN ADVANCE. GOOD LIGHTING AND ALL OTHER NECESSARY FACILITIES FOR PROPER EXECUTION AND INSPECTION OF THE WORK SHALL BE PROVIDED. THE CONTRACTOR SHALL ALSO COMPLY WITH ALL STATE, COUNTY AND LOCAL LAWS GOVERNING HOURS DURING WHICH CONSTRUCTION EQUIPMENT MAY BE OPERATED.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES, ROADS, PIPELINES, TREES, SHRUBBERY, GRASS AREAS, ETC DURING THE PROGRESS OF THE WORK AND SHALL REMOVE FROM THE SITE ALL CUTTINGS, DRILLINGS, DEBRIS AND UNUSED MATERIALS. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL RESTORE THE SITE TO ITS ORIGINAL CONDITION, INCLUDING THE REPLACEMENT, AT THE CONTRACTOR'S SOLE EXPENSE, OF GRASSED AREAS AND LANDSCAPE AREAS WHICH HAVE BEEN DAMAGED.
12. CONTRACTOR SHALL CONFINE CONSTRUCTION OPERATIONS TO THE AREAS BOUND BY THE CONSTRUCTION LIMIT LINES AS SHOWN ON THE SITE PLAN DRAWING.
13. EXCEPT AS SPECIFICALLY SHOWN ON THE DRAWINGS, BURIED PIPE SHALL BE INSTALLED WITH 4'-0" MINIMUM COVER OF THE FINAL FINISHED GRADES. ADDITIONAL FITTINGS SHALL BE INSTALLED AS NECESSARY TO MAINTAIN COVER AND TO PROVIDE VERTICAL CLEARANCE BETWEEN VARIOUS PIPELINES.
14. ALL EXISTING CONTOUR LINES AND SPOT ELEVATIONS ARE APPROXIMATE. ALL PROPOSED CONTOURS SHALL BE GRADED TO BLEND EVENLY WITH EXISTING CONTOURS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF EXCESS EXCAVATED MATERIAL TO AN OFF-SITE LOCATION AT NO ADDITIONAL COST TO THE OWNER.
16. TO MAINTAIN THE HORIZONTAL AND VERTICAL ALIGNMENT SHOWN ON THE PLANS, PIPE JOINTS MAY BE DEFLECTED, BUT SHALL BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE MANUFACTURERS REQUIREMENTS.
17. THE CONTRACTOR SHALL MAINTAIN EXISTING ACCESS ROADS IN A NEAT MANNER AT ALL TIMES. THE CONTRACTOR SHALL SUBMIT A PLAN OF THE TRAILER LOCATION(S) AND PROPOSED STORAGE AREAS TO THE OWNER FOR APPROVAL.
18. IN ALL AREAS WHERE WORK IS OUTSIDE OF PAVED ROADWAYS, THE CONTRACTOR SHALL INSTALL AND MAINTAIN APPROPRIATE SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE DETAILS ON THE DRAWINGS, REGARDLESS OF WHETHER OR NOT THE LOCATION OF SUCH MEASURES ARE SPECIFICALLY SHOWN ON THE PLANS. SUCH MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SILT FENCES ALONG THE PERIMETER OF DISTURBED AREAS AND AROUND MATERIAL STOCKPILES, AND STONE CONSTRUCTION ENTRANCE PADS AT POINTS OF MAJOR INGRESS AND EGRESS FROM PAVED ROADS TO UNPAVED AREAS.
19. WHERE WORK IS IN PAVED ROADS, EROSION CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, STORM DRAIN INLET PROTECTION, KEEPING ROADS CLEAN, AND CONTROLLING DUST.
20. ALL EARTHWORK ACTIVITIES SHALL COMPLY WITH THE BERGEN COUNTY SOIL CONSERVATION DISTRICT RULES AND REGULATIONS GOVERNING EROSION CONTROL.
21. ON-SITE SPACE FOR TRAILERS(S), EQUIPMENT STORAGE, STOCKPILING AND OTHER TEMPORARY CONSTRUCTION ACTIVITIES IS LIMITED. THE CONTRACTOR SHALL NOT EXTEND ACTIVITIES BEYOND THE LIMIT OF DISTURBANCE AS SHOWN ON THE SITE PLANS. THE CONTRACTOR SHALL RESTORE ALL AREAS WHICH ARE DISTURBED AS A RESULT OF HIS CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION ACTIVITIES. ADDITIONAL SPACE REQUIRED FOR TEMPORARY CONSTRUCTION ACTIVITIES SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER AND SUCH AREAS SHALL BE RESTORED AND CLEANED TO THE SATISFACTION OF THE OWNER.
22. WHERE PIPING IS LAID IN FILL OR DISTURBED EARTH AS A RESULT OF EXCAVATION FOR STRUCTURES, BEDDING, AS SHOWN ON DRAWINGS, DESIGNATED IN THE SPECIFICATIONS, OR APPROVED COMPACTED MATERIAL SHALL BE PROVIDED AND CARRIED TO UNDISTURBED EARTH.
23. UPON BACKFILLING, THE CONTRACTOR SHALL BROOM SWEEP STREETS, USE APPROPRIATE METHODS TO CONTROL DUST AND HOSE DOWN THE PAVEMENT TO KEEP SURFACES CLEAN. THE CONTRACTOR SHALL ABIDE BY ALL REQUIREMENTS OF THE BERGEN COUNTY CONSERVATION DISTRICT AND THE LOCAL MUNICIPALITY.
24. THE CONTRACTOR SHALL PROVIDE FITTINGS AS NECESSARY AT UTILITY CROSSINGS. ALL UTILITY CROSSINGS SHALL HAVE A MINIMUM OF 12 INCHES OF CLEARANCE BETWEEN THE NEW WATER MAIN AND THE EXISTING UTILITY (18 INCHES FOR SANITARY CROSSINGS) AND A MINIMUM OF 4 FEET OF COVER ON THE NEW WATER MAIN. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL DISTANCE BETWEEN NEW SANITARY SEWER AND NEW WATER MAIN OR SERVICES.
25. ALL VALVE BOXES LOCATED IN NON-PAVED AREAS SHALL RECEIVE AN 12" X 12" X 6" CONCRETE COLLAR AT GRADE.
26. DURING FLUSHING AND PRESSURE TESTING OF WATER MAINS, THE WATER COMPANY WILL OPERATE ALL VALVES, INCLUDING THE NEW VALVES INSTALLED ON THE SITE PIPING.

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MOTT MACDONALD

111 Wood Avenue South
Iselin NJ 08830-4112
United States of America
Certificate No. 24GA28016600

T +1 (800) 832 3272
F +1 (973) 376 1072
www.mottmacamericas.com

Client

VEOLIA WATER NEW JERSEY, INC.
200 LAKE SHORE DRIVE
HAWORTH, NJ 07641

Rev	Date	Drawn	Description	Ch'k'd	App'd

EUGENE C. DESTEFANO
NJ PROFESSIONAL ENGINEER LIC. No. 24GE038615

Date 4/4/23

Designed	A. WELAND		Eng check		
Drawn	A. WELAND		Coordination		
Dwg check	J. MOOLICK		Approved		

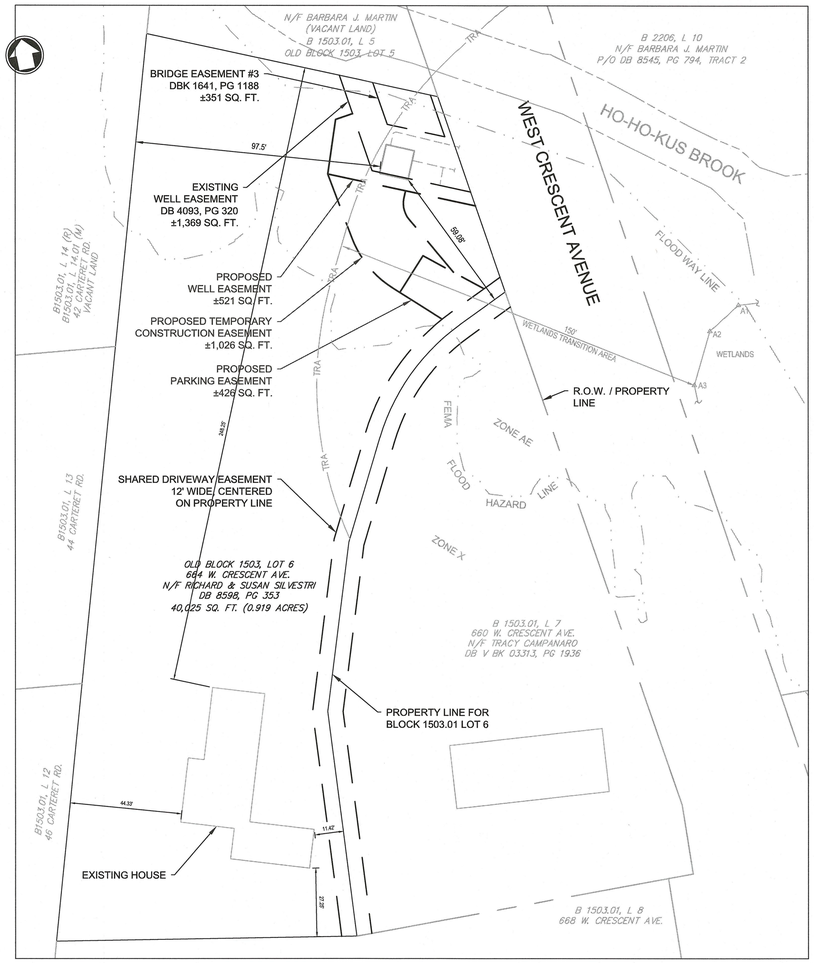
Scale at ANSI D	Status	Rev	Security
N.T.S.	PERMIT		STD

Project Number	B/O	Total	Drawing Number
507106510	2	12	G002

Title

ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
GENERAL
KEY MAP, GENERAL NOTES
& LEGEND

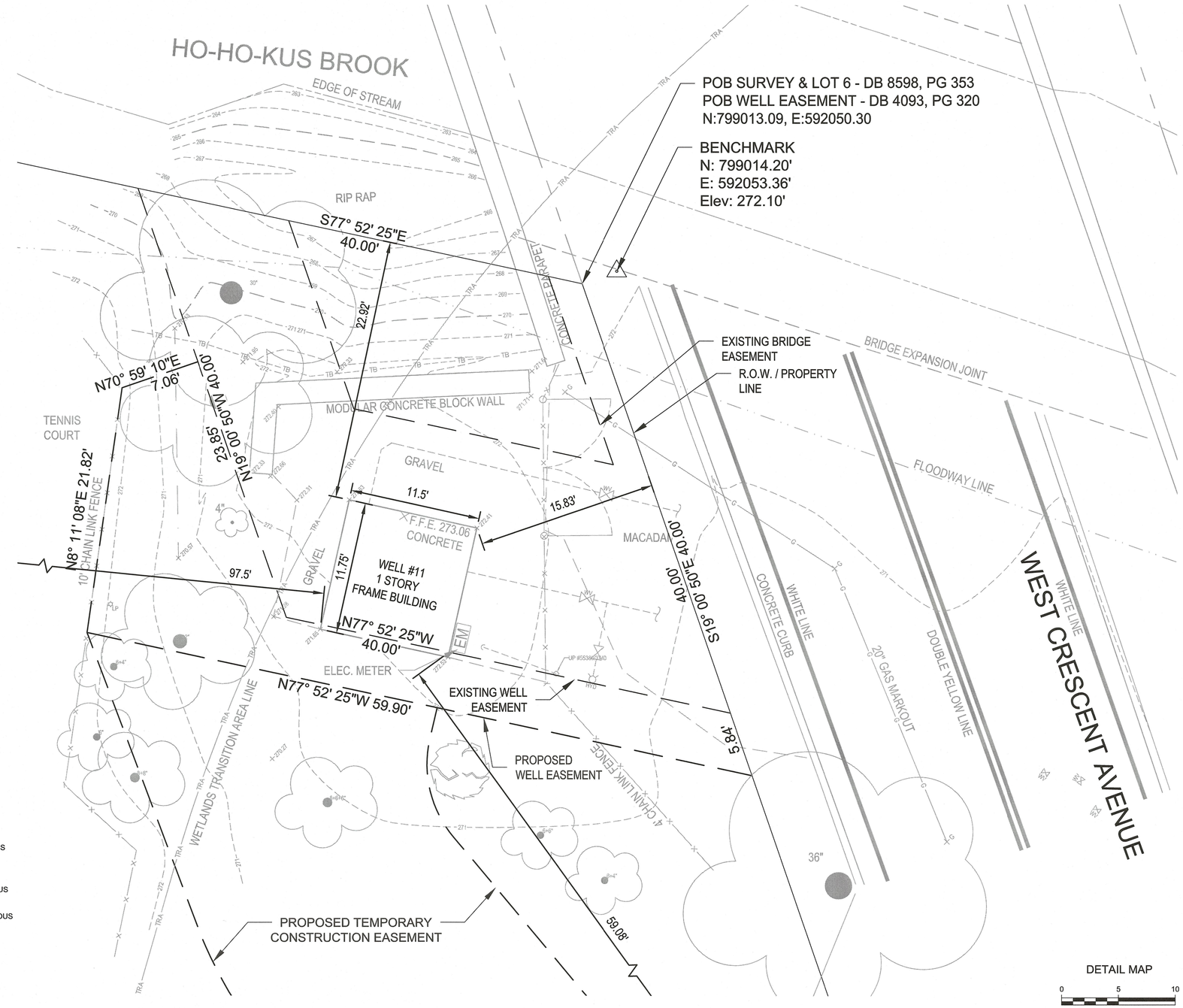
pw:\\mott-use-pw.bentley.com:mott-use-pw-14\Documents\507106510-VWNJ Allendale PFAS Temporary Treatment\Drawings_Models-Well 11\01_G_General\507106510-MMD-01-G002-SH-C
SAVE DATE/TIME: 3/21/2023 9:36:04 AM



AREA MAP

0 30 60

SCALE: 1" = 30'



DETAIL MAP

0 5 10

SCALE: 1" = 5'

SURVEY NOTES:

1. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED IN THE FIELD BY MOTT MACDONALD ON FEBRUARY 13, 2023.
2. RIGHT OF WAY AND PROPERTY LINES SHOWN HEREON ARE BASED UPON A SURVEY OF BLOCK 1503.01, LOT 16, PREPARED BY GARDELL LAND SURVEYING, LLC., FOR VEOLIA WATER NEW JERSEY, INC. DATED JANUARY 19, 2022 AND REVISED THROUGH JUNE 15, 2022.
3. THE HORIZONTAL COORDINATE SYSTEM IS THE NEW JERSEY STATE PLANE COORDINATE SYSTEM (NAD83) AND VERTICAL DATUM IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88); BOTH ESTABLISHED BY DIFFERENTIAL GPS ON FEBRUARY 13, 2023 FROM THE LEICA SMARTNET/NGS CORS NETWORK.
4. WETLANDS FLAGS SHOWN HEREON WERE DELINEATED BY MOTT MACDONALD.
5. ANY UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND OBSERVATIONS, UTILITY MARKING FOUND IN THE FIELD AND/OR INFORMATION SUPPLIED BY THE UTILITY COMPANIES. SINCE NO PHYSICAL LOCATION OF THE UNDERGROUND FACILITIES HAVE BEEN MADE BY THE UNDERSIGNED, NO GUARANTEE IS BEING MADE FOR THEIR COMPLETENESS OR ACCURACY.
6. THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO MAKE ANY DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF HAZARDOUS MATERIALS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF HAZARDOUS MATERIALS IS PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THESE MATTERS SEPARATE AND APART FROM THIS SURVEY.

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F +1 (973) 376 1072
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200 LAKE SHORE DRIVE
HAWORTH, NJ 07641

Rev	Date	Drawn	Description	Ch'k'd	App'd

EUGENE C. DESTEFANO
NJ PROFESSIONAL ENGINEER LIC. No. 24GE038615

Date 4/6/23

Project Number	B/O	Total
507106510	3	12

Designed	A. WELAND		Eng check		
Drawn	A. WELAND		Coordination		
Dwg check	J. MOOLICK		Approved		
Scale at ANSI D: As Shown	Status: PERMIT		Rev	Security: STD	
Drawing Number: C101					

Title

ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
CIVIL
EXISTING CONDITIONS PLAN

pw:\\mott-use-pw.bentley.com:mott-use-pw-14\Documents\507106510-VWNJ Allendale PFAS Temporary Treatment\Drawings_Models-Well 11\02_C_Civil\507106510-MMD-01-C101-SH-C
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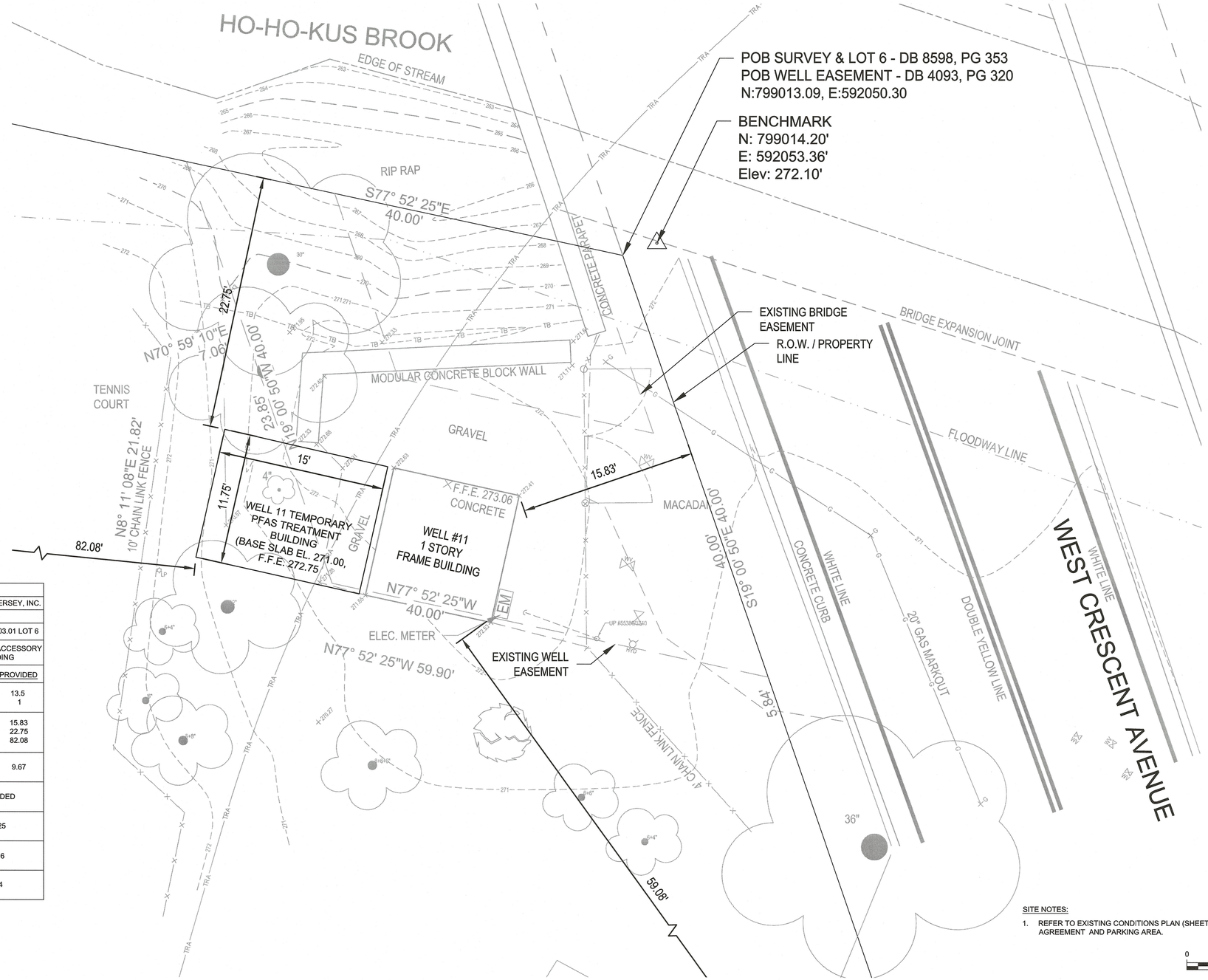

LEGEND

——TRA——	150-FOOT WETLANDS TRANSITION AREA
—TB—TB—	TOP OF BANK

ZONING SCHEDULE:

PROPOSED LAND USE: WATER TREATMENT FACILITY	
OWNER: VEOLIA WATER NEW JERSEY, INC.	APPLICANT: VEOLIA WATER NEW JERSEY, INC.
AREA OF SITE: 40,025 SQ. FT, 0.919 ACRES	
ZONE A-A: RESIDENTS ZONE DISTRICT	BLOCK 1503.01 LOT 6

CRITERIA		VARIANCE?	PRINCIPAL BUILDING (EXISTING HOUSE)		EXISTING ACCESSORY BUILDING		PROPOSED ACCESSORY BUILDING	
			EXISTING	PROVIDED	EXISTING	PROVIDED	REQUIRED	PROVIDED
HEIGHT OF PROPOSED BUILDING	(FEET)	NO	28	-	9.17	-	35	13.5
	(STORIES)	NO	2	-	1	-	2.5	1
PROPOSED BUILDING SET BACKS	FRONT YARD (FEET)	YES	11.42	-	15.83	-	40	15.83
	SIDE YARD (FEET)	NO	27.25	-	22.92	-	20	22.75
	REAR YARD (FEET)	NO	44.33	-	97.5	-	50	82.08
FLOOR AREA RATIO	(PERCENTAGE)	NO	8.89	-	0.34	-	<19	9.67
			REQUIRED		EXISTING		PROVIDED	
MAXIMUM LOT COVERAGE	AREA (SQUARE FEET)	NO	26,000		40,025		40,025	
MINIMUM LOT WIDTH	AVERAGE (FEET)	NO	130 - 200		148.6		148.6	
MAXIMUM COVERAGE	(PERCENTAGE)	YES	27.5		32.0		32.4	

NOTE:

1. PROPOSED PROVIDED FLOOR AREA RATIO INCLUDES EXISTING WELL 11 BUILDING, HOUSE IN SOUTH PORTION OF LOT (CAN BE SEEN ON DRAWING C101), AND NEW TEMPORARY PFAS TREATMENT BUILDING.
2. EXISTING IMPERVIOUS EXCEEDS 27.5% AND CANNOT MEET ZONING CRITERIA.

SITE NOTES:

1. REFER TO EXISTING CONDITIONS PLAN (SHEET C101) FOR LIMITS OF LICENSE AGREEMENT AND PARKING AREA.

0 5 10
SCALE: 1" = 5'

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Rev	Date	Drawn	Description	Ch'k'd	App'd

EUGENE C. DESTEFANO
NJ PROFESSIONAL ENGINEER LIC. No. 24GE038615
Date 4/6/23

Designed	A. WELAND		Eng check		
Drawn	A. WELAND		Coordination		
Dwg check	J. MOOLICK		Approved		
Scale at ANSI D 1" = 5'	Status PERMIT		Rev	Security STD	

Project Number	B/O	Total
507106510	4	12

Drawing Number PL 1.1

Title
ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
CIVIL
SITE PLAT

pw:\\mott-use-pw.bentley.com:mott-use-pw-14\Documents\507106510-VWNJ Allendale PFAS Temporary Treatment\Drawings_Models-Well 11\02_C_Civil\507106510-MMD-01-C102-SH-C
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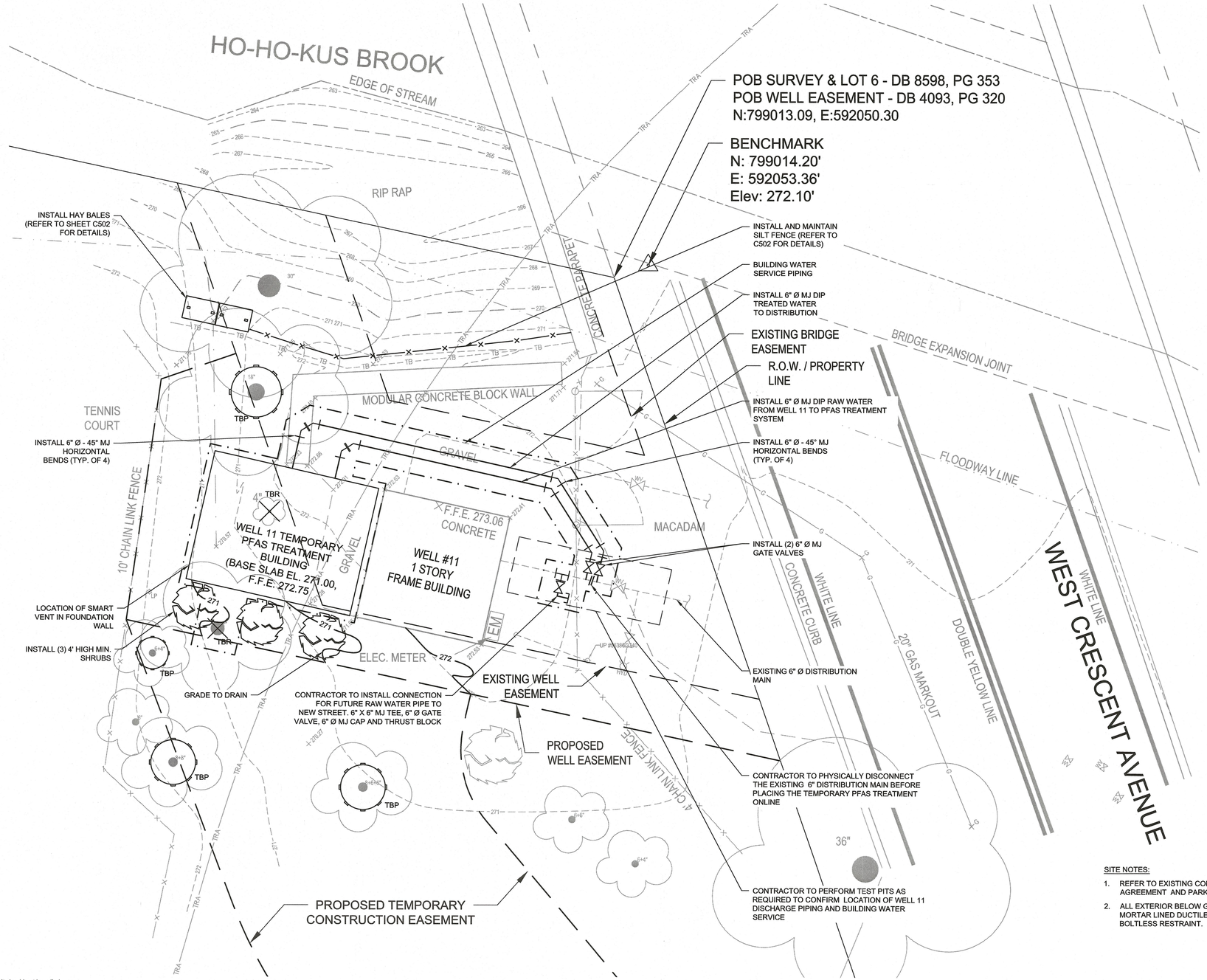

LEGEND

TRA	150-FOOT WETLANDS TRANSITION AREA
TB	TOP OF BANK
— · — · —	LIMIT OF DISTURBANCE
TBR	TREE TO BE REMOVED
TBP	TREE TO BE PROTECTED

FHA NOTES:

1. ELEVATIONS SHOWN ARE BASED ON N.A.V.D. 1988 IN FEET. TO CONVERT TO N.G.V.D. 1929, ADD 0.96 FT.
2. METHOD 3 FEMA FLUVIAL METHOD WAS USED TO DETERMINE THE FLOOD HAZARD AREA DESIGN FLOOD ELEVATION OF 75.0 FT NAVD88.
3. THE ENTIRE PROJECT AREA IS IN THE FLOOD HAZARD AREA AND IN THE RIPARIAN ZONE.
4. THE CONTRACTOR SHALL PREVENT THE EXPOSURE OF RAW CEMENT AND UNCURED CONCRETE TO FLOWING WATER.
5. STOCKPILE AREAS SHALL BE LOCATED EITHER IN ACTIVELY DISTURBED AREAS OR OUTSIDE OF THE RIPARIAN ZONE.
6. ALL DISTURBED AREAS IN THE FLOOD HAZARD SHALL BE RESTORED TO PRE-CONSTRUCTION TOPOGRAPHY UPON COMPLETION OF THE REGULATED ACTIVITY; ANY UTILITY LINE THAT CONVEYS A GAS OR LIQUID SHALL BE SEALED TO ENSURE THAT THERE WILL BE NO LEAKAGE OR DISCHARGE IN REGULATED AREAS.
7. ALL EXPOSED SOILS SHALL BE SEEDED WITH NATIVE SEED MIX SUCH AS ERNST EASTERN ECOTYPE NATIVE GRASS MIX OR EQUIVALENT IMMEDIATELY FOLLOWING CONSTRUCTION.
8. ANY EXCAVATED MATERIAL WILL BE REPLACED ON SITE OR DISPOSED OF LAWFULLY.

DESCRIPTION	AREA
NEW IMPERVIOUS AREA	180 SF
TOTAL LAND AREA DISTURBED	390 SF
RIPARIAN ZONE DISTRIBUTION	390 SF

SITE NOTES:

1. REFER TO EXISTING CONDITIONS PLAN (SHEET C101) FOR LIMITS OF LICENSE AGREEMENT AND PARKING AREA.
2. ALL EXTERIOR BELOW GRADE PIPING SHALL BE THICKNESS CLASS 54 CEMENT MORTAR LINED DUCTILE IRON (DI) PIPING WITH MECHANICAL JOINT OR BOLTLESS RESTRAINT.

0 5 10
SCALE: 1" = 5'

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Iselin NJ 08830-4112
United States of America
Certificate No. 24GA28016600

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F +1 (973) 376 1072
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200 LAKE SHORE DRIVE
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Rev	Date	Drawn	Description	Ch'k'd	App'd

EUGENE C. DESTEFANO
NJ PROFESSIONAL ENGINEER LIC. No. 24GE038615
Date 04/28/23

Designed	A. WELAND	Eng check	
Drawn	A. WELAND	Coordination	
Dwg check	J. MOOLICK	Approved	
Scale at ANSI D: 1" = 5'	Status: PERMIT	Rev	Security: STD

Project Number	B/O	Total	Drawing Number
507106510	5	12	C102

Title
ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
CIVIL
SITE PLAN

pw:\\nmott-use-pw.bentley.com:mott-use-pw-14\Documents\507106510-VWNJ Allendale PFAS Temporary Treatment\Drawings_Models-Well 11\02_C_Civil\507106510-MMD-01-C102-SH-C
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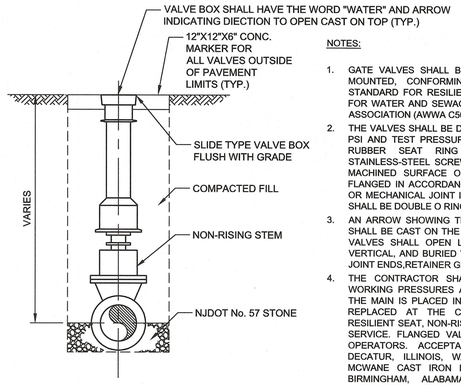
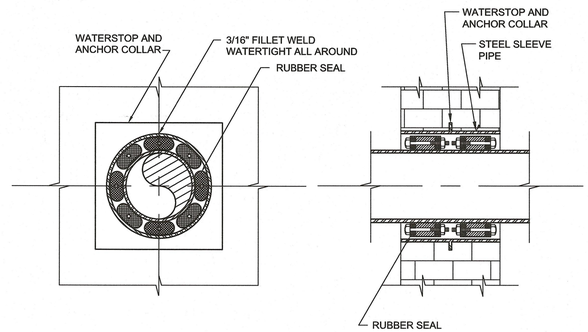


NOTES:

1. GATE VALVES SHALL BE IRON BODY, INSIDE SCREW, FULLY BRONZE MOUNTED, CONFORMING WITH THE REQUIREMENTS OF A.W.W.A. STANDARD FOR RESILIENT WEDGE GATE VALVES, 3 THROUGH 12 NPS, FOR WATER AND SEWAGE SYSTEMS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA C509).
2. THE VALVES SHALL BE DESIGNED FOR AN OPERATING PRESSURE OF 200 PSI AND TEST PRESSURES TO 400 PSI. THERE SHALL BE A RESILIENT RUBBER SEAT RING MOUNTED TO THE VALVE DISC WITH STAINLESS-STEEL SCREWS. THE RUBBER RING SHALL SEAT AGAINST A MACHINED SURFACE OF THE VALVE BODY. VALVE ENDS SHALL BE FLANGED IN ACCORDANCE WITH AWWA/ANSI C115/A21.15 OR ANSI B16.1 OR MECHANICAL JOINT IN ACCORDANCE WITH AWWA C111. STEM SEALS SHALL BE DOUBLE O RING STEM SEALS.
3. AN ARROW SHOWING THE DIRECTION OF OPENING AND WORD "OPEN" SHALL BE CAST ON THE FLANGE OF THE OPERATING NUT. BURIED GATE VALVES SHALL OPEN LEFT, COUNTERCLOCKWISE. VALVES SHALL BE VERTICAL, AND BURIED VALVES SHALL BE PROVIDED WITH MECHANICAL JOINT ENDS,RETAINER GLANDS, AND SQUARE OPERATING NUTS.
4. THE CONTRACTOR SHALL MAKE ALL VALVES TIGHT UNDER THEIR WORKING PRESSURES AFTER THEY HAVE BEEN PLACED AND BEFORE THE MAIN IS PLACED IN OPERATION. ANY DEFECTIVE PARTS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. VALVES SHALL BE RESILIENT SEAT, NON-RISING STEM, GATE VALVES SUITABLE FOR BURIED SERVICE. FLANGED VALVES SHALL BE PROVIDED WITH HAND-WHEEL OPERATORS. ACCEPTABLE MANUFACTURERS: MUELLER COMPANY, DECATUR, ILLINOIS, WATEROUS COMPANY, ST. PAUL, MINNESOTA, MCWANE CAST IRON PIPE CO. (CLOW AND M&H DIVISIONS ONLY) BIRMINGHAM, ALABAMA, UNITED STATES PIPE AND FOUNDRY, BURLINGTON, NEW JERSEY AND STOCKHAM VALVES AND FITTINGS, BIRMINGHAM, ALABAMA.

1 GATE VALVE INSTALLATION DETAIL
N.T.S.

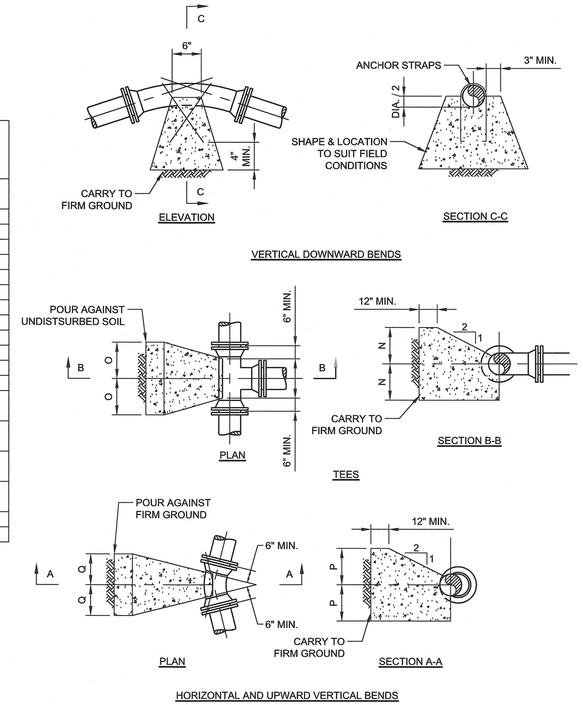


2 LINK-SEAL WALL/SLAB PENETRATION DETAIL
N.T.S.

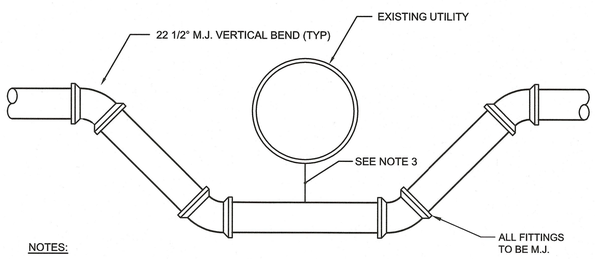
THRUST BLOCKS FOR TEES, HORIZ. & VERTICAL BENDS AND PLUGS THRUST BLOCKS DESIGNED FOR 150 LB. PER SQ. IN. TEST PRESSURE AND 2000 LB. PER SQ. FT. SOIL PRESSURE

	DESC.	DIM.	4"Ø	6"Ø	8"Ø	12"Ø
	TEES	N	0'-7"	1'-0"	1'-3"	1'-6"
		O	0'-7"	1'-4"	1'-10"	3'-3"
UPWARD HORIZ. & VERT. BENDS	90°	P	0'-9"	1'-0"	1'-3"	1'-6"
		Q	0'-9"	1'-4"	1'-10"	3'-3"
	45°	P	0'-7"	0'-9"	1'-0"	1'-3"
		Q	0'-7"	1'-0"	1'-3"	2'-2"
	22 1/2°	P	0'-5"	0'-6"	0'-9"	1'-0"
		Q	0'-5"	0'-9"	0'-11"	1'-4"
	11 1/4°	P	0'-4"	0'-5"	0'-6"	0'-8"
		Q	0'-4"	0'-6"	0'-8"	1'-1"
VERTICAL DOWNWARD BENDS	45°	*	0.6 CY	1.4 CY	2.5 CY	5.2 CY
	22 1/2°	*	0.3 CY	0.7 CY	1.3 CY	2.7 CY
	11 1/4°	*	0.2 CY	0.4 CY	0.7 CY	1.4 CY
	PLUGS	R	1'-2"	2'-0"	2'-6"	3'-0"
		S	1'-2"	2'-8"	3'-8"	6'-6"

* MIN. CONC. ANCHORAGE WITHOUT BACKFILL AND NO GROUND WATER CONDITION.



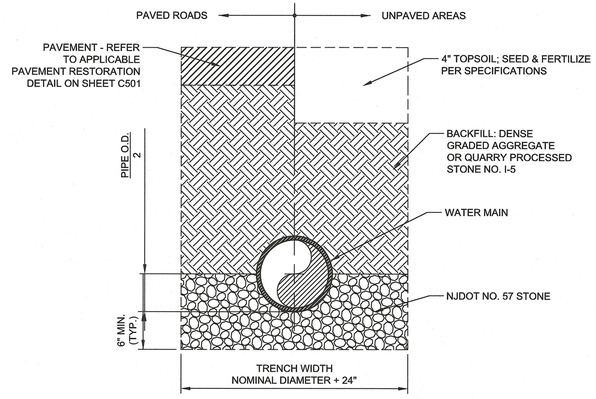
3 THRUST BLOCK DETAILS
N.T.S.



NOTES:

1. WATER MAIN MAY BE LOOPED ABOVE OBSTRUCTION IF 4' MINIMUM COVER IS MAINTAINED ABOVE MAIN.
2. WATER MAIN SHALL BE DUCTILE IRON CEMENT LINED PIPE. ALL JOINTS SHALL BE MECHANICAL JOINT.
3. ALL WATER MAINS AND SANITARY OR INDUSTRIAL SEWER LINES SHALL 3. BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (I.E., DUCTILE IRON OR REINFORCED CONCRETE PIPE), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.

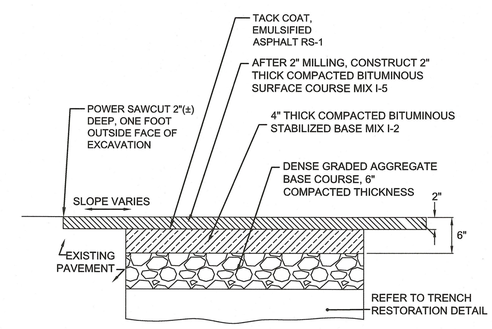
4 UTILITY BY-PASS DETAIL
N.T.S.



NOTES:

1. BACKFILL SHALL BE TAMPED MECHANICALLY IN 6" MAXIMUM LIFTS TO 95% DENSITY TO 12" ABOVE THE PIPE; FROM 12" ABOVE PIPE TO PAVEMENT OR GRADE. LIFTS SHALL NOT EXCEED 18". ALL BACKFILL SHALL BE COMPACTED TO 95% DENSITY (UNPAVED AREAS) OR 98% DENSITY (PAVED ROADS). AT A MINIMUM, THE CONTRACTOR SHALL UTILIZE A WALK BEHIND VIBRATORY COMPACTOR OR OTHER MECHANICAL MEANS TO ACHIEVE THE REQUIRED COMPACTION DENSITY. THE USE OF "JUMPING JACK" COMPACTORS AS THE SOLE MEANS OF COMPACTION WILL NOT BE ACCEPTED.

5 TRENCH RESTORATION DETAIL, DUCTILE IRON PIPE
N.T.S.



1. FOR WORK IN PAVED SHOULDERS, PAVEMENT RESTORATION SHALL BE FULL TRENCH WIDTH PLUS 1 FOOT ON EACH SIDE OF THE TRENCH.
2. FOR WORK IN ONE TRAVEL LANE, PAVEMENT SURFACE RESTORATION SHALL EXTEND FOR ONE-HALF THE ROAD WIDTH FOR A 2-LANE ROAD AND A FULL LANE WIDTH FOR MULTI-LANE ROAD.

6 PAVEMENT RESTORATION DETAIL
N.T.S.

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MOTT MACDONALD

111 Wood Avenue South
Iselin NJ 08830-4112
United States of America
Certificate No. 24GA28016600

T +1 (800) 832 3272
F +1 (973) 376 1072
www.mottmacamericas.com

Client
VEOLIA WATER NEW JERSEY, INC.
200 LAKE SHORE DRIVE
HAWORTH, NJ 07641

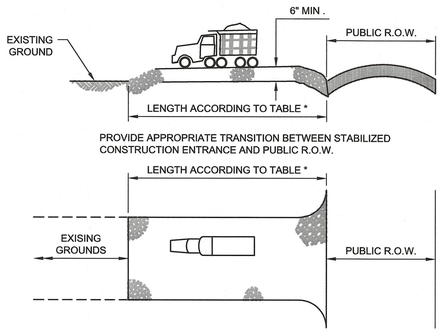
Rev	Date	Drawn	Description	Ch'k'd	App'd

EUGENE C. DESTEFANO
NJ PROFESSIONAL ENGINEER LIC. No. 24GE038615
Date 4/6/23

Designed	A. WELAND		Eng check		
Drawn	A. WELAND		Coordination		
Dwg check	J. MOOLICK		Approved		
Scale at ANSI D: N.T.S.	Status: PERMIT		Rev	Security: STD	

Project Number	B/O	Total	Drawing Number
507106510	6	12	C501

Title
ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
CIVIL
CONSTRUCTION DETAILS



*NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY (TYP.).

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
>5%	ENTIRE SURFACE STABILIZED WITH HOT MIX ASPHALT BASE COURSE, MIX I-2[1]	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

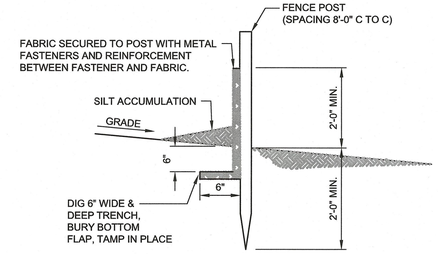
STABILIZED CONSTRUCTION ENTRANCE MAINTENANCE NOTES:

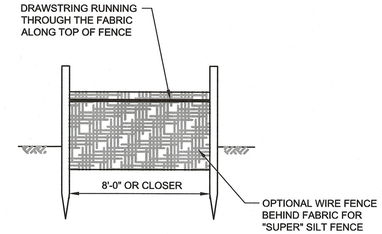
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTHS AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUS BE REMOVED IMMEDIATELY.

WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES. ALL OTHER ACCESS POINTS WHICH ARE NOT STABILIZED SHALL BE BLOCKED OFF.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

NTS



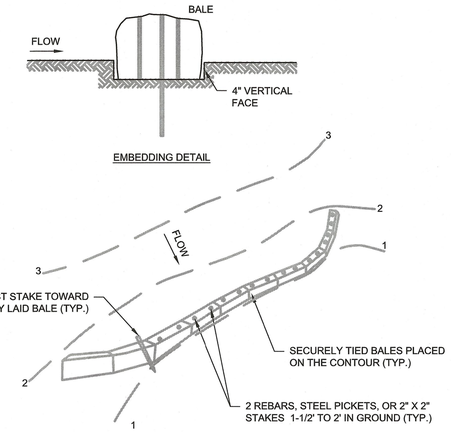


REQUIREMENTS FOR SILT FENCE:

1. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.
2. "SUPER" SILT FENCE - A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. POSTS MAY BE SPACED LESS THAN 8 FEET ON CENTER AND MAY BE CONSTRUCTED OF HEAVIER WOOD OR METAL AS NEEDED TO WITHSTAND HEAVIER SEDIMENT LOADING. THIS PRACTICE IS APPROPRIATE WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED. "SUPER" SILT FENCE IS NOT TO BE USED IN PLACE OF PROPERLY DESIGNED DIVERSIONS WHICH MAY BE NEEDED TO CONTROL SURFACE RUNOFF RATES AND VELOCITIES.
3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.
4. SILT FENCE TO BE INSPECTED REGULARLY AND AFTER ANY SIGNIFICANT RAINFALL.

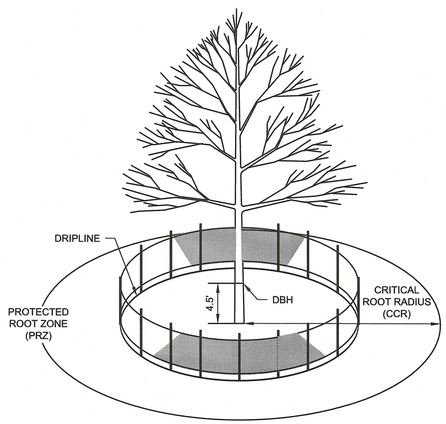
SILT FENCE DETAIL

NTS



PLACEMENT AND ANCHORING DETAIL BALE SEDIMENT BARRIERS

NTS



1. ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).

   MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.

   MULTIPLY THE MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

   DBH x 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES.

   DBH x 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES
2. ALL SPECIMEN TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL SNOW FENCING AT THE DRIP LINE OF EACH SPECIMEN TREE BEFORE WORKING IN THE VICINITY OF THE TREE, AS DIRECTED BY THE ENGINEER.
3. BOX TREES WITHIN 25 FEET OF A BUILDING SITE TO PREVENT MECHANICAL INJURY. FENCING OR OTHER BARRIER SHOULD BE INSTALLED BEYOND THE CRR. TREE ROOT SYSTEMS COMMONLY EXTEND WELL BEYOND THE DRIP LINE.
4. FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA INSIDE THE PRZ.
5. DAMAGED TRUNKS OR EXPOSED ROOTS SHOULD HAVE DAMAGED BARK REMOVED IMMEDIATELY AND NO PAINT SHALL BE APPLIED. EXPOSED ROOTS SHOULD BE COVERED WITH TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. ROOTS SHALL BE PRUNED TO GIVE A CLEAN, SHARP SURFACE AMENABLE TO HEALING. ROOTS EXPOSED DURING HOT WEATHER SHOULD BE IRRIGATED TO PREVENT PERMANENT TREE INJURY. CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A PROFESSIONAL FORESTER OR LICENSED TREE EXPERT.

TREE PROTECTION DURING CONSTRUCTION

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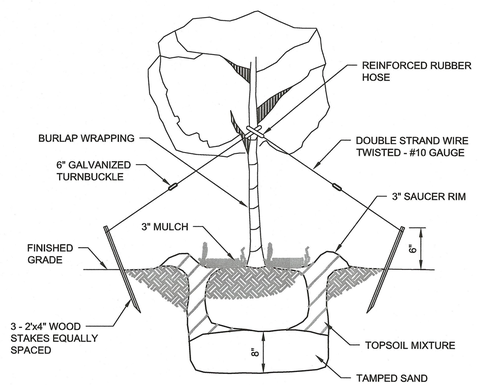
(SEE PAGES 9-1 THROUGH 9-9 FOR COMPLETE STANDARD FOR TREE PROTECTION DURING CONSTRUCTION)



TYPICAL TREE / SHRUB PLANTING DETAIL

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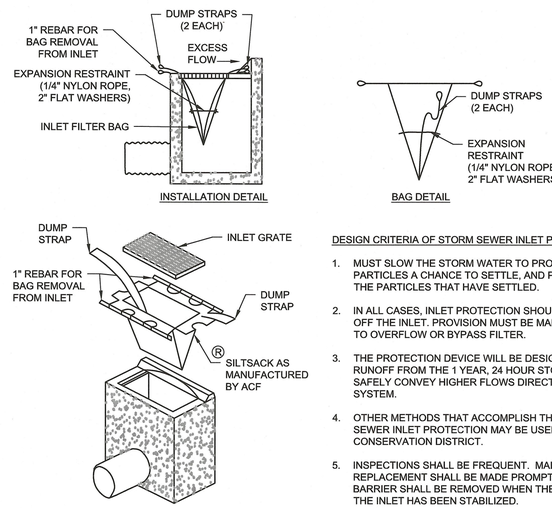

DESIGN CRITERIA OF STORM SEWER INLET PROTECTION:

1. MUST SLOW THE STORM WATER TO PROVIDE THE COARSE SEDIMENT PARTICLES A CHANCE TO SETTLE, AND PROVIDE AN AREA TO RETAIN THE PARTICLES THAT HAVE SETTLED.
2. IN ALL CASES, INLET PROTECTION SHOULD NOT COMPLETELY CLOSE OFF THE INLET. PROVISION MUST BE MADE TO ALLOW STORM WATER TO OVERFLOW OR BYPASS FILTER.
3. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
4. OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
5. INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARD THE INLET HAS BEEN STABILIZED.
6. THE CONTRACTOR SHALL INSTALL STORM SEWER INLET PROTECTION IN ACCORDANCE WITH THE SE&SC IN NJ, #28-1, JANUARY 2014.

INLET SEDIMENT CONTROL DEVICE DETAIL

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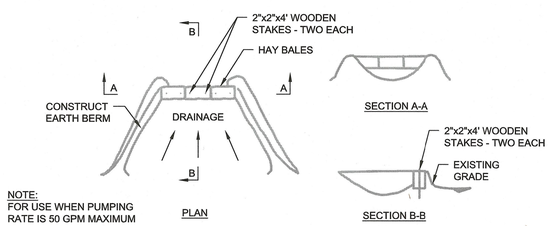
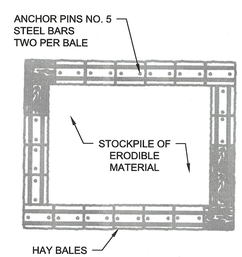


NOTE:
FOR USE WHEN PUMPING RATE IS 50 GPM MAXIMUM

SEDIMENT TRAP DETAIL FOR TRENCH DEWATERING OPERATIONS

NTS



NOTE:
SIDE SLOPES SHALL BE A MAXIMUM OF 2:1.
STOCKPILE SHALL BE SEEDED IMMEDIATELY.

MATERIAL STOCKPILE DETAIL

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MOTT MACDONALD

111 Wood Avenue South
Iselin NJ 08830-4112
United States of America
Certificate No. 24GA28016600

T +1 (800) 832 3272
F +1 (973) 376 1072
www.mottmacamericas.com

Client

VEOLIA WATER NEW JERSEY, INC.
200 LAKE SHORE DRIVE
HAWORTH, NJ 07641

Rev	Date	Drawn	Description	Ch'k'd	App'd

EUGENE C. DESTEFANO
NJ PROFESSIONAL ENGINEER LIC. No. 24GE038615

Date 4/6/23

Project Number	B/O	Total
507106510	7	12

Designed	A. WELAND		Eng check		
Drawn	A. WELAND		Coordination		
Dwg check	J. MOOLICK		Approved		

Scale at ANSI D	Status	Rev	Security
N.T.S.	PERMIT		STD

Drawing Number C502

Title
ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
CIVIL
SOIL EROSION AND SEDIMENT CONTROL DETAILS (SHEET 1 OF 3)

pw:\\mott-use-pw.bentley.com:mott-use-pw-14\Documents\507106510-VWNJ Allendale PFAS Temporary Treatment\Drawings_Models\02_C_Civil\507106510-MMD-00-C503-SH-C
SAVE DATE/TIME: 3/21/2023 10:31:07 AM

PERMANENT VEGETATIVE MIXTURES, PLANTING RATES AND PLANTING DATES[1]

SEED MIXTURE[2]	PLANTING RATE[3]		PLANTING DATES 0 = OPTIMAL PLANTING PERIOD A = ACCEPTABLE PLANTING PERIOD — PLANTING HARDINESS ZONES (SEE FIGURE 4-1)									MAINTANENCE LEVEL[4]	REMARKS
			ZONE 5b, 6a			ZONE 6b			ZONE 7a, 7b				
	lbs/acre	lbs/1000 sq. ft.	3/15 - 5/31	6/1 - 7/31	8/1 - 10/31	3/1 - 4/30	5/1 - 8/14	8/15 - 11/15	2/1 - 4/30	5/1 - 8/14	8/15 - 11/30		
WARM SEASON SEED MIXTURES													
1A. FOR PINELANDS NATIONAL RESERVE SEED MIXTURES SEE TABLE 4-4 PAGE 4-17			O			O			O				
1. SWITCHGRASS AND / OR COASTAL PANICGRASS PLUS OR FLATPEA	15 15 20	.35 .35 .45				O			O			C-D	
2. DEERTONGUE OR SWITCHGRASS REDTOP	15 20 1	.35 .45 .1	O			O			O			C-D	USE DEERTONGUE IF pH<4.0 SWITCHGRASS IS SUPERIOR WILDLIFE PLANT. USE FOR WATERWAYS. REDTOP PROVIDES QUICK COVER.
3. SWITCHGRASS DEERTONGUE LITTLE BLUESTEM SHEEP FESCUE PLUS PARTRIDGE PEA	15 10 20 20 10	.35 .25 .45 .45 .25	O			O			O			C-D	PINELANDS MIXTURE.
4. SWITCHGRASS BIG BLUESTEM LITTLE BLUESTEM SAND LOVEGRASS COASTAL PANICGRASS	10 5 5 4 10	.25 .10 .10 .10 .25	O			O			O			C-D	NATIVE WARM - SEASON MIXTURE.
5. BERMUDAGRASS ZOYSIAGRASS (SEED) ZOYSIAGRASS (SPRIGS)	15 30	.35 .70	O			O			O			A-D	BERMUDAGRASS HAS SUPERIOR SALT TOLERANCE. ZOYSIA HAS GREATER WEAR TOLERANCE.
COOL SEASON SEED MIXTURES													
6. FINE FESCUE (BLEND) HARD FESCUE CHEWING FESCUE STRONG CREEPING RED FESCUE KENTUCKY BLUEGRASS PERENNIAL RYEGRASS PLUS WHITE CLOVER (SEE NOTE AT RIGHT)	130 45 20 5	3 .1 .5 .10	A	A[5]	O	A	A[5]	O	A	A[5]	O	B-D	GENERAL LOW - MAINTENANCE MIXTURE. WHITE CLOVER CAN BE REMOVED WHEN USED TO ESTABLISH LAWNS.
7. STRONG CREEPING RED FESCUE KENTUCKY BLUEGRASS PERENNIAL RYEGRASS OR REDTOP PLUS WHITE CLOVER	130 50 20 10 5	3 1 .5 .25 .10	A	A[5]	O	A	A[5]	O	A	A[5]	O	B-D	SUITABLE WATERWAY MIX. CANADA BLUEGRASS MORE DROUGHT TOLERANT. USE REDTOP FOR INCREASED DROUGHT TOLERANCE.
8. TALL FESCUE (TURF-TYPE) OR STRONG CREEPING RED FESCUE OR PERENNIAL RYEGRASS FLATPEA	30 30 30 25	.7 .7 .7 .60	O	A[6]		O	A[6]		O	A[6]		B-D	TALL FESCUE BEST SELECTED FOR DROUGHTY CONDITIONS. USE CREEPING RED FESCUE IN HEAVY SHADE. USE FLATPEA TO SUPPRESS WOODY VEGETATION.
9. DEERTONGUE REDTOP WILD RYE (ELYMUS) SWITCHGRASS	20 2 15 25	.45 .05 .35 .60	O			O			O			C-D	NATIVE WET MIX.
10. TALL FESCUE (TURF-TYPE) PERENNIAL RYEGRASS OR WHITE CLOVER (SEE NOTE AT RIGHT)	265 20 5	6 5 .10	O	A[5]	A[5]	O	A[5]	A[5]	O	A[5]	A[5]	C-D	WHITE CLOVER CAN BE EXCLUDED ON LAWN SITES.
11. KENTUCKY BLUEGRASS TURF-TYPE TALL FESCUE	45 22	1 5	A	A[5]	O	A	A[5]	O	A	A[5]	O	C-D	FILTER STRIP USE FOR NUTRIENT UPTAKE.
12. TURF-TYPE TALL FESCUE (BLEND OF 3 CULTIVARS)	350	8	A	A[5]	O	A	A[5]	O	A	A[5]	O	C-D	USE IN A MANAGED FILTER STRIP FOR NUTRIENT UPTAKE.
13. HARD FESCUE AND / OR CHEWING FESCUE AND / OR STRONG CREEPING RED FESCUE PERENNIAL RYEGRASS KY. BLUEGRASS (BLEND)	175 45 45	4 1 1	A	A[5]	O	A	A[5]	O	A	A[5]	O	A-C	GENERAL LAWN/RECREATION.
14. TALL FESCUE KY. BLUEGRASS (BLEND) PERENNIAL RYEGRASS (BLEND)	265 20 20	6 .50 .50	A	A[5]	O	A	A[5]	O	A	A[5]	O	A-B	ATHLETIC FIELD/3 CULTIVARS MIX OF KENTUCKY BLUEGRASS.
15. HARD FESCUE CHEWING FESCUE STRONG CREEPING RED FESCUE PERENNIAL RYEGRASS	130 45 45 10	3 1 1 .25	A	A[5]	O	A	A[5]	O	A	A[5]	O	C-D	LOW MAINTENANCE FINE FESCUE LAWN MIX.
16. ROUGH BLUEGRASS STRONG CREEPING RED FESCUE	90 130	2.0 3	A	A[5]	O	A	A[5]	O	A	A[5]	O	C-D	MOIST SHADE.
17. CREEPING BENTGRASS CREEPING RED FESCUE ALKALI SALTGRASS	45 45 45	1 1 1	A	A[5]	O	A	A[5]	O	A	A[5]	O	B-D	USE BENTGRASS UNDER WATER CONDITIONS. SALTGRASS WILL ONLY PERSISTENT UNDER SALINE CONDITIONS.
18. HARD OR SHEEPS FESUE N.E. WILDFLOWER MIXTURE	25 12	0.60 0.35	O	A	O	O	A	O	O	A	O	C-D	REGIONAL WILDFLOWER MIX HYDROSEEDING NOT RECOMMENDED.
19. a. SMOOTH CORDGRASS b. SALTMEADOW CORDGRASS	VEG. VEG.					O	BEFORE JULY 1		O	BEFORE JULY 1		D	PLANTED IN THE INTERTIDAL ZONE. PLANTED ABOVE MEAN HIGHT TIDE.
20. AMERICAN BEACHGRASS COASTAL PANICGRASS	VEG. 20	.45				BEFORE APRIL 1			O			D	COASTAL PANICGRASS MAY BE INTERSEEDED BETWEEN ROWS OF BEACHGRASS
21. a. PURPLEOSIER WILLOW b. DWARF WILLOW c. REDOSIER DOGWOOD d. SILKY DOGWOOD	VEG. VEG. VEG. VEG.		BEFORE MAY 10			BEFORE MAY 10			BEFORE MAY 1			D	ALSO REFER TO CHAPTERS 16 AND 18 OF USDA NRCS ENGINEERING FIELD HANDBOOK.

BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTTED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
4. STABILIZATION SPECIFICATIONS:

A. TEMPORARY SEEDING AND MULCHING:

GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11LBS. /1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".

SEED - PERENNIAL RYEGRASS 100 LBS. /ACRE (2.3 LBS. /1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS. /1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

B. PERMANENT SEEDING AND MULCHING:

TOPSOIL – A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED.
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS. /1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS. /ACRE (8 LBS. /1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDING REQUIRES IRRIGATION)
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS. /1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

5. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
8. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2½" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
10. DRIVEWAYS MUST BE STABILIZED WITH 1" - 2½" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTOF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28 -1 OF THE NJ STANDARDS.
13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
18. ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE: BERGEN COUNTY SCD, 700 KINDERKAMACK ROAD, SUITE 106, ORADELL, NJ 07649. TEL: 201-261-4407; FAX 201-261-7573.
21. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
22. THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.
REVISED 12/7/17

STABILIZATION SPECIFICATIONS

SEEDING AND MULCHING (MINIMUM STANDARDS):

- LIME - 90 LBS / 1,000 S.F. GROUND LIMESTONE; FERTILIZER - 14 LBS / 1,000 S.F.; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".

- SEED - SEED MIXTURE PER TABLE 4-3 (STANDARD FOR SOIL EROSION SEDIMENT CONTROL IN NEW JERSEY) AS SHOWN ON THIS DRAWING; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.

- MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS / 1,000 S.F.; TO BE APPLIED ACCORDING TO THE NJ STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (i.e. PEG AND TWINE, MULCH NETTING, OR LIQUID BINDER).

SEQUENCE OF CONSTRUCTION	APPROX. DURATION OF ACTIVITY
1. MOBILIZATION	1 DAY
2. INSTALLATION OF EROSION CONTROL MEASURES	1 DAY
3. INSTALLATION OF TRAFFIC CONTROL DEVICES IN APPROVED WORK AREAS	1 DAY
4. INSTALLATION OF WATER MAINS AND APPURTENANCES, BACKFILLING AND TEMPORARY PAVEMENT	7 DAYS
5. HYDROSTATIC PRESSURE TESTING AND DISINFECTION OF WATER MAINS	1 DAY
6. RESTORATION OF UNPAVED AREAS AT REGULAR INTERVALS AS APPROVED BY THE ENGINEER	2 DAYS
7. FINAL PAVEMENT RESTORATION	1 DAY

GENERAL NOTES:

IN ALL AREAS WHERE THE WORK IS OUTSIDE OF PAVED ROADS, THE CONTRACTOR SHALL INSTALL AND MAINTAIN APPROPRIATE SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE DETAILS ON THE DRAWINGS, REGARDLESS OF WHETHER OR NOT THE LOCATION OF SUCH MEASURES ARE SPECIFICALLY SHOWN ON THE PLANS. SUCH MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SILT FENCES ALONG THE PERIMETER OF DISTURBED AREAS AND AROUND MATERIAL STOCKPILES, AND STONE CONSTRUCTION ENTRANCE PADS AT POINTS OF MAJOR INGRESS AND EGRESS FROM PAVED ROADS TO UNPAVED AREAS.

WHERE WORK IS IN PAVED ROADS, EROSION CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO STORM DRAIN INLET PROTECTION, KEEPING ROADS CLEAN, AND CONTROLLING DUST.

BERGEN COUNTY SOIL CONSERVATION DISTRICT

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MOTT MACDONALD

111 Wood Avenue South
Iselin NJ 08830-4112
United States of America
Certificate No. 24GA28016600

T +1 (800) 832 3272
F +1 (973) 376 1072
www.mottmacamericas.com

Client
VEOLIA WATER NEW JERSEY, INC.
200 LAKE SHORE DRIVE
HAWORTH, NJ 07641

Rev	Date	Drawn	Description	Ch'k'd	App'd

EUGENE C. DESTEFANO
NJ PROFESSIONAL ENGINEER LIC. No. 24GE038615
Date 4/04/23

Designed	A. WELAND		Eng check		
Drawn	A. WELAND		Coordination		
Dwg check	J. MOOLICK		Approved		
Scale at ANSI D: N.T.S.	Status: PERMIT		Rev	Security: STD	
Project Number: 507106510	B/O: 8	Total: 12	Drawing Number: C503		

Title
ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
CIVIL
SOIL EROSION AND SEDIMENT CONTROL DETAILS (SHEET 2 OF 3)

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.

3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.

4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

A. PROBING WIRE TEST (SEE DETAIL)
B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
C .TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED
D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

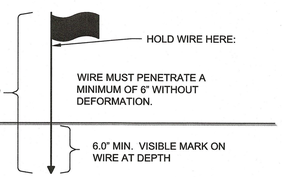
PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

SIMPLIFIED TESTING METHODS:

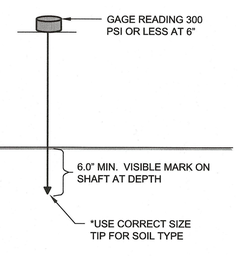
PROBING WIRE TEST - 15.5 GA STEEL WIRE (SURVEY FLAG)

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.



HANDHELD SOIL PENETROMETER TEST

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE MUST PENETRATE AT LEAST 6" WITH LESS THAN 300 PSI READING ON THE GAUGE.



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BERGEN COUNTY SOIL CONSERVATION DISTRICT

MOTT MACDONALD

111 Wood Avenue South
Iselin NJ 08830-4112
United States of America
Certificate No. 24GA28016600

T +1 (800) 832 3272
F +1 (973) 376 1072
www.mottmacamericas.com

Client
VEOLIA WATER NEW JERSEY, INC.
200 LAKE SHORE DRIVE
HAWORTH, NJ 07641

Rev	Date	Drawn	Description	Ch'k'd	App'd

EUGENE C. DESTEFANO
NJ PROFESSIONAL ENGINEER LIC. No. 24GE038615
Date 4/4/23

Designed	A. WELAND		Eng check		
Drawn	A. WELAND		Coordination		
Dwg check	J. MOOLICK		Approved		
Scale at ANSI D: N.T.S.	Status: PERMIT		Rev	Security: STD	

Project Number	B/O	Total
507106510	9	12

Drawing Number: C504

Title
ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
CIVIL
SOIL EROSION AND SEDIMENT CONTROL DETAILS (SHEET 3 OF 3)

pw:\\mott-use-pw.bentley.com:mott-use-pw-14\Documents\507106510-VWNJ Allendale PFAS Temporary Treatment\Drawings_Models\02_C_Civil\507106510-MMD-00-C505-SH-C
SAVE DATE/TIME: 3/21/2023 9:49:56 AM

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MOTT MACDONALD

Certificate No. 24GA28016600

111 Wood Avenue
Suite 500
Iselin, New Jersey 08830-1005
United States

T- + 973-397-3400
F- + 973-376-1072
www.mottmacamericas.com

Client

VEOLIA WATER NEW JERSEY, INC
200 LAKES SHORE DRIVE
HAWORTH, NJ 07641

Rev	Date	Drawn	Description	Ch'k'd	App'd

ANTHONY F. PEDRO
Professional Engineer Lic. NO. GE37905

Digitally signed by Anthony F. Pedro NJ Signature and Seal
Date: 2023.04.05 14:13:46-04'00'

Project Number	B/O	Total
507106510	10	12

Designed	S. CASANO	Designer	Eng check		Checker
Drawn	R. KENKARE	Author	Coordination		
Dwg check	P.BASTARDO		Approved		Approver
Scale		Status: PERMIT	Rev	Security: STD	

Drawing Number: A100

Title: ALLENDALE WELL 11 TEMPORARY PFAS TREATMENT ARCHITECTURAL RENDERING

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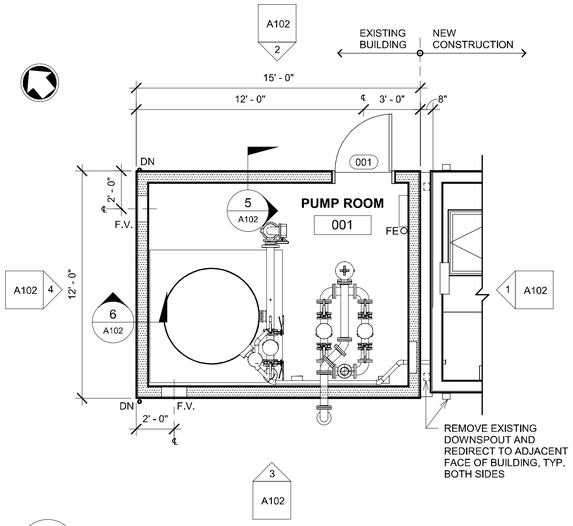
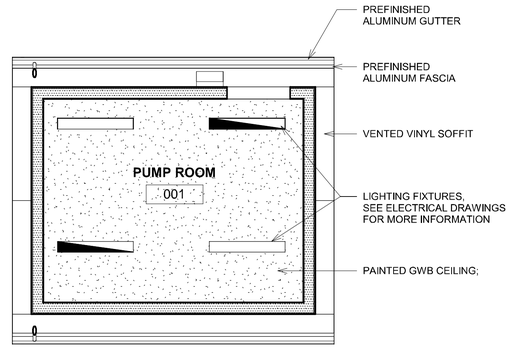
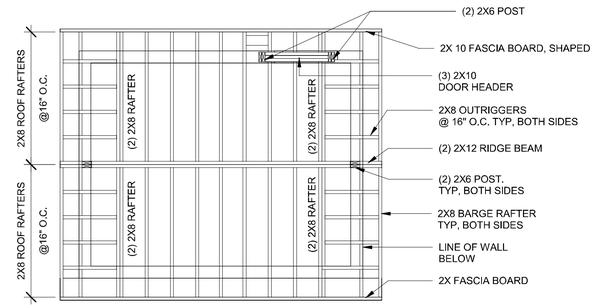


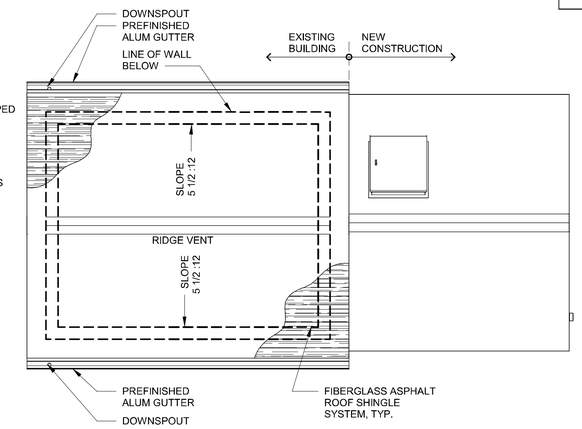
2 A101 FLOOR PLAN
SCALE: 1/4" = 1'-0"



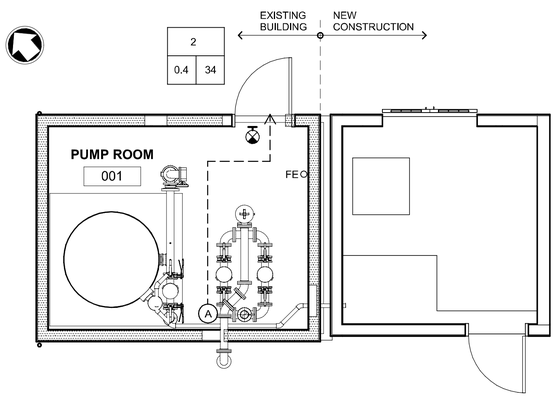
3 A101 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



4 A101 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



5 A101 ROOF PLAN
SCALE: 1/4" = 1'-0"



1 A101 EGRESS PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

Mark	Width	Height	Thickness	Door Material	Door Finish	Frame Material	Frame Finish	Hardware Set	Comments
001	3' - 0"	7' - 0"	1 3/4"	HM	PT	HM	PT	HW-1	

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR FINISH	BASE	WALL FINISH	CEILING MATERIAL	CEILING HEIGHT	COMMENTS
PUMP ROOM	CONC, BROOM FINISH	VINYL, COVE	PAINTED	GWB , PAINTED	7' - 11 3/8"	

CODE ANALYSIS

APPLICABLE CODES
2021 INTERNATIONAL BUILDING CODE - NJ EDITION
2021 NATIONAL STANDARD PLUMBING CODE
2020 NATIONAL ELECTRICAL CODE - NFPA 70
2021 INTERNATIONAL MECHANICAL CODE
2019 ASHRAE 90.1 ENERGY SUBCODE
2017 ICC/ANSI A117.1 BARRIER FREE SUBCODE

USE GROUP F-1
CONSTRUCTION TYPE VB NON-SPRINKLERED

ALLOWABLE HEIGHT IN ACCORDANCE WITH TABLE 504.3 (504.4)

ALLOWABLE HEIGHT 40 FEET (1 STORY)
ACTUAL HEIGHT 13.5 FEET (1 STORY)

ALLOWABLE AREA IN ACCORDANCE WITH TABLE 506.2
AS CALCULATED IN ACCORDANCE WITH 506.2.1 (EQUATION 5-1)

Aa = At + (NS x If) (EQUATION 5-1)
Aa = ALLOWABLE AREA
At = TABULAR ALLOWABLE AREA FACTOR
NS = TABULAR ALLOWABLE AREA FACTOR
If = AREA FACTOR INCREASE DUE TO FRONTAGE

ALLOWABLE AREA (Aa) = 8,500 + (8,500 X0) = 8,500 SF
ACTUAL AREA: 177 SF

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS - TABLE 601

PRIMARY STRUCTURAL FRAME	0 HR
INTERIOR BEARING WALLS	0 HR
EXTERIOR BEARING WALLS	PER TABLE 705,5: SEE BELOW
EXTERIOR NONBEARING WALLS AND PARTITIONS	PER TABLE 705,5: SEE BELOW
INTERIOR NONBEARING WALLS AND PARTITIONS	0 HR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HR

MINIMUM DISTANCE OF PROJECTION - TABLE 705.2

	ALLOWED	PROVIDED
NORTH WALL	40 INCHES	12 INCHES
SOUTH WALL	40 INCHES	12 INCHES
EAST WALL	40 INCHES	12 INCHES
WEST WALL	40 INCHES	12 INCHES

FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE - TABLE 705.5

NORTH WALL	0-HR - 10<=X<30 FEET
WEST WALL	0-HR - X>=30 FEET
SOUTH WALL	0-HR - X>=30 FEET
EAST WALL	0-HR - 10<=X<30 FEET

MAXIMUM AREA OF EXTERIOR WALL OPENINGS - TABLE 705.8
FIRE SEPARATION DISTANCES AND DEGREE OF OPENING PROTECTION

UNPROTECTED - NONSPRINKLERED		ALLOWED	PROVIDED
NORTH WALL	20 TO LESS THAN 25 FEET	45%	17%
WEST WALL	30 FEET OR GREATER	NO LIMIT	1%
SOUTH WALL	30 FEET OR GREATER	NO LIMIT	1%
EAST WALL	15 TO LESS THAN 20 FEET	25%	NONE

BUILDINGS ON THE SAME LOT PER SECTION 705.3
EXCEPTION 1: THE TWO BUILDINGS SHALL BE CONSIDERED AS PORTIONS OF ONE BUILDING
AGGREGATE AREA: 177 SF + 134 SF = 311 SF < TABULAR AREA OF 8,500 SF

FIRE EXTINGUISHER SCHEDULE
NATIONAL FIRE PROTECTION ASSOCIATION CODE - NFPA 70

TOTAL FLOOR AREA	AREA PER F.E.	TOTAL F.E. REQUIRED	TOTAL F.E. PROVIDED
177 SF	6,000 SF	1	1

MAX. OCCUPANT LOAD AS CALCULATED PER FLOOR AREA ALLOWANCES PER OCCUPANT - TABLE 1004.5
SEE EGRESS PLAN

SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY PER TABLE 1006.2.1		
ONE EXIT ALLOWED FOR OCCUPANCY F-1 WITH A MAXIMUM OCCUPANCY LOAD OF 49 AND A MAXIMUM TRAVEL DISTANCE OF 75 FEET		
POINT	MAX TRAVEL DISTANCE TO EXIT PROVIDED (FT)	OCCUPANT LOAD
A	14	2

TABULATION OF PLUMBING FIXTURES PER NATIONAL STANDARD PLUMBING CODE TABLE 7.21.1
THE INTENDED USE OF THE BUILDING IS TO HOUSE PROCESSING EQUIPMENT. THE STAFF WILL MAINTAIN AND TEST THE EQUIPMENT PERIODICALLY. THE BUILDING IS NOT INTENDED TO BE OCCUPIED ON A CONTINUAL BASIS; THEREFORE, NO PLUMBING FIXTURES HAVE BEEN PROVIDED.

ATTIC VENTILATION REQUIREMENTS PER IBC SECTION 1202.2.1

NET FREE VENTILATION AREA
RIDGE VENT: 18 SQUARE INCHES (SI) PER LINEAR FT. (LF)
EAVE VENT: 10 SQUARE INCHES PER LINEAR FT.

REQUIRED: ATTIC AREA OF 177 SF/150 = 1.18 SF

PROVIDED
RIDGE VENT: 13.83 LF X 18 SI = 249/144 = 1.73 SF
EAVE VENT: 27.66 LF X 10 SI = 277/144 = 1.92 SF
1.77 SF + 1.92 SF = 3.69 > 1.18 SF

LEGEND

- EGRESS PATH
- (X) TRAVEL DISTANCE PATH
- (XXX) DOOR TAG
- FE FIRE EXTINGUISHER UL RATED 2A:10B:C FIRE EXTINGUISHERS MOUNTED ON WALL OR STRUCTURE PER NFPA 10
- DN PREFINISHED ALUMINUM DOWNSPOUT
- EMERGENCY EXIT SIGN, SEE ELECTRICAL DWGS
- 2X6 WOOD STUD WALL
- EXISTING WALL TO REMAIN
- ℄ CENTER LINE

EGRESS DOOR/ STAIR WIDTH

- XX — OCCUPANT LOAD
- XX XX — NET CLEAR EGRESS WIDTH PROVIDED (INCHES)
- NET CLEAR EGRESS WIDTH REQ. (INCHES)

SYMBOLS

- X AXXX — NUMBER IDENTIFICATION; DRAWING NUMBER WHERE REFERENCE IS LOCATED — ELEVATION
- X X — LETTER IDENTIFICATION; DRAWING NUMBER WHERE REFERENCE IS LOCATED — SECTION
- X X — LETTER IDENTIFICATION; DRAWING NUMBER WHERE DETAIL IS LOCATED — DETAIL

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS. WHERE SUCH CODES, RULES AND REGULATIONS ARE AT VARIANCE WITH THE PLANS AND NOTES, SAID CODES, RULES AND REGULATIONS, ETC. SHALL TAKE PRECEDENCE OVER THE PLANS AND NOTES.
2. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES AND REGULATIONS AND PAYING FOR AND OBTAINING ALL NECESSARY AND REQUIRED INSPECTIONS, APPROVALS AND PERMITS, NECESSARY TO PERFORM ALL WORK AND SERVICES HEREIN NOTED OR INDICATED ON THE DRAWINGS.
3. ALL WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE NOISE, DUST, OR DISTURBANCE TO ADJACENT SITES OR BUILDINGS.
4. THE CONTRACTOR SHALL PROVIDE PROTECTION FOR THE GENERAL PUBLIC AND CONSTRUCTION WORKERS IN AND AROUND THE CONSTRUCTION SITE. ADEQUATE BARRIERS SHALL BE PROVIDED TO EXERCISE CONTROL OF SAFE INGRESS AND EGRESS OF PREMISES.
5. DETAILS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYP." IMPLY ALL CONDITIONS TREATED SIMILARLY.
6. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
7. THE CONTRACTOR MUST FULLY INFORM HIMSELF OF THE CONDITIONS RELATING TO THE CONSTRUCTION AND LABOR UNDER WHICH THE WORK WILL BE PERFORMED AND COMPARE THE DRAWINGS AND SPECIFICATIONS WITH THE WORK IN PLACE. FAILURE TO DO SO WILL NOT RELIEVE CONTRACTOR OF HIS OBLIGATIONS TO FURNISH ALL LABOR AND MATERIAL NECESSARY TO CARRY OUT THE PROVISIONS OF THE CONTRACT DOCUMENTS AND TO COMPLETE THE CONTEMPLATED WORK FOR THE CONSIDERATION SET FORTH IN HIS BID. EACH CONTRACTOR, IN THE CARRYING OUT OF HIS WORK, SHALL EMPLOY SUCH METHODS OR MEANS THAT WILL NOT CAUSE ANY INTERRUPTIONS OR INTERFERENCE WITHIN THE WORK OF ANY OTHER.
8. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF ALL STATE AND LOCAL BUILDING CODES, OSHA, AND ALL OTHER AGENCIES HAVING JURISDICTION, AND EXCEPT AS MODIFIED HEREIN, TO THE PUBLISHED SPECIFICATIONS AND RECOMMENDED PRACTICES OF THE MANUFACTURERS AND THE APPROPRIATE APPLICABLE STANDARDS.

ABBREVIATIONS

A.F.F	ABOVE FINISHED FLOOR	FIN.FL.LVL.	FINISHED FLOOR LEVEL	STL	STEEL
A.F.G.	ABOVE FINISHED GRADE	FRP	FIBER REINFORCED PLASTIC	SF	SQUARE FEET
ALUM	ALUMINUM	F.V.	FLOOD VENT	T.O.	TOP OF
APPROX	APPROXIMATELY	GA	GAUGE	TYP	TYPICAL
C.J.	CONTROL JOINT	GAL	GALLONS	THK	THICK
CMU	CONCRETE MASONRY UNIT	GALV	GALVANIZED	UH	UNIT HEATER
CONC	CONCRETE	GWB	GYPSUM WALL BOARD	UL	UNDERWRITER'S LABORATORY
CONT	CONTINUOUS	H.P.	HIGH POINT		
D	DEEP	HM	HOLLOW METAL	V	VENT
DIA	DIAMETER	HORIZ	HORIZONTAL	W	WIDE
DIM	DIMENSION	HR	HOUR	W/	WITH
D.S.	DOWNSPOUT	HW	HARDWARE	W/O	WITHOUT
DWGS	DRAWINGS	L	LEADER	Ø	DIAMETER
EA	EACH	L.P.	LOW POINT	@	AT
EF	EXHAUST FAN	LBS	POUNDS	&	AND
E.J.	EXPANSION JOINT	MAX	MAXIMUM	C	CENTERLINE
ELEV	ELEVATION	MECH	MECHANICAL	#	NUMBER
ETC.	ETCETERA	MIN	MINIMUM	±	PLUS-MINUS
EUH	ELECTRIC UNIT HEATER	M.O.	MASONRY OPENING		
EQ	EQUAL	NO	NUMBER		
F	FLUE	O.C.	ON CENTER		
FCU	FAN COILED UNIT	O.H.	OPPOSITE HAND		
		SS	STAINLESS STEEL		

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MOTT MACDONALD
Certificate No. 24GA28016600

111 Wood Avenue
Suite 500
Iselin, New Jersey 08830-1005
United States

T- + 973-397-3400
F- + 973-376-1072
www.mottmacamericas.com

Client
VEOLIA WATER NEW JERSEY, INC
200 LAKES SHORE DRIVE
HAWORTH, NJ 07641

Rev	Date	Drawn	Description	Ch'k'd	App'd

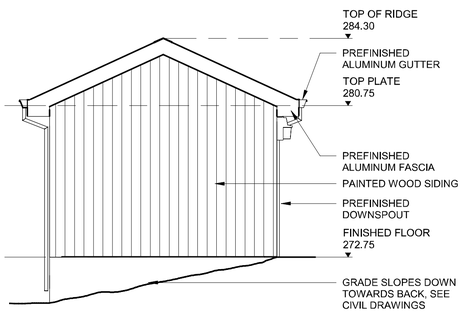
ANTHONY F. PEDRO
Professional Engineer Lic. NO. GE37905
Digitally signed by Anthony F. Pedro NJ Signature and Seal
Date: 2023.04.05 14:14:25-04'00'

Designed		Designer	Eng check		Checker
Drawn		Author	Coordination		
Dwg check			Approved		Approver

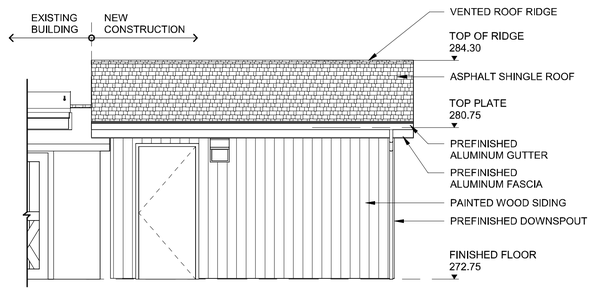
Scale	Status	Rev	Security
1/4"=1-0"	PERMIT		STD

Project Number	B/O	Total	Drawing Number
507106510	11	12	A101

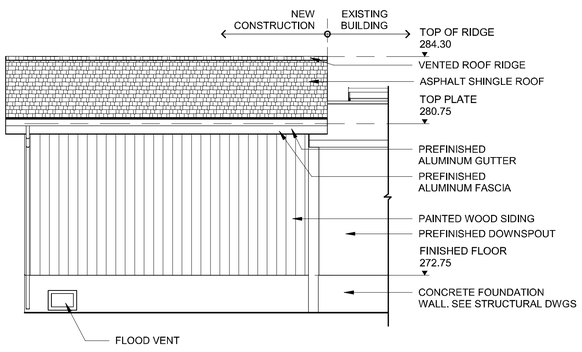
Title
ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
ARCHITECTURAL
FLOOR PLAN, EGRESS PLAN, REFLECTED CEILING PLAN, ROOF PLAN AND CODE ANALYSIS



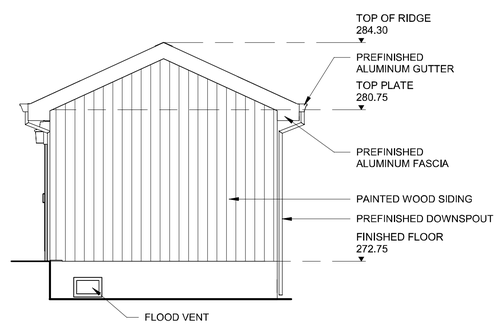
1 A102 EAST ELEVATION
SCALE: 1/4" = 1'-0"



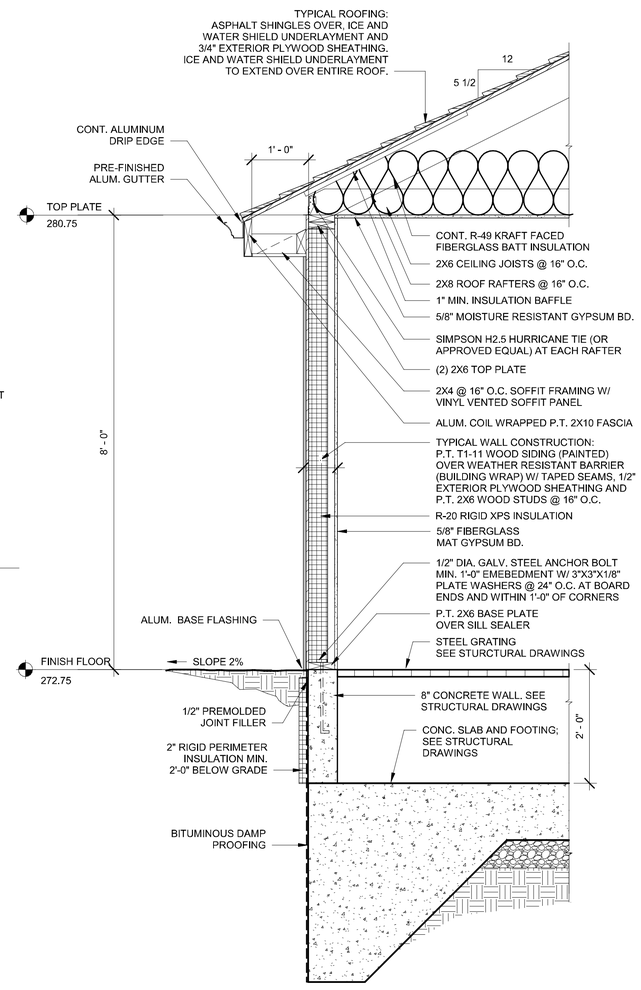
2 A102 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



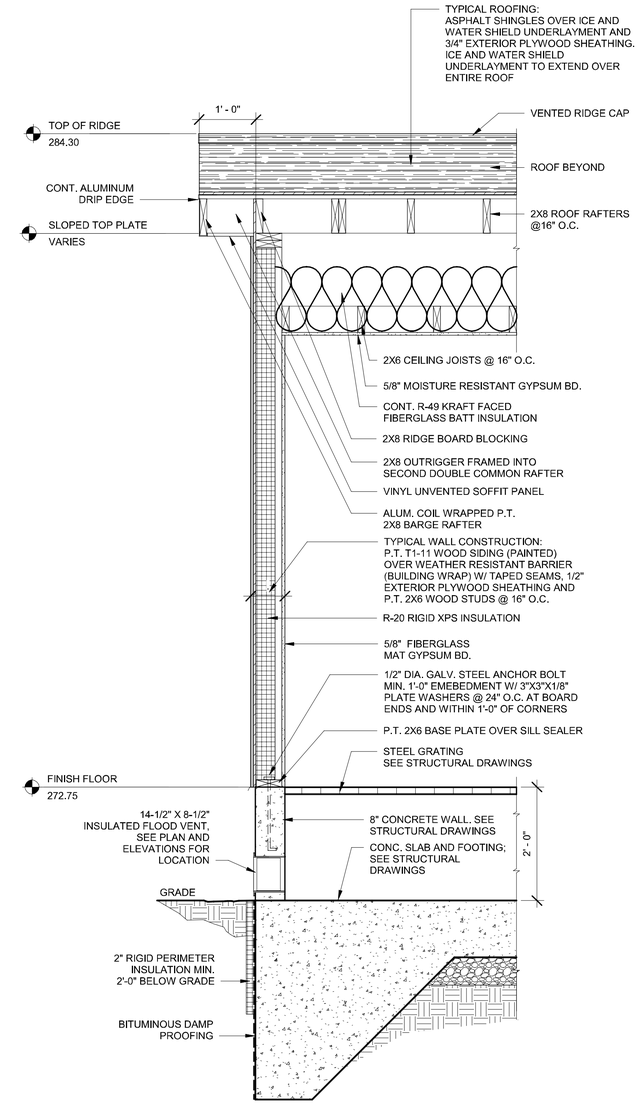
3 A102 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 A102 WEST ELEVATION
SCALE: 1/4" = 1'-0"



5 A102 WALL SECTION
SCALE: 3/4" = 1'-0"



6 A102 WALL SECTION
SCALE: 3/4" = 1'-0"

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Client
VEOLIA WATER NEW JERSEY, INC
200 LAKES SHORE DRIVE
HAWORTH, NJ 07641

Rev	Date	Drawn	Description	Ch'k'd	App'd

ANTHONY F. PEDRO
Professional Engineer Lic. NO. GE37905
Digitally signed by Anthony F. Pedro NJ Signature and Seal
Date: 2023.04.05 14:14:50-04'00'

Designed	S. CASANO	Designer	Eng check		Checker
Drawn	R. KENKARE	Author	Coordination		
Dwg check	P.BASTARDO		Approved		Approver
Scale: As Shown	Status: PERMIT		Rev	Security: STD	
Project Number: 507106510	B/O: 12	Total: 12	Drawing Number: A102		

Title
ALLENDALE WELL 11
TEMPORARY PFAS TREATMENT
ARCHITECTURAL
ELEVATIONS AND WALL SECTIONS

C:\Users\ken85906\OneDrive - Mott MacDonald\Documents\507106510-MMD-01-AllendaleW11TempPFAS_RVT2022-Central 4/5/2023 1:49:08 PM
MD-A_03202023_Rachana.Kenkare@mottmac.com.rvt

MOTT MACDONALD

Ms. Linda Garofalo
Land Use Administrator, Land Use Board
Borough of Allendale
500 W Crescent Avenue
Allendale, NJ 07401

507106510-005

RE: Veolia Water New Jersey, Inc.
Temporary PFAS Treatment Facility
664 West Crescent Ave (Block 1503.01, Lot 6)

April 28, 2023

Mott MacDonald
120 White Plains Road
Suite 140
Tarrytown
NY 10591
United States of America

T +1 914 208 2330
mottmac.com

Dear Ms. Garofalo,

Veolia Water New Jersey, Inc. (VWNJ) is proposing construction of temporary a wood frame accessory building to house water treatment equipment on the referenced property. The building will be approximately the size of a shed (approximately 12 x 16) and will be constructed adjacent to the existing well house. The project will also include installation of below ground water mains to connect the treatment facility to the well supply.

The following have been enclosed in support of an application for Preliminary and Final Site Plan Approval for this project:

1. Ten (10) copies of the Borough of Allendale Land Use Board Site Plan Application and Appendices

2. Ten (10) copies of the plan set entitled, “Allendale Well 11, Temporary PFAS Treatment, Block 1503.01, Lot 6”

The applications fees were mailed from a separate address and will arrive under separate cover.

Please advise if any additional information is required for this project to be included on the May agenda. If you would like to reach me, my contact information is below.

Very truly yours,

Mott MacDonald

John Moolick
Vice President
914.208.2330
john.moolick@mottmac.com

cc File

MOTT MACDONALD

Ms. Linda Garofalo
Land Use Administrator, Land Use Board
Borough of Allendale
500 W Crescent Avenue
Allendale, NJ 07401

507106510-005

RE: Veolia Water New Jersey, Inc.
Temporary PFAS Treatment Facility

664 West Crescent Ave (Block 1503.01, Lot 6)

Mott MacDonald
120 White Plains Road
Suite 140
Tarrytown
NY 10591
United States of America

T +1 914 208 2330
mottmac.com

April 28, 2023

Dear Ms. Garofalo,

The following have been enclosed in support of an application for Preliminary and Final Site Plan Approval made under separate cover for the referenced project:

1. Land Use Board Application Fee
    a. Check No. 61142 in the amount of $250 (Site plan over ½ acre)
2. Legal and Engineering Escrow
    a. Check No. 61141 in the amount of $5,000 (Site plan over ½ acre)

Please advise if any additional information is required for this project to be included on the May agenda. If you would like to reach me, my contact information is below.

Very truly yours,

Mott MacDonald

John Moolick
Vice President
914.208.2330
john.moolick@mottmac.com

cc File