

LAND USE BOARD
BOROUGH OF ALLENDALE
Municipal Building
500 West Crescent Ave.
Allendale, NJ

The Regular Meeting of the Allendale Land Use Board will be held in the Council Chambers in the Allendale Municipal Building, 500 West Crescent Avenue, 2nd Floor, Allendale, NJ 07401 on September 18, 2023 at 7:30 p.m. Formal action will be taken.

- I. CALL TO ORDER
 - A. Open Public Meetings Act Announcement
 - B. Salute to Flag
- II. ROLL CALL
- III. APPROVAL OF MINUTES
[July 19, 2023 Land Use Board Regular Meeting](#)
- IV. PUBLIC HEARINGS:

[Application File No.: LUB 2023-08](#)
[Applicant: Allendale Senior Housing Corp.](#)
Address: Cebak Court, Allendale, NJ 07401
Block: 1708 Lot: 1&9
Proposal: Preliminary & Final Site Plan approval
[MV-VanCleeef report](#)

[Application File No.: LUB 2023-06](#)
[Applicant: Barry Poskanzer](#)
Address: 40 Carteret Road, Allendale, NJ 07401
Block 1503.01 Lots: 15 & 14
Proposal: Minor Subdivision – realignment of lot line.
[MV-Van Cleef report](#)
[DMC correspondence](#)
[Lot 14.02 description](#)
[Lot 15.02 description](#)

[Application File No.: LUB 2023-09](#)
[Applicant: Giuseppe & Alexandra DePinto](#)
Address: 20 Stone Fence Rd., Allendale, NJ 07401
Block 1503 Lot: 16
Proposal: Single story rear addition to the kitchen & dining area. Pursuant to Code 270-37(A) 2
[MV-Van Cleef report](#)

VII OPEN TO THE PUBLIC FOR COMMENT

VIII OTHER

IX. ADJOURNMENT

****AGENDA & AGENDA MATERIALS SUBJECT TO CHANGE****

Post
Borough website

BOROUGH OF ALLENDALE LAND USE BOARD
APPLICATION FOR DEVELOPMENT

Application No. _____ Application Perfected _____
Filing Date _____ Nature of Disposition _____
Time Limitation Date _____ Date of Disposition _____
Notice of Incomplete Application _____

SECTION I. APPLICANT HEREBY APPLIES FOR:

_____ Concept Review Fee Paid _____
☒ Preliminary Site Plan Approval Legal & Engrg. Escrow Paid _____
☒ Final Site Plan Approval Taxes Paid _____
_____ Sketch Plan Review and Classification
_____ Minor Subdivision Approval
_____ Major Preliminary Subdivision
_____ Final Subdivision
_____ Variance Relief Pursuant to 40:55D- 60 (c)
_____ Subdivision or Site Plan Deviation relief
_____ Modification or Waiver of Subdivision or Site Plan details
_____ Conditional Use Approval
_____ Other (Please Specify) _____

SECTION II.

A. APPLICANT INFORMATION:

- Allendale Senior Housing Corp**
1. Name of Applicant: _____ Phone: 201-944-3222
Address of Applicant: 500 West Crescent Avenue, Allendale, NJ
(If Applicant is other than an individual, complete Appendix A – Disclosure Statement)
2. Name and Address of Applicants Attorney, If Any:
Bruce E. Whitaker, Esq, McDonnell & Whitaker, LLC
245 E. Main Street, PO Box 379, Ramsey, NJ 07446, 201-934-0110
3. Name and Address of owner of premises : Allendale Urban Renewal LP
4. Correspondence is to be Addressed and Mailed as Follows :
Allendale Senior Housing Corp, c/o Bruce E. Whitaker, Esq, 245 E. Main Street, Ramsey, NJ 07446
5. The Premises Which Are the Subject of this Application Are Known as :
Cebak Court and
are shown as Lot 1 & 9 in Block 1708 on Sheet # 17 of
Allendale Tax Map.
6. The size of the premise is 107,269 square feet; 2.46 acres.
Frontage: 182.43' ; Depth: 376.17'.

7. The zone district in which premise are located is SC-Redevelopment Area Senior Citizen Housing
8. Now located on premise is a 8 one story framed duplex dwelling units
9. The date of the last deed of record is March 24, 2023, which deed was recorded in the Deed Book V4975 at page 18.
10. The grantee(s) named in said deed were Allendale Urban Renewal LP.
11. The interest of the applicant in premise, if other than the owner, is:
Manager/Operator of Senior Housing Facility

B. SUBJECT PROPERTY SITE DATA

Location: Cebak Court

(Street Address, Cross Streets or Other Identifications)

Tax Map: Page(s): _____ Block(s): 1708 Lot(s): 1 & 9

Dimensions:

Frontage: 182.43' feet Depth: 376.17' feet Total Area: 2.46 ~~xxx~~/acres

Present Zoning District: (SC) Redevelopment Area Senior Citizen Housing

Present Use of Subject Property: 8 one story framed duplex dwelling units

Is the property located on a Municipal ☒ County _____ or Private _____ Road?

Proposed Use/Change Construction of 2 buildings each having 2 units together with extension of Cebak Court and construction of 9 parking spaces

Describe in detail the exact nature of the application and to the changes to be made to the subject property, including proposed use of premise.

See Addendum attached

Proposed Number of Buildings: 2

Proposed Gross Floor Area of all structures: _____ Sq. Ft.

Percentage of coverage by buildings: Existing-11.96%; Proposed-15.47%

Percentage by impervious cover: Existing-36.56%; Proposed 40.78%

Number of existing lots: 1 Proposed number of lots: 1

Proposed No. of dwelling units: 2 buildings containing 4 units

Proposed area to be disturbed : 22,180 Sq. Ft.

Existing Building Height: 20.8'

Proposed Building Height: 21.0'

Anticipated Number of Employees per Shift: _____ Hours of Operation: _____

Restrictions, covenants, easements, association by-laws, existing or proposed on property:

Existing: Yes ☒ No ☐ Proposed: _____

Attach legible copies of deed restrictions.

Does the within proposal affect a Municipal or State designated historic site and/or building? Yes ☐ No ☒

C - ZONING DATA: SEE ZONING SCHEDULE ANNEXED AS APPENDIX C

(State current zone in which lot(s) is located)

(SC) Redevelopment Area Senior Citizen Housing

D - EXISTING CONDITIONS: (Attach additional sheets containing responses to the following);

1. Are there any buildings or signs now on the site? Yes ☒ No ☐ If yes, which if any, is the applicant proposing to remove.
2. Is the applicant proposing to erect new signs on the site? Yes ☐ No ☒ If yes, describe proposed sign locations, sign design, dimensions as depicted on plans and state whether the proposed sign(s) comply with Borough sign ordinance.
3. Is the applicant proposing the removal of any existing fences? Yes ☐ No ☒ Describe and state whether proposed fence(s) comply with the Borough Fence Ordinance.
4. Is the site in conformance with the Zoning Ordinance of the Borough? Yes ☐
5. Identify the soils at the site, using the U.S. SCS descriptions. What percentage of the site is covered by each soil type.

Soil Map Unit	Percentage Cover	Acidity	Erodibility	Drainage
---------------	------------------	---------	-------------	----------
6. Describe dominant flora and fauna at the site.
7. Are there threatened or endangered wildlife and/or vegetative species at the site? Yes ☐ No ☒ site nearly fully developed
8. What is the source of information leading to your conclusions about threatened or endangered wildlife or species?

9. If endangered or threatened species are associated with the site, list them below.

None

10. Percentage of site with

0 to 10% slopes: 100%

10 to 15% slopes:

15 to 20% slopes:

20% slopes:

E. REVISIONS TO APPROVED PLANS: Please indicate prior Allendale LUB application numbers, the original requirements of the approved plan and the requested change or revision (attach separate sheet if necessary).

Section III. APPLICATION INFORMATION

A. Does the current owner or the applicant now own or have any interest in any other property which adjoins the premises which are the subject of this application? _____ Yes ☒ No

(If yes, describe the contiguous property by reference to the current tax map of Borough of _____)

B. Have the premises which are the subject of this application been the subject of Land Use Board action?

☒ Yes _____ No

(If yes, please attach a copy of the Land Use Board resolution to this application)

C. Are the premises which are the subject of this application located within 100 feet of a brook or located on a county road? _____ Yes ☒ No. Do the said premises consist of more than one acre in area?

☒ Yes _____ No – Does the proposed improvement on said premises involve the installation of more than five parking spaces? ☒ Yes _____ No

D. Is any portion of the premises which are the subject of this application intended to be dedicated or reserved for the public use? _____ Yes ☒ No

E. If this application is for final subdivision approval, does the final plat follow exactly the preliminary plat in regard to details and area covered? _____ Yes _____ No If not, indicate material changes N/A

F. If this application is for variance relief, has a decision been rendered or an order issued by the Borough Director of Buildings and Inspections? _____ Yes _____ No N/A

- I. The details of the within application are shown on a certain plan entitled
Preliminary & Final Site Plan prepared by Schwanawede, Hals & Vince, PE consisting of 6 pages
Architectural Plan prepared by Z+ Architects consisting of 3 pages
~~Said plan is comprised of XXXXXXXXXXXXXXXX~~

Section IV. INFORMATION TO BE SET FORTH IN APPENDIX B.

- i. If this application is for various relief, pursuant to 40:55D-60 (c), please set forth in Appendix B, Section 1, hereof, all of the information requested.
- ii. If this application is for subdivision or site plan standards relief, please set forth in Appendix B, Section 2 hereof, all of the information requested.
- iii. If this application is for modification or waiver of site plan or subdivision details, please set forth in Appendix B, Section 3 hereof, all of the information requested.

Section V. AUTHORIZATION BY OWNER

Allendale Senior Housing Corp is hereby authorized to file the within application with
the Borough Clerk of the Borough of Allendale.

Dated: 8/16/23
Bruce E. Whitaker, Esq
OWNER

Section VI. CERTIFICATION BY APPLICANT

The undersigned applicant does hereby certify that all of the statements contained in this application are true.

Dated: 8/16/23
Bruce E. Whitaker, Esq
APPLICANT

Borough of Allendale Land Use Board

Disclosure Statement – Appendix A

Name of Applicant: Allendale Senior Housing Corp

Address: 500 West Crescent Avenue City : Allendale

State: NJ Zip: 07401 Phone: (201) 944-3222

Applicant is a ☒ Corporation Partnership Individual

Non-profit organization-there are no shareholders

Pursuant to N.J.S.A. 40-55D-48.1, the names and addresses of all persons owning 10% of the stock in a corporate applicant or 10% interest in any partnership applicant must be disclosed. List names, addresses and partnership interest here.

Name: _____ Interest % _____

Address: _____ City: _____ State: _____

Name: _____ Interest % _____

Address: _____ City: _____ State: _____

Name: _____ Interest % _____

Address: _____ City: _____ State: _____

Name: _____ Interest % _____

Address: _____ City: _____ State: _____

Name: _____ Interest % _____

Address: _____ City: _____ State: _____

INTEREST OF APPLICANT (Owner, Lessee, Etc.) _____

NAME OF OWNER: (If Different from Applicant) Allendale Urban Renewal LP

Name of Applicant's ATTORNEY: Bruce E. Whitaker, Esq, McDonnell & Whitaker, LLC

Address: 245 E. Main Street, PO Box 379, City: Ramsey

State: NJ Zip: 07446 Phone: (201) 201-934-0110

Name of Applicant's ARCHITECT: Michael Scro, AIA Z+ Architects

Address: 240 W. Crescent Ave, Ste D City : Allendale

State : NJ Zip: 07401 Phone: (201) 785-8855

Name of Applicant's SURVEYOR: David Hals, PE - Schwanawede Hals & Vince, PE & LS

Address: 111 Littleton Road City: Parsippany

State : NJ Zip: 07054 Phone: (201) 201-337-0053

Name of Applicant's ENGINEER: David Hals, PE - Schwanawede Hals & Vince, PE & LS

Address: 111 Littleton Road City: Parsippany

State: NJ Zip: 07054 Phone: (201) 201-337-0053

Name of Applicant's PLANNING CONSULTANT: _____

Address: _____ City: _____

State: _____ Zip: _____ Phone: () _____

Name of Applicant's TRAFFIC ENGINEER: _____

Address: _____ City: _____

State: _____ Zip: _____ Phone: () _____

Borough of Allendale Land Use Board
Variance or Waiver Relief – Appendix B NOT APPLICABLE

Section 1 – APPLICATION FOR VARIANCE RELIEF

In connection with your application for variance relief, please set forth:

1. The section(s) of the ordinance regulations of the Borough of _____ from which variance relief is requested: _____

2. The nature of the variance relief requested: _____

3. In what manner, in this particular case, the strict application of the foregoing ordinance regulations will result on practical difficulties or undue hardship upon you inconsistent with the general purpose and intent of said regulations: _____

4. In what manner, in this particular case, there exist exceptional circumstances or conditions applicable to the premises which are the subject of this application, which do not apply generally to other premises located in the same zone district or neighborhood: _____

5. In what manner, in this particular case, the granting of the variance relief requested will not be substantially detrimental to the public welfare or injurious to the premises in the area in which the premises which are the subject of this application are located: _____

Section 2 – APPLICATION FOR SUBDIVISION OR SITE PLAN RELIEF FROM DESIGN STANDARDS

In connection with your application for preliminary subdivision deviation relief or preliminary site plan deviation relief, please set forth:

1. The section(s) of the Residential Site Improvement Standards (RSIS) of the Borough of Allendale Land Subdivision or Site Plan Ordinances from which deviation relief is requested: _____

2. In what manner, in this particular case, this literal enforcement of the provisions of said sections is impracticable and will exact undue hardship because of peculiar conditions pertaining to the premises which are the subject of this application: _____

Section 3 – APPLICATION FOR MODIFICATION OR WAIVER OR SITE PLAN AND/OR SUBDIVISION
DETAILS.

In connection with your application for modification or waiver of site plan and/or subdivision details, please set forth:

- 1. The Borough Ordinances or RSIS provision of requiring site plan and/or subdivision details which are purposely omitted from your development plan and the reasons for such omission:

- 2. The peculiar conditions applicable to the premises which are the subject of this application or applicable to the proposed construction thereon, which render the omitted site plan and/or subdivision details unnecessary to properly evaluate your site plan and/or subdivision:

Borough of Allendale Land Use Board

Variance or Waiver Relief – Appendix C NOT APPLICABLE

Schedule	Existing	Required	Provided
Lot Area (Sq. Ft.)			
Lot Width (Sq. Ft.)			
Lot Depth (Sq. Ft.)			
Max. Coverage (%)			
Improved Lot Coverage (%)			
Max. Bldg. Height (Stories/Feet)			
Min. Front Depth (Ft.)			
Min. Rear Depth (Ft.)			
Min. Side (Sum Both Each-Min) (Ft.)			
Floor Area Ratio			
Parking Stalls			
Handicapped stalls			
Loading Spaces			
Garage(s)/Stalls			
Distance of the nearest part of the lot(s) to the nearest residential zone			

ADDENDUM TO APPLICATION

Allendale Urban Renewal LP is the owner of Lots 1&9 in Block 1708 known as Cebak Court (hereinafter referred to as the "Property"). Allendale Senior Housing Corp. (hereinafter referred to as the "Applicant") is the manager of the 8 one story framed duplexes that exist on the property that contains 16 individual dwelling units as senior housing.

The Applicant is proposing to extend the private roadway known as Cebak Court creating a "T" at the end of Cebak Court and construct 2 additional buildings each to house 2 new units for additional senior citizen housing. In addition, at the end of Cebak Court, the Applicant is proposing 9 parking spaces and an asphalt walkway that will connect to an existing walkway to Mallison Street.

The original area was an area for redevelopment for senior citizen housing. A Zone was created known as SC Redevelopment Area Senior Citizen Housing for the purposes of the construction of the original 8 structures. The Zone provided for a density of 10 units per acre. 6.5 units per acre currently exists and based upon the Applicant's proposal, the density will be 8.13 units per acre which is still below the maximum permitted.

The Zone also provides for a minimum number of units to be 15. 16 units exist and 20 units are proposed.

The SC Zone was created from the 1991 Master Plan Amendment adopted January 17, 1991. There is no specific zone within the current zoning ordinances in Allendale for the SC Zone so there is no bulk requirements for lot area, front yard setback, side yard setback, rear yard setback, building coverage or lot coverage. There is no variance relief being sought based upon the current status of the zoning requirements which basically consists of density and number of units which are conforming.

The Master Plan encourages the development of senior citizen housing. This was the original concept in 1991 when the Master Plan Amendment was adopted. That goal remains the same. The Applicant's proposal for an extension of Cebak Court to construct these 2 additional units meets that

goal and the proposal does not overburden the lot. The 2 additional units together with the 9 parking spaces are easily accommodated on the Property.

The Applicant seeks Preliminary and Final Site Plan approval.

Schedule A

CHECKLIST FOR SUBMISSIONS OF DEVELOPMENT APPLICATIONS

LAND USE BOARD OF THE BOROUGH OF ALLENDALE

NAME OF APPLICANT: Allendale Senior Housing Corp
NAME OF OWNER OR DEVELOPMENT NAME: Allendale Urban Renewal LP
LOT 1 & 9, BLOCK 1708
DATE OF APPLICATION _____

An application for development shall not be considered complete until all the material and information specified below has been submitted unless, upon receipt of written request from the applicant, a specific requirement is waived by the municipal agency, or the agency otherwise deems a requirement inapplicable to the application. Certification of completeness or a Notice of Deficiencies shall be made, and any request for waiver shall be granted or denied, within 45 days of the filing of the application with the municipal agency.

No public hearing shall be scheduled for an application until the same has been deemed complete by the appropriate administrative officer or otherwise as permitted by the law.

Schedule "A" – General Requirements.

(Applicable to all applications)

1. Fifteen (15) copies of the appropriate application form(s), completely filled in and filed with the appropriate administrative officer. If any item is not applicable to the Applicant, it should so be indicated on the application form(s).
2. Certificate of Borough Tax Collector that all taxes and assessments on the property are paid.
3. Receipt indicating that fees and escrow deposits are paid pursuant to schedule.
4. Fifteen (15) copies of any required plot plan, site plan, or subdivision plan, clearly and legibly drawn at a scale of not smaller than 1 inch = 100 feet. Said plans to be prepared by a licensed engineer or land surveyor of the State of New Jersey as applicable with name address and seal of preparer on plat. Entire tract to be shown on one sheet.

Complies	Deficient	Waiver Request
X		
X		
X		
X		

5. Affidavit of ownership. If Applicant is not the owner, Applicant's interest in land; e.g, tenant, contract/purchaser, lienholder, etc.
6. One of the following:
 - a) A letter of interpretation from the N.J.D.E.P. indicating the absence of freshwater wetlands, or indicating the presence and verifying delineation of the boundaries of freshwater wetlands, or ,
 - b) A letter of exemption from the N.J.D.E.P. certifying that the proposed activity is exempt from the Freshwater Wetlands
 - c) A copy of any application made to the N.J.D.E.P for any permit concerning a proposed regulated activity in or around freshwater wetlands.

The Land Use Board may waive the above requirements where it can be established by the applicant and verified by the board and its professionals that no wetlands exist on site or no contiguous property owned by the applicant.
7. If Applicant is a corporation or partnership, list the names and addresses of all stockholders or individual partners owning at least 10% of its stock of any class as required by N.J.S. 40:55D-48.1 et seq.
8. Number and name(s) of witnesses and their expertise, if any.
9. Statement as to any requirements for which waiver is sought together with statement of reasons why waivers should be granted.
10. In subdivision and site plan applications for residential construction, a certification of the applicant or the applicant's engineer that the application complies with all requirements of the Residential Site Improvement Standards or other applicable regulations adopted by the Department of Community Affairs. If exceptions or waivers from such standards are sought, a statement of the hardship claimed, the reasons and conditions justifying the same and identification of any danger to health, safety or welfare resulting from adherence to said standards.

X		
N/A		
X		
X		
N/A		
X		

Schedule "B" – Plat Specifications for Site Plans and Subdivisions

General Information on Plat

1. Metes and bounds description of parcel in question based upon current land survey information.
2. Property line shown in degree, minutes and seconds.
3. Key map showing location of tract to be considered in relation to surrounding area, within 500 feet
4. Title block containing name of applicant, preparer, lot and block number, date prepared, date of last amendment and zoning district.
5. Each block and lot numbered in conformity with the municipal tax map as determined by the municipal tax assessor.
6. Scale of map, both written and graphic.
7. North arrow giving reference meridian.
8. Space for signature of Chairman and Secretary of the Municipal Agency.
9. Names of owner and all property owners within 200 feet of subject property.
10. Location of existing and proposed property and structures with dimensions in feet up to the nearest two decimal places, with setback, side yard and rear yard distances for existing structures and with building envelope of each proposed lot formed by minimum front, rear and side yard distances.
11. Schedule of Zone Requirements for zoning district in which parcel is located, indicating all setbacks, lot coverage, height, floor area ratio, and density, both as to required and proposed.
12. Acreage of affected parcel to the nearest hundredth of an acre.
13. Delineation of proposed lots, specifying areas of lots in acres, if on acre or over, and in square feet.
14. Provide a Polaroid or other similar photograph of the premises in question taken from the opposite side of the street.
Natural Features and Topography
Topography of the site and within 200 feet thereof.
15. Contours to determine the natural drainage of the land.
Intervals shall be: up to 10% grade-2 feet; over '10% grade- 5 feet.
16. Cliffs and rock outcroppings.(Preliminary Site Plans and major subdivision only.)

Complies	Deficient	Waiver Request
X		
X		
X		
X		
X		
X		
X		
X		
X		
X		
X		
X		
X		
		X
X		

- b) Soil depth to restrictive layers of soil.
 - c) Soil depth to bedrock
 - d) Permeability of the soil by layers.
 - e) Height of soil water table and type of water table
 - f) Flood plain soil (status).
 - g) Limitation for foundation
 - h) Limitation for septic tank absorption field (only where septic tank is proposed to be used.)
 - i) Limitation for local road and streets
 - j) Agricultural capacity classifications
 - k) Erosion hazard.
37. Landscaping plan including the types, quantity, size and location of all proposed vegetation. The scientific and common names of all vegetation shall be included. (Preliminary Site Plans and major subdivision only.)
 38. Soil Erosion and Sediment Control Plan consistent with the requirements of the local soil conservation district.
 39. Design calculations showing proposed drainage facilities to be in accordance with the appropriate drainage run-off requirements.
 40. The purpose of any proposed easement of land reserved or dedicated to public or common use shall be designated and the proposed use of sites other than residential shall be noted.
 41. Any sections for which a waiver is specifically being requested and a narrative paragraph explaining why the Applicant is entitled to such waiver.
 42. Proof that application has been made to the Bergen County Planning Board.
 43. Proof that a Soil Erosion and Sediment Control Plan has been submitted to the B.C.S.C.D. if more than 5,000 square feet of ground is to be disturbed.
 44. An environmental impact statement if required.

X		
X		
X		
X		
X		
X		
X		
N/A		



PROGRESS PRINTS
NOT FOR CONSTRUCTION



Michael Scro
NJ LIC# 18626

BLOCK 1708 - LOTS 1 & 9
CEBAK CT
ALLENDALE, NJ

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All dimensions and existing conditions shall be checked & verified by the contractor before proceeding with the work

DESIGN DELIVERABLE: PLANNING BD.
ISSUE DATE: 08/02/23
PROJECT #: 2325
DRAWN BY: AR
CHECKED BY: MS

SHEET NUMBER:

A-1



**ALLENDALE HOUSING
INC.**

BLOCK 1708 - LOTS 1 & 9
CEBAK CT
ALLENDALE, NJ

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All dimensions and existing conditions shall be checked & verified by the contractor before proceeding with the work

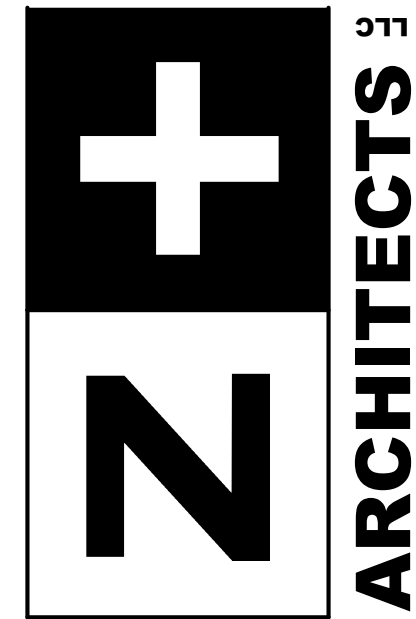
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SHEET TITLE:
EXTERIOR ELEVATIONS

DESIGN DELIVERABLE: PLANNING BD.	SHEET NUMBER:
ISSUE DATE: 08 / 02 / 23	A-2
PROJECT #: 2325	
DRAWN BY: AR	
CHECKED BY: MS	

A-2

REVIT 2020



240 WEST CRESCENT AVENUE
ALLENDALE, NJ 07401
TEL: 201.785.8855
www.zplusarchitects.com

PROJECT TEAM:

seal:

Michael Scro
NJ LIC# 18626

**ALLENDALE HOUSING
INC.**

BLOCK 1708 - LOTS 1 & 9
CEBAK CT
ALLENDALE N.J.

Copyright © 2019, Z+ Architect, LLC
All dimensions and existing conditions shall be checked & verified by the contractor before proceeding with the work

[illegible]

SHEET TITLE:
RENDERING

DESIGN DELIVERABLE: PLANNING BD.	
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ISSUE DATE:	08/02/23
PROJECT #:	2325
DRAWN BY:	AR
CHECKED BY:	MS

SHEET NUMBER:

A-3

PROGRESS PRINTS
NOT FOR CONSTRUCTION

GENERAL NOTES:

- | | | | |
|----------------------------------|-------------|-----------|-------------|
| 7. IMPERVIOUS BUILDING COVERAGE: | | | |
| | EXISTING | | PROPOSED |
| BUILDING: | 10,166 S.F. | BUILDING: | 13,038 S.F. |
| PORCH: | 1,395 S.F. | PORCH: | 1,735 S.F. |
| DECK: | 1,269 S.F. | DECK: | 1,822 S.F. |
| PAVEMENT: | 23,348 S.F. | PAVEMENT: | 22,491 S.F. |
| A/C UNIT: | 80 S.F. | A/C UNIT: | 80 S.F. |
| SIDEWALK: | 2,960 S.F. | SIDEWALK: | 2,744 S.F. |
| | | PARKING: | 1,809 S.F. |
| | <hr/> | | <hr/> |
| TOTAL: | 39,218 S.F. | TOTAL: | 43,719 S.F. |
| | = 36.56% | | = 40.76% |
| 7. EXISTING NUMBER OF UNITS =16 | | | |
| PROPOSED UNITS =20 | | | |

[illegible]

APPROVED BY PLANNING BOARD OF THE
BOROUGH OF ALLENDALE, BERGEN CO.

DATE _____

CHAIRMAN _____

SECRETARY _____

ENGINEER _____

ZONING TABLE			
ZONE (SC) Redevelopment Area Senior Citizen Housing			
	REQUIRED	EXISTING	PROPOSED
DENSITY	10 UNITS/Ac. *	6.5 UNITS/Ac.	8.13 UNITS/Ac.
NUMBER OF UNITS	15 MIN.	16 UNITS	20 UNITS
LOT AREA	—	2.46 Ac.	2.46 Ac.
FRONT YARD	—	38.8'	38.8'
SIDE YARD	—	10.7'	10.7'
REAR YARD	—	90.4'	20'
BLDG. COVERAGE	—	11.96%	15.47%
LOT COVERAGE	—	36.56%	40.76%

* FROM 1991 MASTERPLAN AMENDMENT, ADOPTED JAN. 17, 1991.

OWNER:
ALLENDALE URBAN RENEWAL LP
500 WEST CRESCENT AVENUE
ALLENDALE, NJ 07401

APPLICANT:
ALLENDALE SENIOR HOUSING CORP.
500 WEST CRESCENT AVENUE
ALLENDALE, NJ 07401

DATE	BY	DESCRIPTION
REVISIONS		

PRELIMINARY & FINAL SITE PLAN
BLOCK 1708 - LOTS 1 & 9
CEBAK COURT
FOR
ALLENDALE SENIOR HOUSING
BOROUGH OF ALLENDALE, BERGEN CO., N.J.


SCHWANEWEDE HALS & VINCE
PROFESSIONAL ENGINEERS & LAND SURVEYORS
111 LITTLETON ROAD - SUITE 200 - PARSIPPANY, N.J. - 07054
(201) 337-0053

DeLoatch

DAVID A. HALS, PE, LS, PP
N.J. PROFESSIONAL ENGINEER AND
LAND SURVEYOR LIC NO. 28994

JOSEPH F. VINCE, PE, LS, PP
N.J. PROFESSIONAL ENGINEER AND
LAND SURVEYOR LIC. NO. GR42588

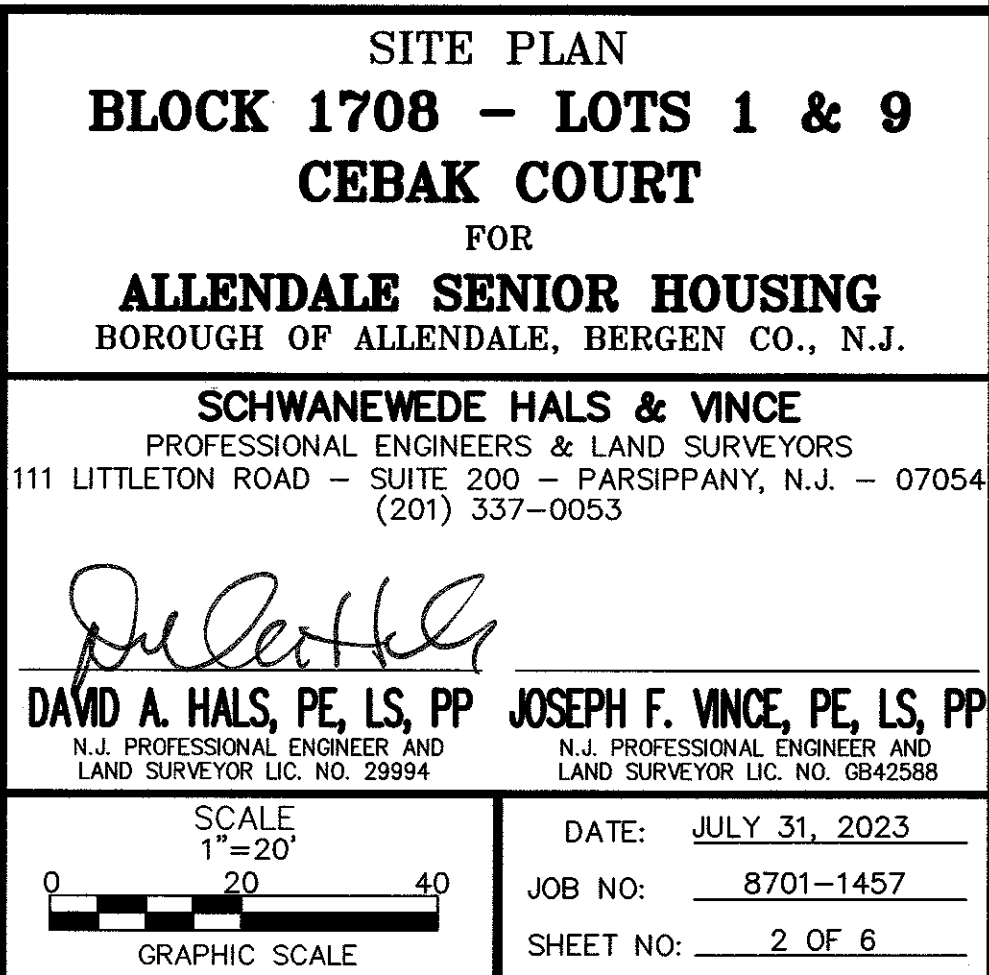
SCALE
1"=200'

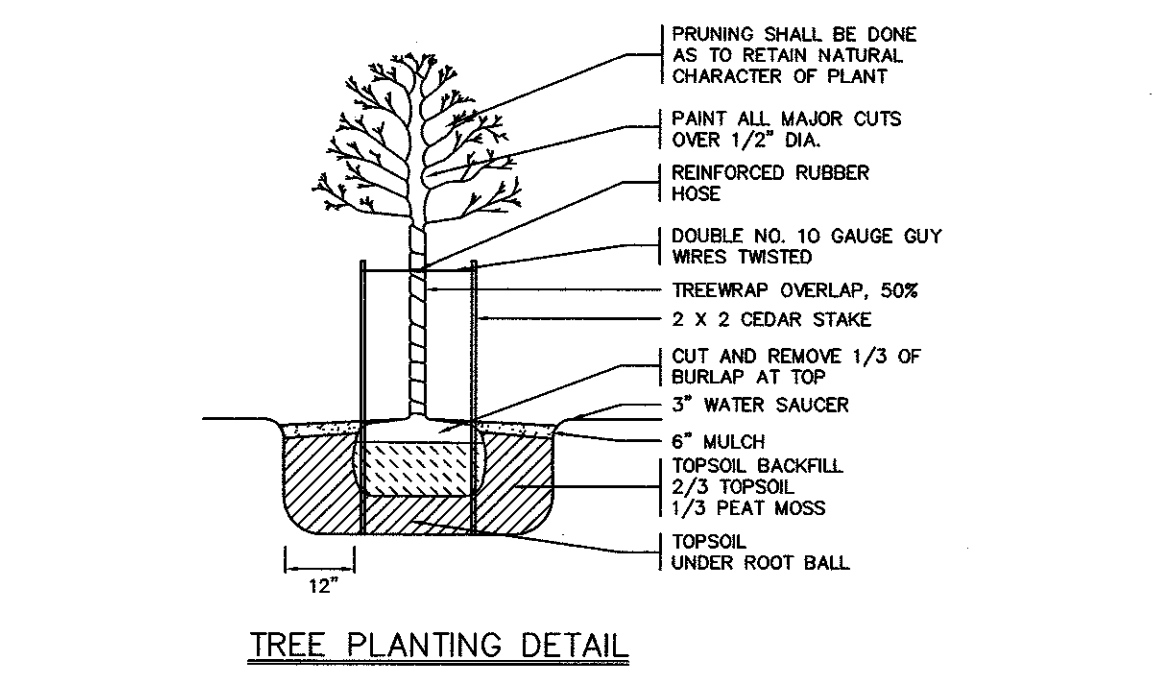
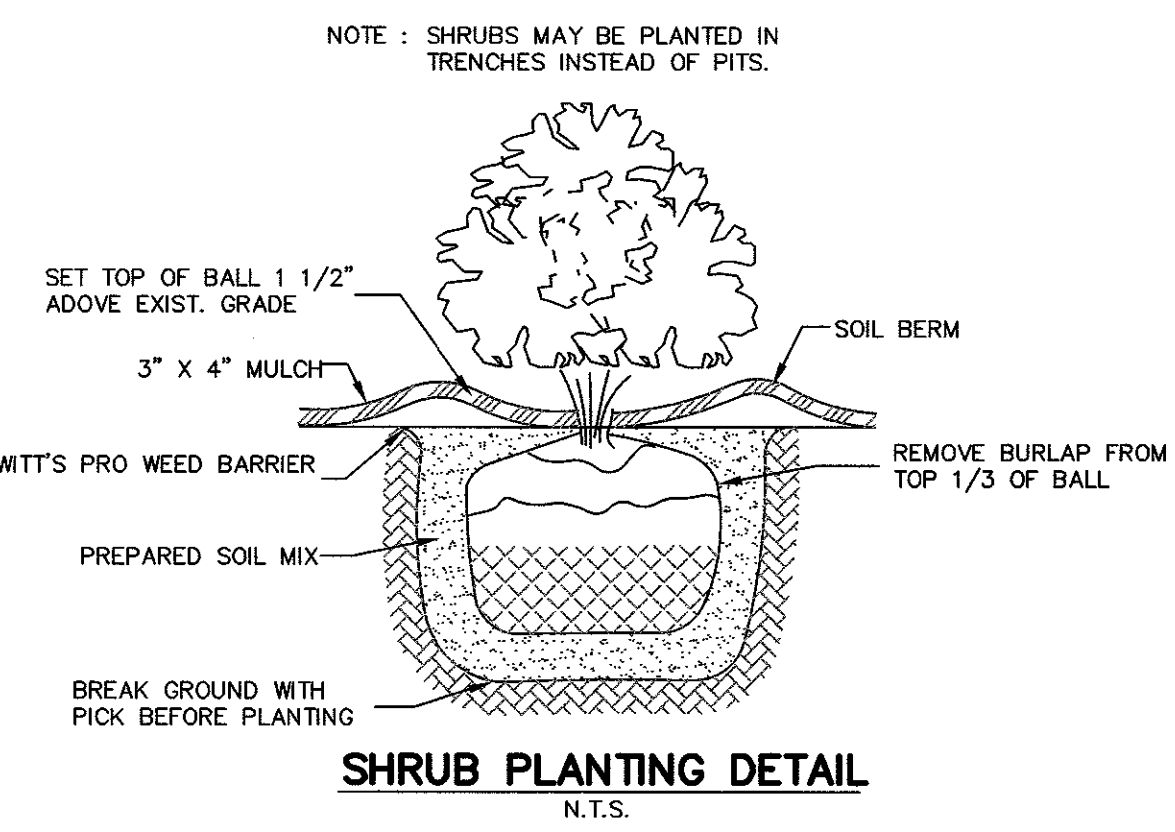
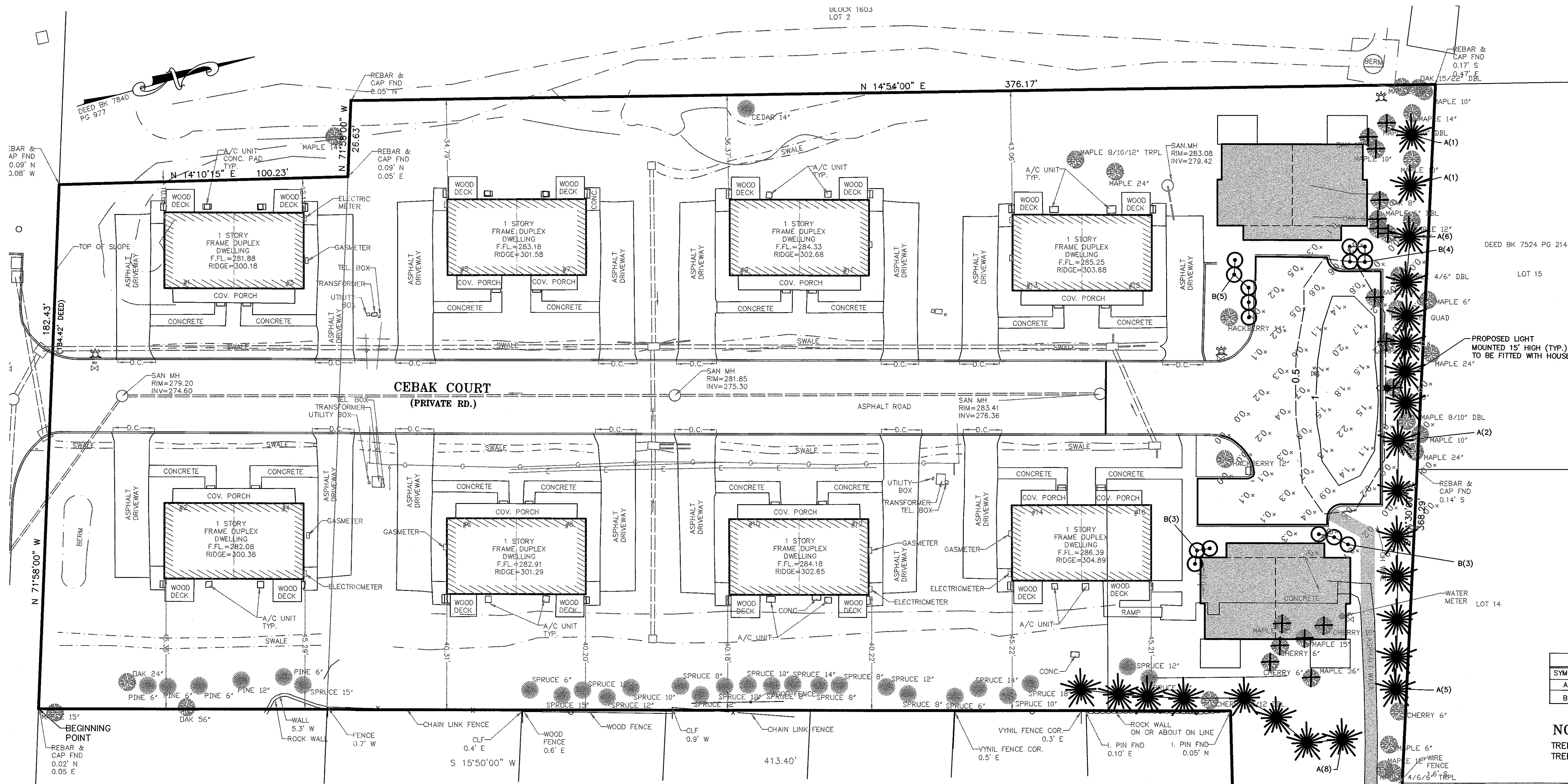


0 200 400

GRAPHIC SCALE

DATE: JULY 31, 2023
JOB NO: 8701-1457
SHEET NO: 1 OF 6





PLANTING SCHEDULE				
SYMBOL	COMMON NAME	LATIN NAME	QUANTITY	HEIGHT
A	GREEN GIANT ARBORVITAE	ARBORVITAE GREEN GIANT	23	8'-10'
B	JAPANESE BOXWOOD	BUXUS MICOPHYLLA	16	15'-18"

NOTES:

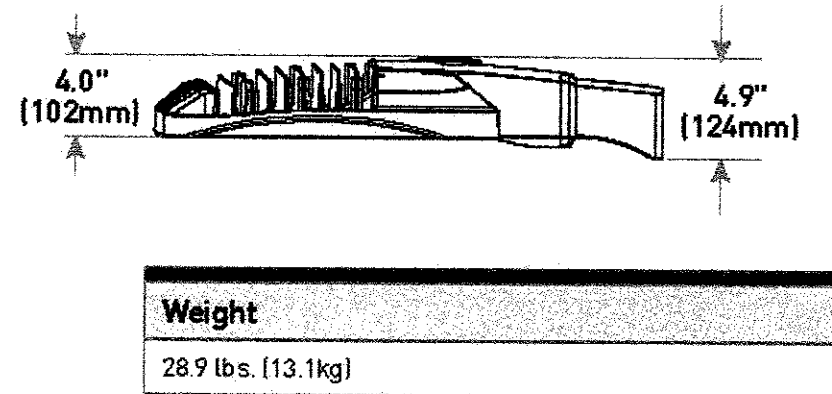
TREES GREATER THAN 12" DIA. TO BE REMOVED = 5 TREES

TREES LESS THAN 12" DIA. TO BE REMOVED = 13 TREES

CREE LIGHTING

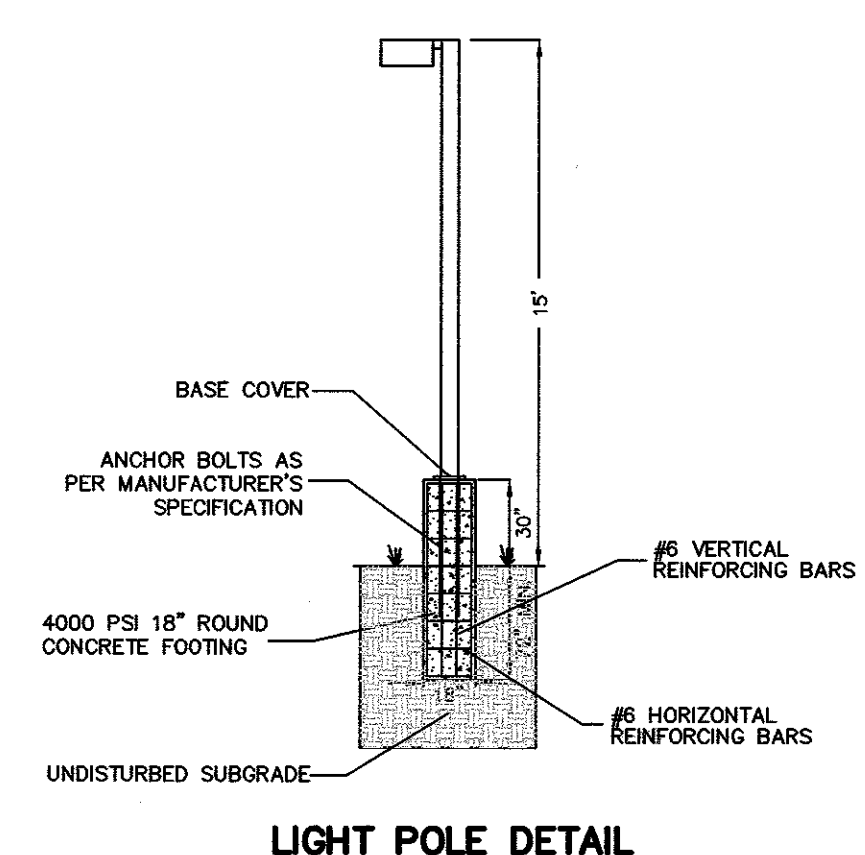
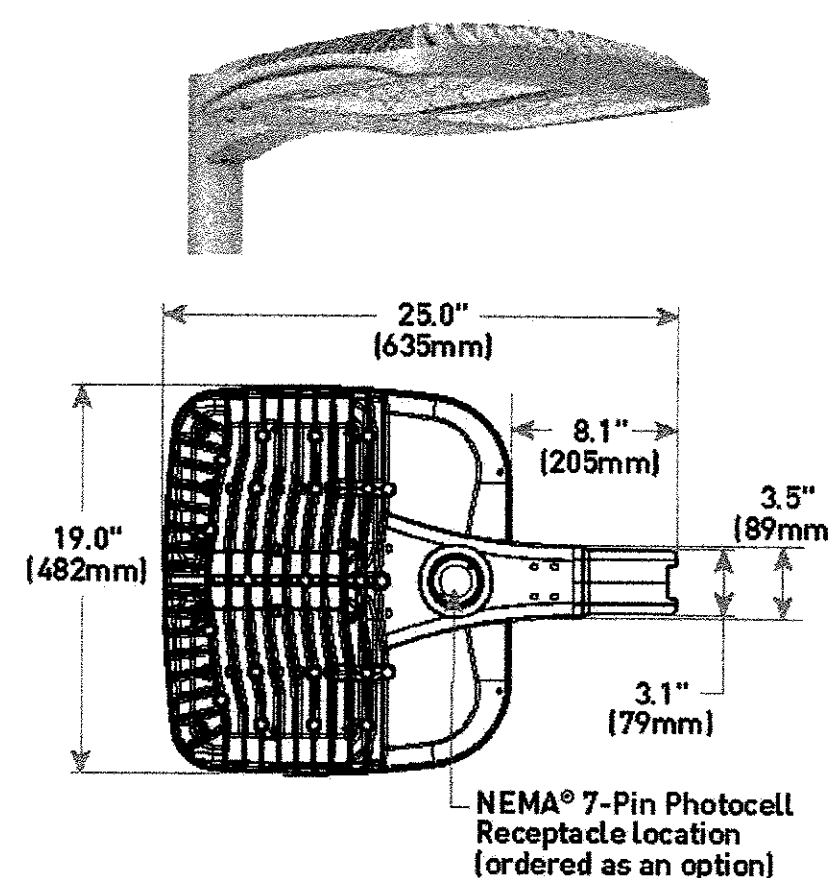
OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Cree TrueWhite® Technology - Medium



POLE MOUNTED LIGHT
N.T.S.

DA Mount



LIGHTING SCHEDULE						
KEY	QUANTITY	MOUNTING HEIGHT	WATTS	TOTAL WATTS	LLF	CATALOG NUMBER
★	1	15'	53	159	1.0	OSQ-NM-4ME-Z-40K-UL-BK

*NOTE: LIGHT TO BE INSTALLED WITH A BACKLIGHT SHIELD (CATALOG NUMBER: OSQ-BLSMF) AND DIRECT MOUNT (CATALOG NUMBER: OSQ-DA)

LANDSCAPING AND LIGHTING PLAN

BLOCK 1708 - LOTS 1 & 9

CEBAK COURT

FOR

ALLEDALE SENIOR HOUSING

BOROUGH OF ALLENDALE, BERGEN CO., N.J.

SCHWANEWEDE HALS & VINCE
PROFESSIONAL ENGINEERS & LAND SURVEYORS
111 LITTLETON ROAD - SUITE 200 - PARSIPPANY, N.J. - 07054
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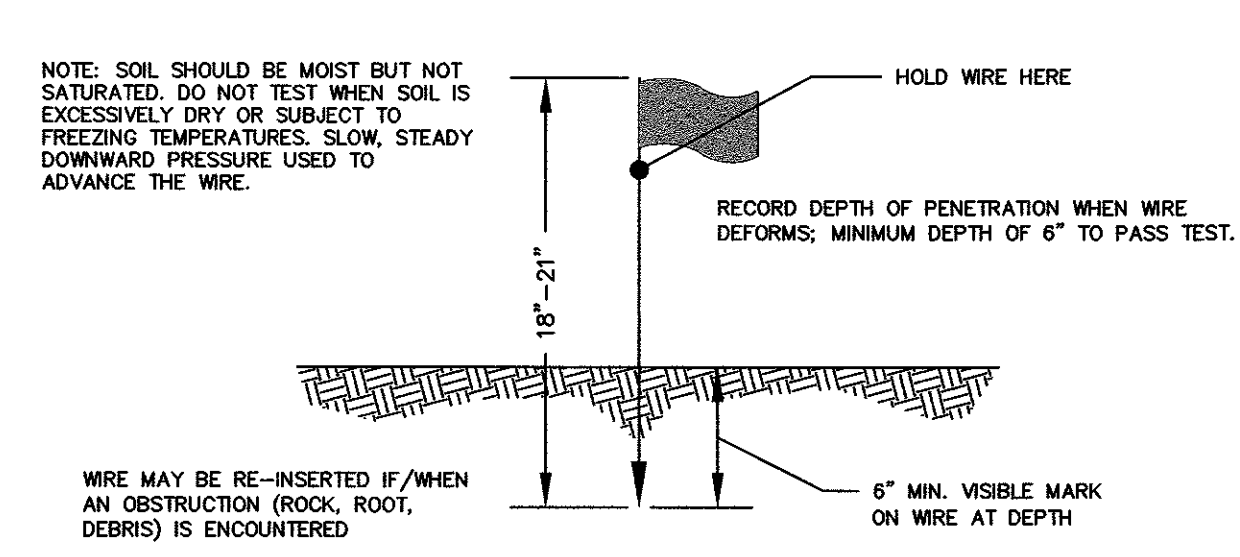
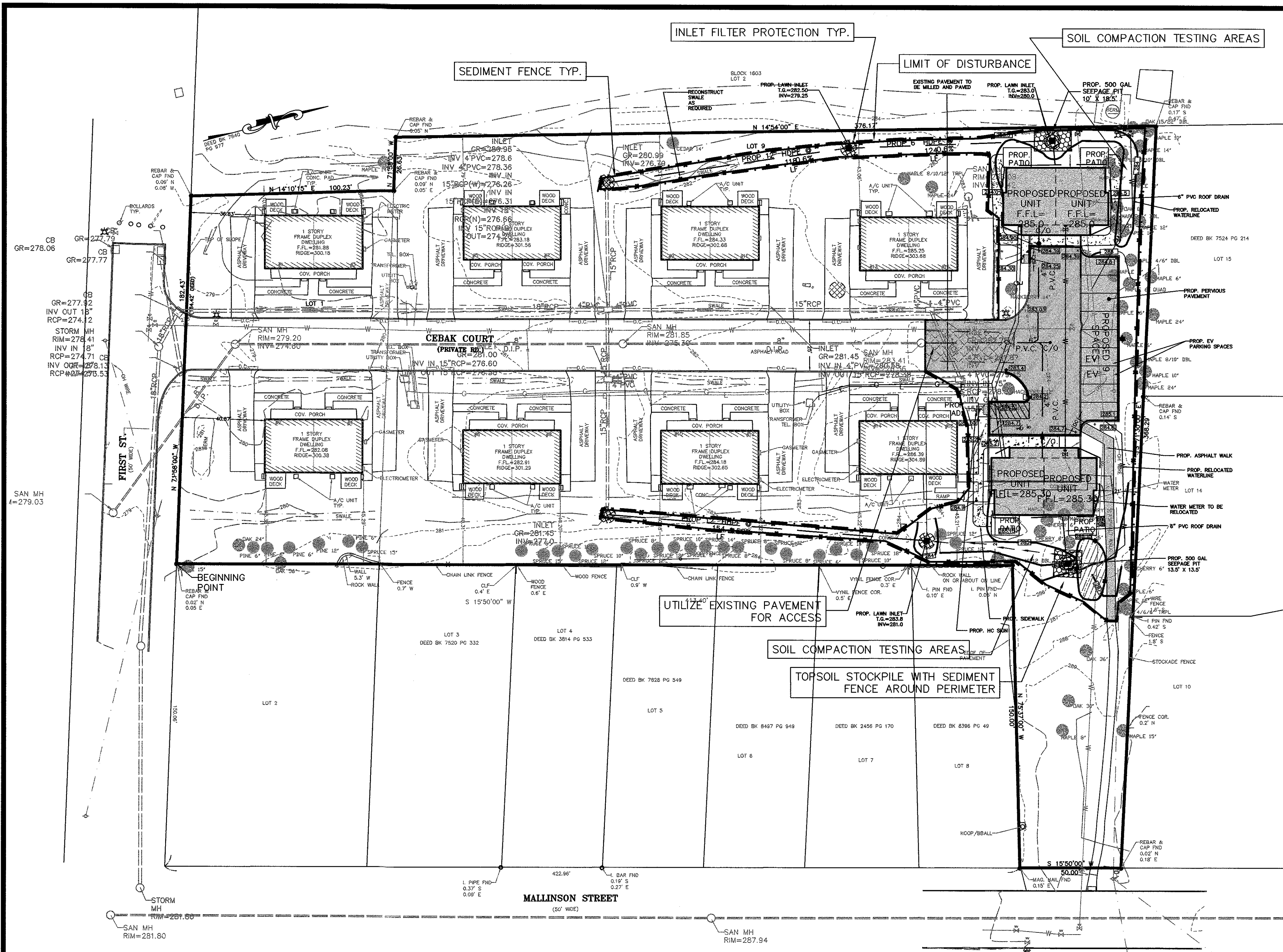
SCALE
1"=20'

DATE: JULY 31, 2023

JOB NO: 8701-1457

SHEET NO: 3 OF 6

DATE	BY	DESCRIPTION
		REVISIONS



PROBING WIRE TEST: 15.5 GA STEEL WIRE (SURVEY FLAG)
N.T.S.

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

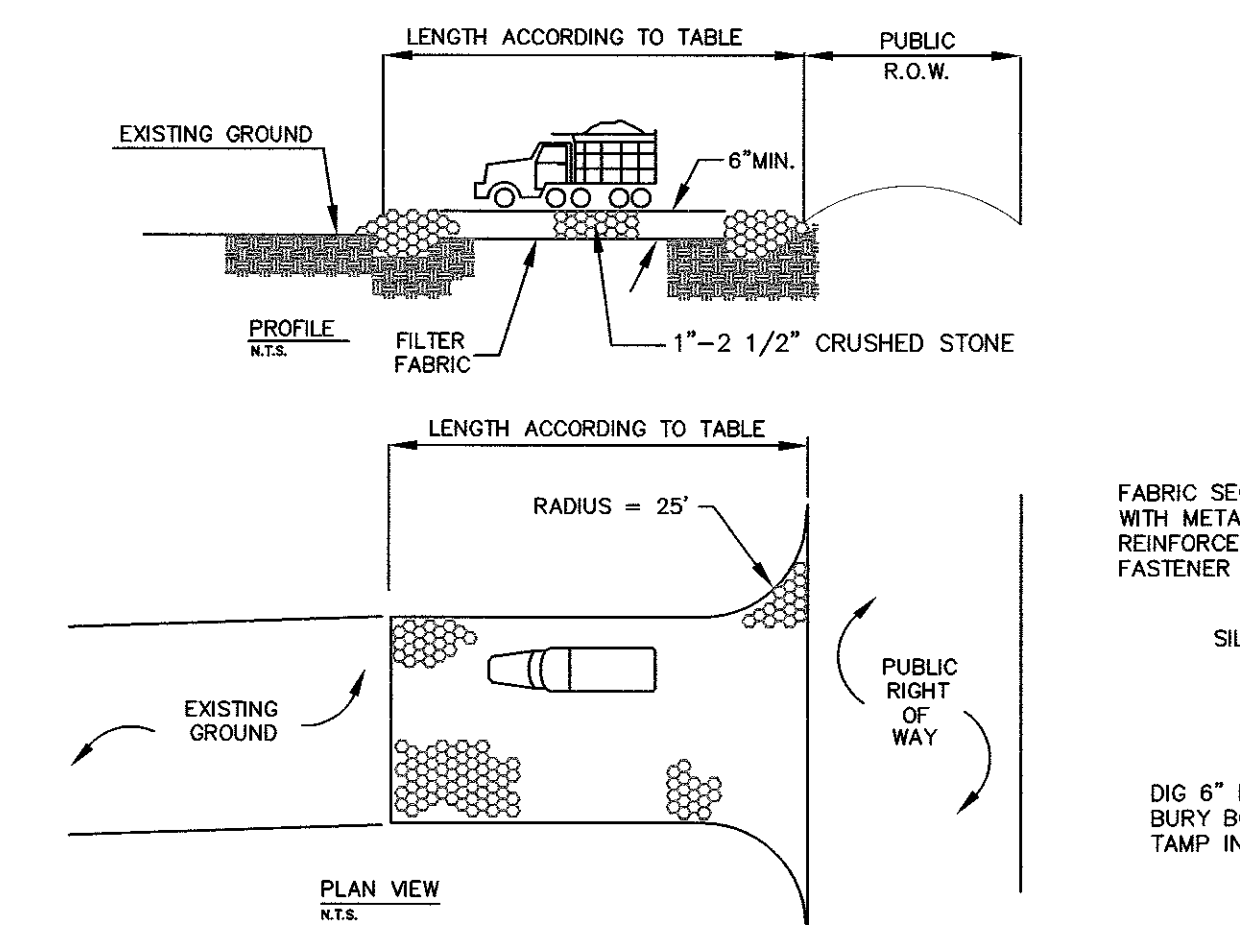
- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6\"/>

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6\"/>



PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
>5%	ENTIRE SURFACE STABILIZED WITH FABRIC BASE COURSE*	

* AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY
NOTES: -PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R.O.W.
-INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION
-THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY (TYP)

STABILIZED CONSTRUCTION ENTRANCE

**BERGEN COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTTED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
4. STABILIZATION SPECIFICATIONS:
 - A. TEMPORARY SEEDING AND MULCHING:
 - GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11LBS/1000 S.F. OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4\"/>
 - B. PERMANENT SEEDING AND MULCHING:
 - TOPSOIL - A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5\", MINIMUM OF 4\" FIRMED IN PLACE.
 - GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11LBS/1000 S.F. OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4\"/>
5. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUN-OFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
8. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1\"/>
9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
10. DRIVEWAYS MUST BE STABILIZED WITH 1\"/>
11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28-1 OF THE NJ STANDARDS.
13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
18. ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE. BERGEN COUNTY SCD, 700 KINDERKAMACK ROAD, SUITE 106, ORADELL, NJ 07649 TEL NO. 201-261-4407; FAX 201-261-7573.
21. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
22. THE OWNER MUST OBTAIN A DISTRICT ISSUE REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORTS OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

SEDIMENT FENCE

**SOIL EROSION & SEDIMENT CONTROL PLAN
BLOCK 1708 - LOTS 1 & 9
CEBAK COURT
FOR
ALLENDALE SENIOR HOUSING
BOROUGH OF ALLENDALE, BERGEN CO., N.J.**

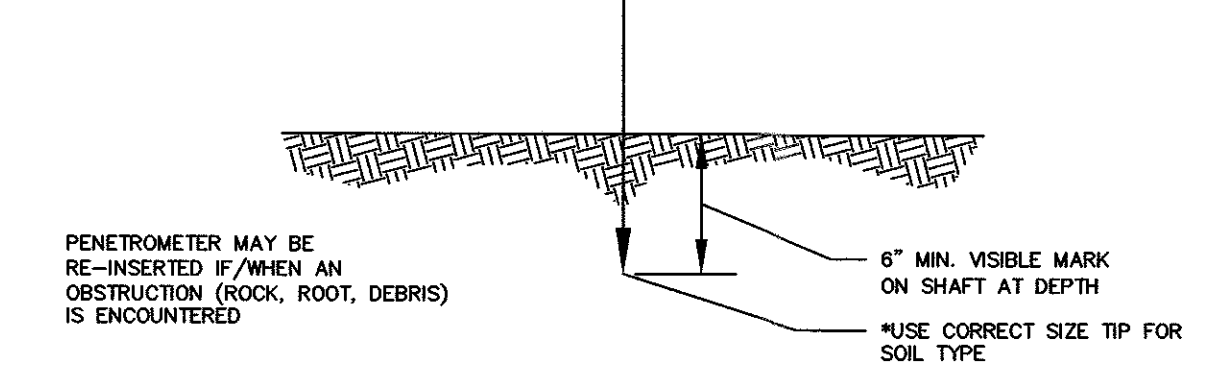
SCHWANEWEDER HALS & VINCE
PROFESSIONAL ENGINEERS & LAND SURVEYORS
111 LITTLETON ROAD - SUITE 200 - PARSIPPANY, N.J. - 07054
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LAND SURVEYOR LIC. NO. 29994
JOSEPH F. VINCE, PE, LS, PP
N.J. PROFESSIONAL ENGINEER AND
LAND SURVEYOR LIC. NO. 6842588

SCALE
1\"/>

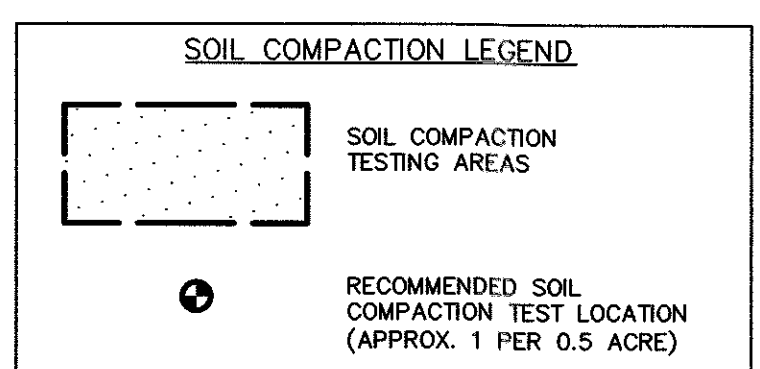
DATE: JULY 31, 2023
JOB NO.: 8701-1457
SHEET NO.: 4 OF 6

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE MUST PENETRATE AT LEAST 6\"/>



HANDHELD SOIL PENETROMETER TEST

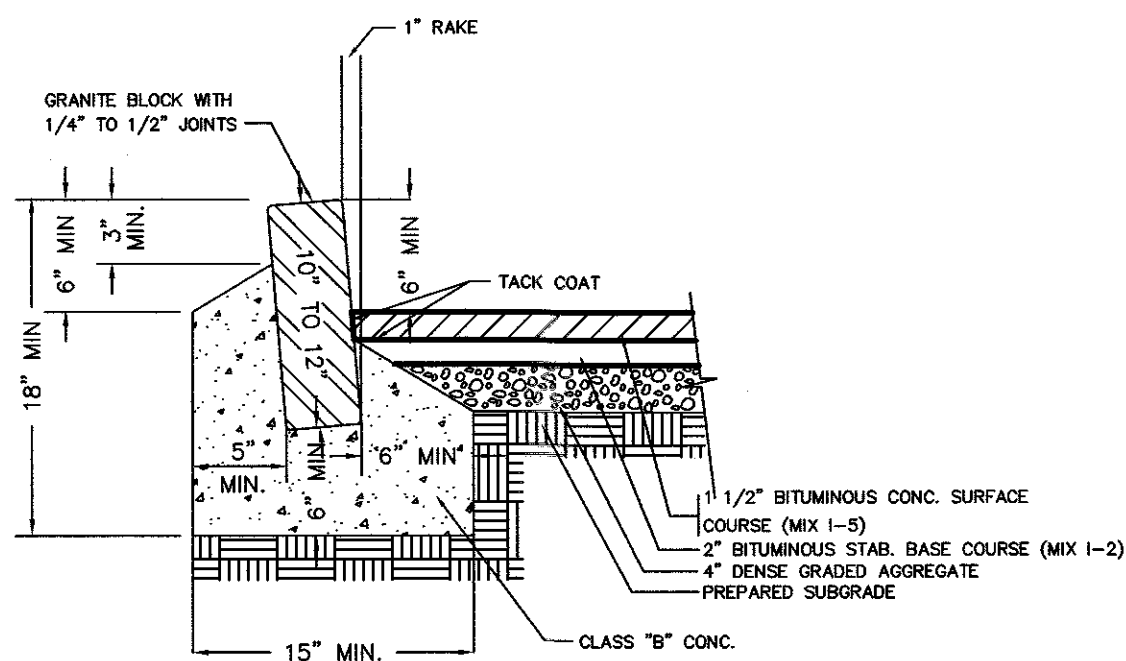
N.T.S.



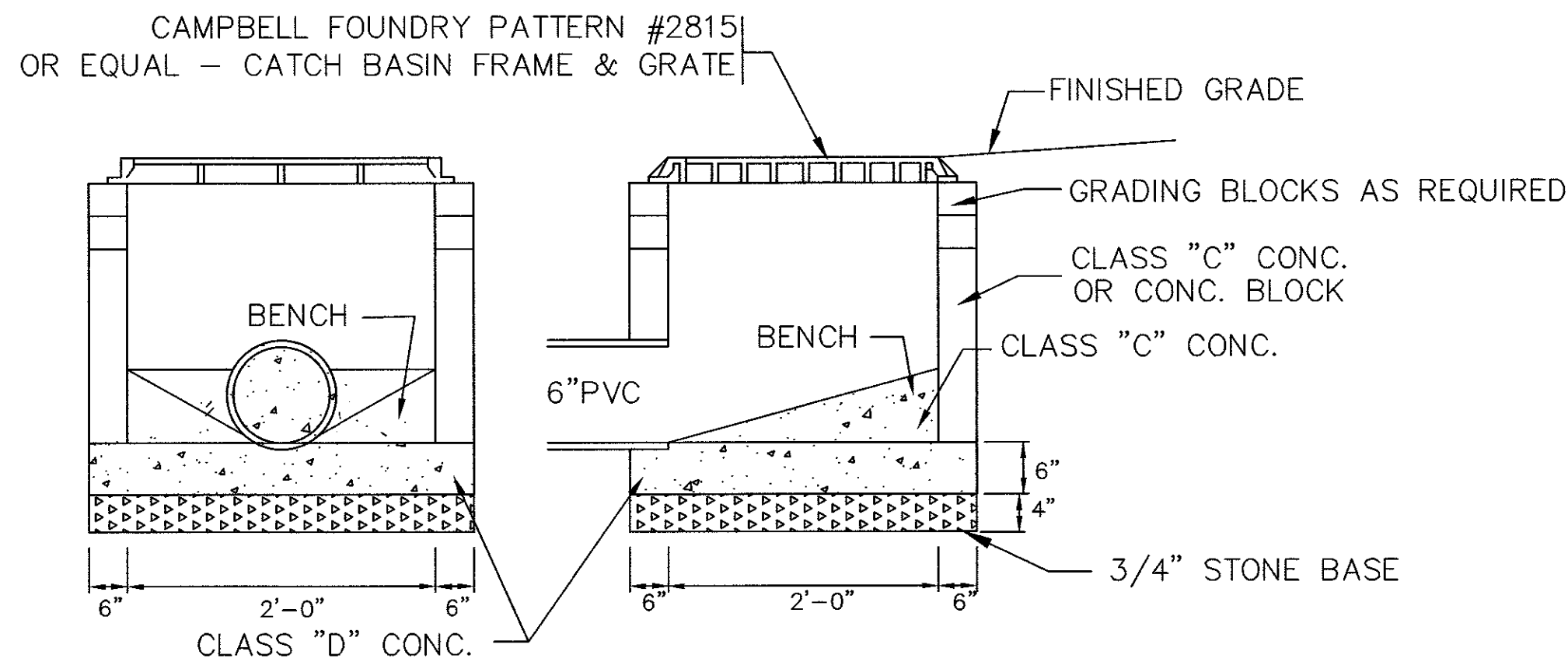
SEQUENCE OF CONSTRUCTION

STARTING DATE: SUMMER 2023

1. INSTALL FILTER BARRIERS AND STABILIZED CONSTRUCTION ACCESS. (1 WEEK)
2. CLEAR, STRIP AND STOCKPILE TOPSOIL FOR ALL CONSTRUCTION AREAS. (3 DAYS)
3. ROUGH GRADE BUILDING AREA. (1 DAY)
4. INSTALL STORM DRAINAGE SYSTEM AND UTILITIES. PLACE INLET PROTECTION FILTER AT ALL INLETS PRIOR TO BE COMING OPERATIONAL. (1 MONTH)
5. EXCAVATE AND INSTALL BUILDING FOUNDATIONS. (2 WEEKS)
6. INSTALL CURBING AND ROAD BASE. (1 WEEK)
7. CONDUCT SOIL COMPACTION TESTING AND REMEDIATE SUBSOIL AS NECESSARY. UNIFORMLY APPLY TOPSOIL (3 DAYS)
8. LANDSCAPE. PERMANENTLY STABILIZE ALL DISTURBED AREAS. (2 WEEKS)
9. REMOVE ALL TEMP. FILTER BARRIERS. (2 DAYS)

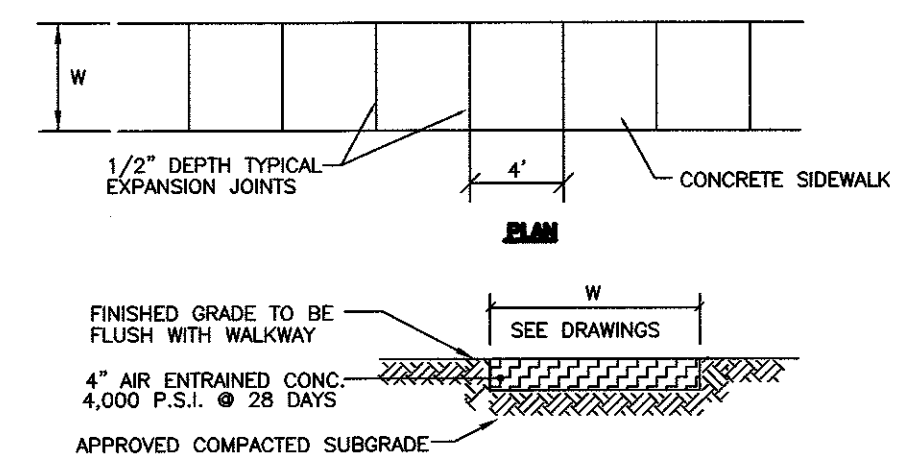


GRANITE (BELGIAN) BLOCK CURB AND PAVEMENT DETAIL



LAWN INLET DETAIL

NOTE : A 1/2" MORTAR COAT IS REQUIRED IF INLETS ARE TO BE BLOCK CONSTRUCTION.

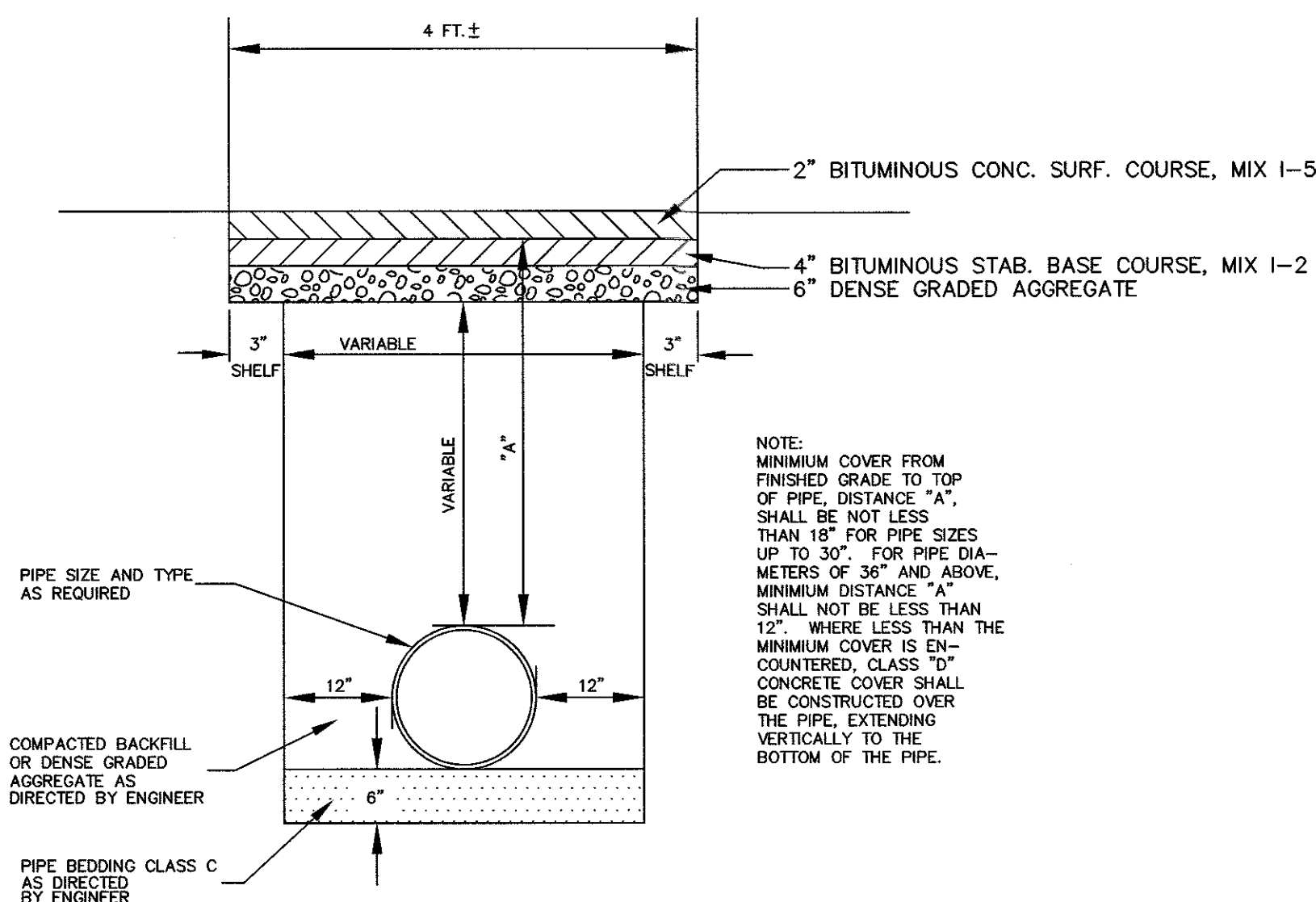


NOTE:
1. MAX. CROSS SLOPE 1/4" PER FOOT PITCHED TOWARDS ROADWAY.
2. PROVIDE 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT AT 12' INTERVALS.
3. REFER TO SITE PLAN FOR SIDEWALK WIDTH (W)

SIDEWALK DETAIL

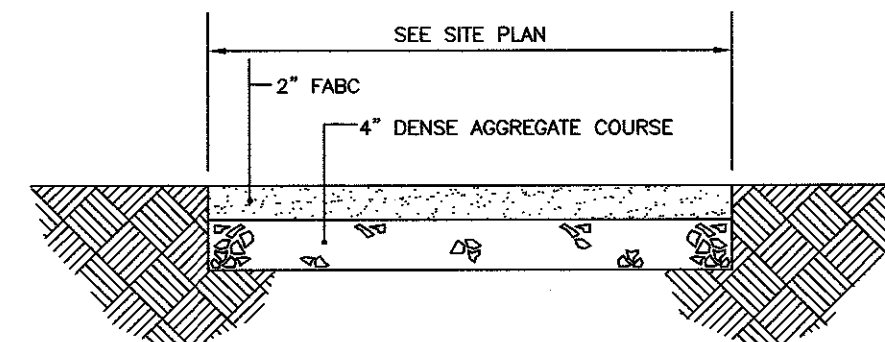
NOT TO SCALE

SIDEWALK_CONC_PLANANDPROFILE.DWG



TRENCH DETAIL FOR PIPE

N.T.S.

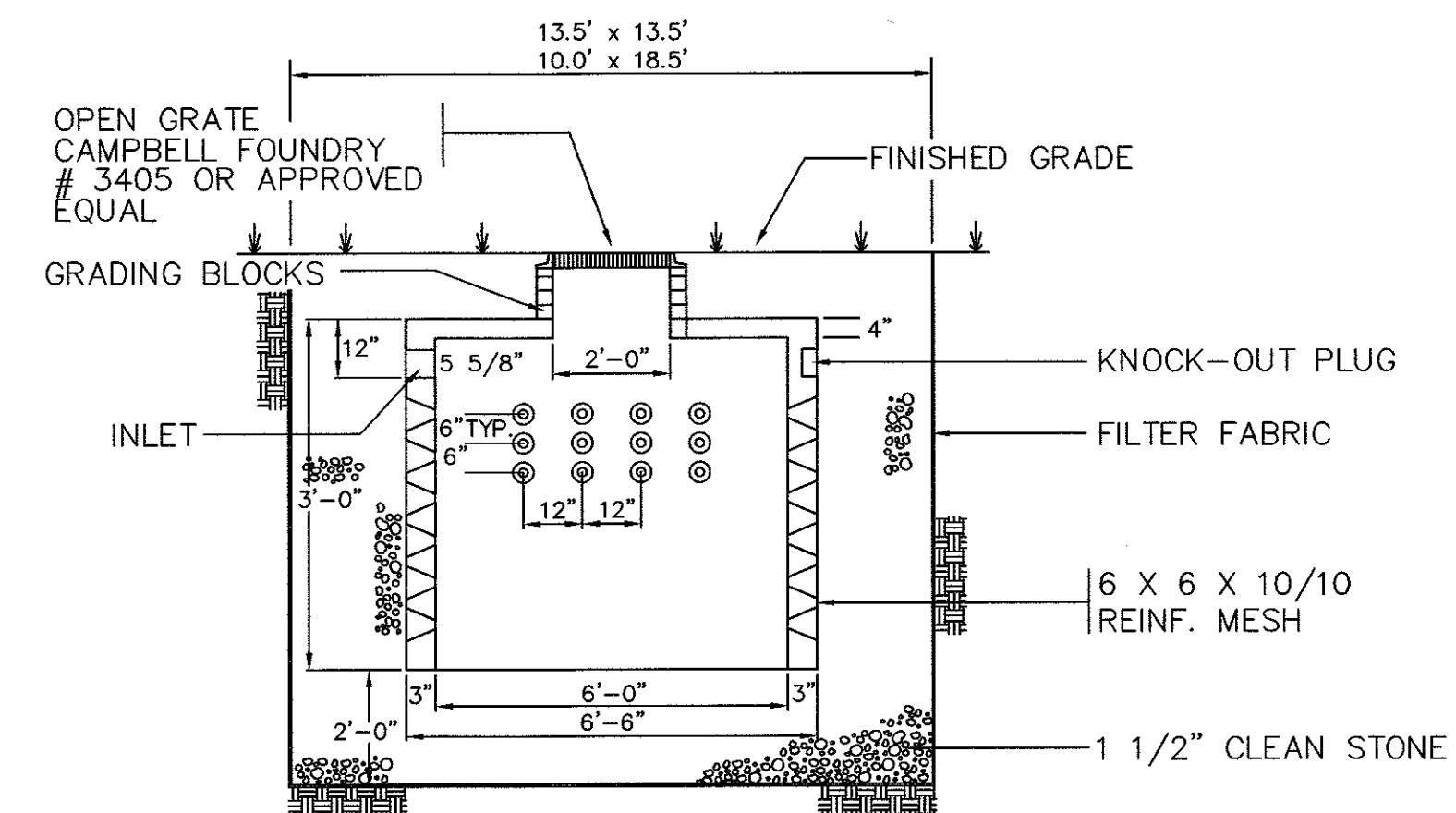


NOTE:
1. MIN. CROSS SLOPE 1/4" PER FOOT PITCHED TOWARDS ROADWAY.

ASPHALT SIDEWALK DETAIL

NOT TO SCALE

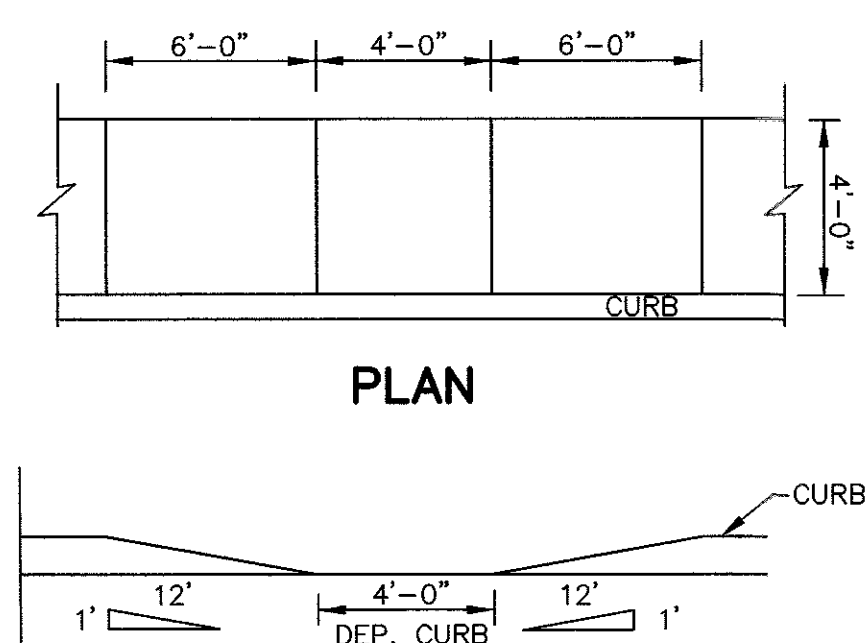
SIDEWALK_ASPHALT.DWG



DETAIL SEEPAGE PIT

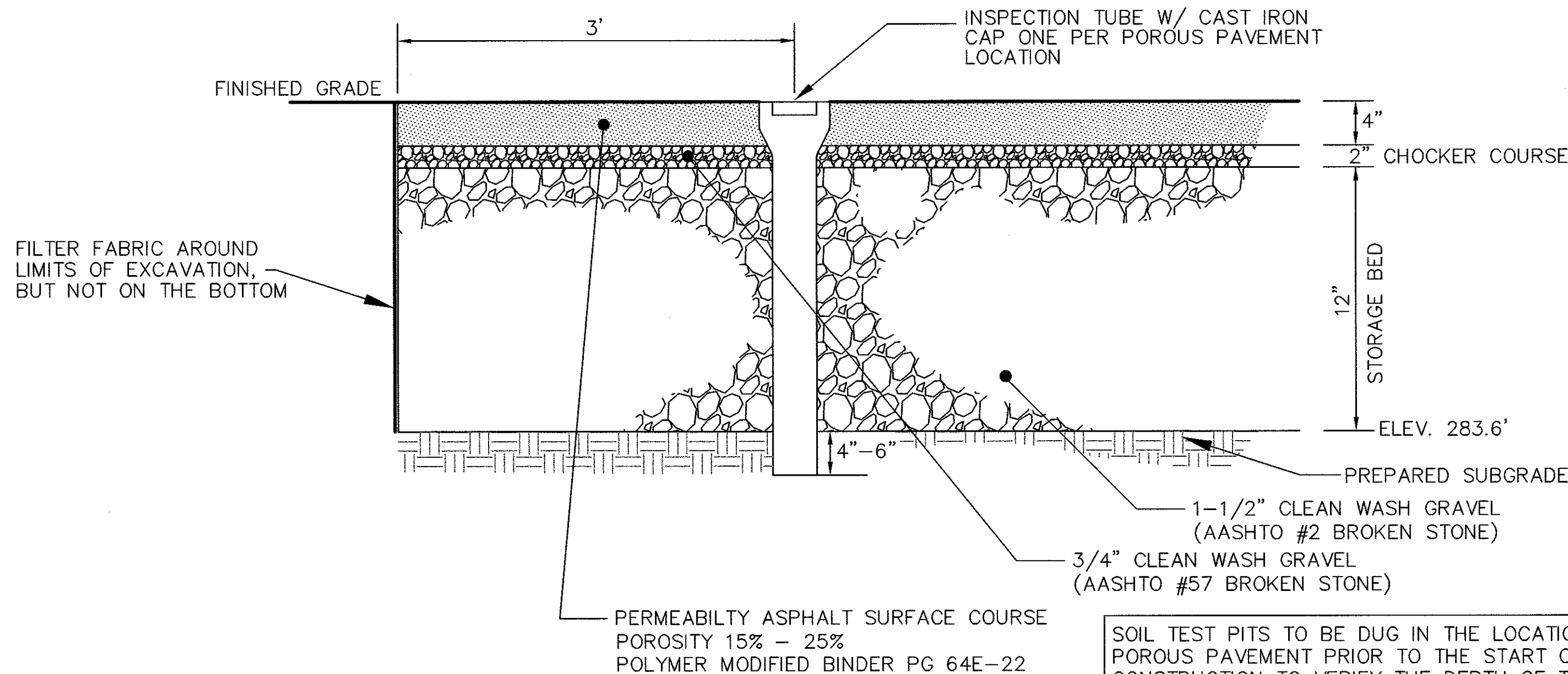
500 GALLON

CONTRACTOR TO NOTIFY ENGINEER 48 HOURS PRIOR TO INSTALLATION OF PIT FOR INSPECTIONS



HANDICAPPED RAMP DETAIL

N.T.S.



POROUS PAVEMENT DETAIL

NOTE:
1. MINIMUM AIR TEMPATURE FOR PAVING SHALL BE 50°.
2. ASPHALT SURFACE COURSE 200° - 220° F.
3. FINISH ROLLING SURFACE COURSE 110° - 140° F.

SOIL TEST PITS TO BE DUG IN THE LOCATION OF THE POROUS PAVEMENT PRIOR TO THE START OF CONSTRUCTION TO VERIFY THE DEPTH OF THE WATER TABLE AND SOIL CONDITIONS. THE DEPTH OF STONE BELOW THE PAVEMENT MAY BE INCREASED BASED ON THE RESULTS OF THE TEST PITS.

DETAILS
BLOCK 1708 - LOTS 1 & 9
CEBAK COURT
FOR
ALLENDALE SENIOR HOUSING
BOROUGH OF ALLENDALE, BERGEN CO., N.J.

SCHWANENEDE HALS & VINCE
PROFESSIONAL ENGINEERS & LAND SURVEYORS
111 LITTLETON ROAD - SUITE 200 - PARSIPPANY, N.J. - 07054
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Joseph F. Vince
JOSEPH F. VINCE, PE, LS, PP
N.J. PROFESSIONAL ENGINEER AND LAND SURVEYOR LIC. NO. GB42588

SCALE
AS SHOWN

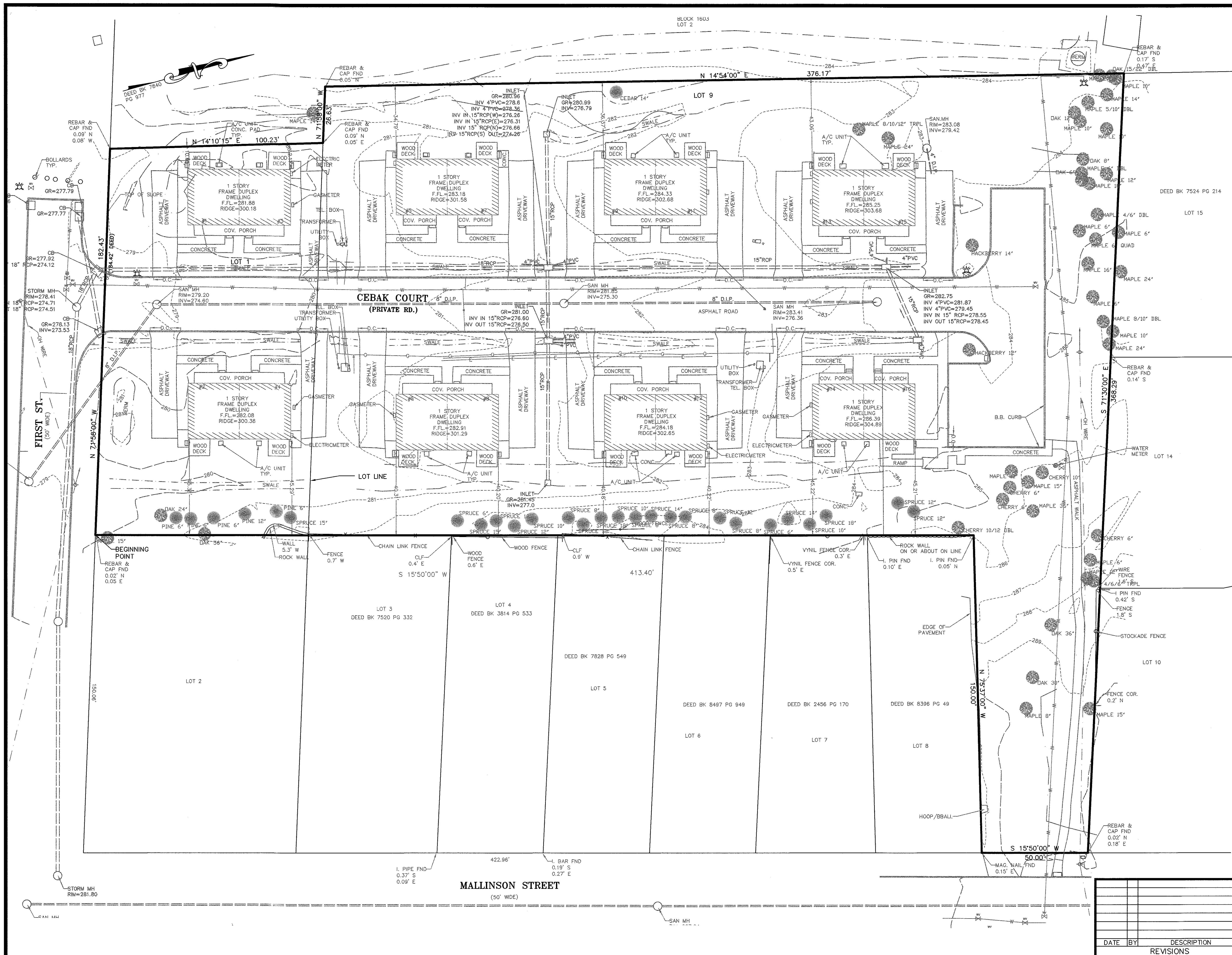
DATE: JULY 31, 2023

JOB NO: 8701-1457

SHEET NO: 5 OF 6

DATE	BY	DESCRIPTION
		REVISIONS

GRAPHIC SCALE



- SURVEY REFERENCE**
1. PROPERTY LINE INFORMATION FROM:
 - PROPERTY KNOWN AS LOTS 1 AND 9 BLOCK 1708 AS SHOWN ON A CURRENT TAX MAP SHEET 17 BOROUGH OF ALLENDALE, BERGEN CO., N.J.
 - A FIELD SURVEY BY SCHWANEWEDE HALS & VINCE ENGINEERING ON JAN. 12, 2023.
 - DEED BOOK 7840, PG 977
 - DEED BOOK 8383, PG 432
 2. LOT AREA: 107,269 S.F. / 2.46 Ac.
 3. ELEVATIONS BASED ON NAVD 1988 DATUM ESTABLISHED BY GPS OBSERVATIONS WITH NYDOT RTK CORRECTIONS.

SURVEY
BLOCK 1708 - LOTS 1 & 9
CEBAK COURT
FOR
ALLENDALE HOUSING INC.
BOROUGH OF ALLENDALE, BERGEN CO., N.J.

SCHWANEWEDE HALS & VINCE
PROFESSIONAL ENGINEERS & LAND SURVEYORS
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SCALE
1"=20'
0 20 40
GRAPHIC SCALE

DATE: JULY 31, 2023
JOB NO: 8701-1457
SHEET NO: 6 OF 6

DATE	BY	DESCRIPTION
		REVISIONS

DRAINAGE CALCULATIONS

For

ALLENDALE SENIOR HOUSING CORP.

Cebak Court
Block 1708 – Lots 1 & 9
Borough of Allendale, NJ
Bergen County, New Jersey

July 31, 2023

Prepared By

SCHWANEWEDE HALS & VINCE
ENGINEERING • LAND SURVEYING • PLANNING

111 Littleton Rd., Suite 200
Parsippany, New Jersey 07054
201-337-0053



David A Hals, P.E., L.S., P.P., C.M.E.
N.J. Professional Engineer & Land Surveyor
License Number GB29994

PROJECT DESCRIPTION

The applicant is proposing to add two buildings and parking improvements to the existing senior housing development on Cebak Court.

EXISTING CONDITIONS

The property is located on the northerly side of First Street in the Borough of Allendale, Bergen County, N.J. The site is currently improved with Cebak Court, eight buildings with decks, and driveways. The site is identified as a portion of Lots 1 and 9 in Block 1708. The property contains 107,269 S.F.; 2.46 acres. There are no environmental restrictions that have been identified which may limit the development of the site.

The existing impervious area is 39,218 SF.

The soil survey classifies the soils found on the site as Dunellen-Urban Land complex (DuuB) HSG-A. A map showing the site on the soil survey has been attached to the end of this report.

PROPOSED DEVELOPMENT

The proposed development consists of 2 new residential buildings with an expanded parking area.

The proposed project will disturb less than 0.51 acres. The proposed impervious coverage is 43,719 SF or an increase of 4,501 S.F. (0.10 acres). The proposed project does not increase the impervious coverage by more than 0.25 acres and does not disturb more than one acre. Therefore the project is not classified as a major development according to Chapter 231 of the Stormwater Control ordinance.

Seepage pits will be provided to control the quantity of runoff from the proposed building roofs.

Porous pavement is provided in the proposed parking spaces to improve the water quality from the site and to provide groundwater recharge. The volume of runoff of the water quality storm and a 3" rainfall is provided in the stone under the porous pavement areas.

METHODOLOGY

The Rational Method was used to calculate the runoff from the site. Rainfall intensities were determined using the NJDEP IDF curve. The time of concentration was calculated using the nomograph published by the New Jersey Highway Authority, 1957, with a minimum of 10 minutes. Runoff coefficients were selected the 100-year 60 minute storm = 3". The runoff coefficients used for the impervious: $c=1.0$

Porous Pavement

Area of new parking = 1,485 S.F.

Volume = $1,485 \text{ SF} \times 0.25' (3") = 371 \text{ CF}$

Stone volume required = $371 \text{ CF} / 40\% (\text{voids}) = 927 \text{ CF} / 1,485 \text{ SF} = 0.62'$

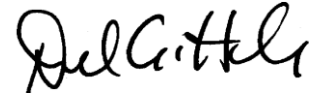
Use 12" stone beneath porous pavement.

Schwanewede Hals & Vince

111 Littleton Road, Suite 200
Parsippany, New Jersey 07054
staff@halsengineering.com

Professional Engineering and Land Surveying
Phone (201) 337-0053

Prepared By:



David A. Hals, PE, LS, PP, CME
NJPE&LS Lic. No. 29994

Date 7/31/2023

DRAINAGE CALCULATIONS

Cebak Court
Borough of Allendale

Block 1708 Lot 1 & 9

PROJECT DESCRIPTION

Design Seepage Pits for Drainage of Proposed Roofs

DRAINAGE DESIGN

Seepage pits will be utilized to collect and control runoff

Seepage Pit Design Criteria

Time of Concentration: $T_c = 10$ Min.

Design Storm: 10-Year - 60 Min storm
 $i = 3"/\text{hr.}$

Use Rational Method - $Q = CiA$

EXISTING COVERAGE

Structures	SF
Pavement	SF
Deck	SF
Walks	SF
Porch	SF
A/C Unit	

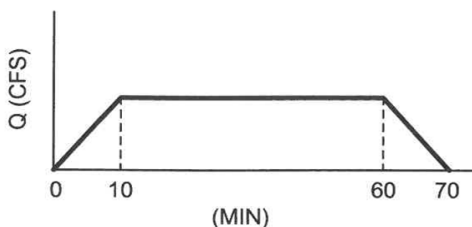
Total = 0 / 43560 SF/Acre
= 0.00 Acres

PROPOSED COVERAGE

Structures	3,212 SF
Pavement	SF
Deck	SF
Walks	SF
Porch	SF
A/C Unit	
Parking	

Total = 3,212 / 43560 SF/Acre
= 0.07 Acres

EXISTING RUNOFF

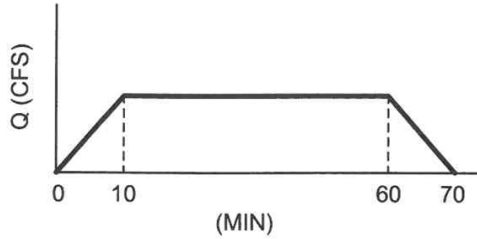


$$Q = CiA = (0.95) \times (3.0) \times 0.00 \\ = 0.00 \text{ CFS}$$

$$\text{Volume} = (\text{Min})(\text{Sec/Min})(\text{Cfs}) \\ = (60)(60) \times 0.00$$

$$\text{Volume} = 0 \text{ CF}$$

PROPOSED RUNOFF



$$Q = CiA = (0.95) \times (3.0) \times 0.07$$

$$= 0.20 \text{ CFS}$$

$$\text{Volume} = (\text{Min})(\text{Sec/Min})(\text{Cfs})$$

$$= (60)(60) \times 0.20$$

$$\text{Volume} = 720 \text{ CF}$$

STORAGE REQUIRED

$$\text{Proposed Runoff Volume} = 720 \text{ CF}$$

$$\text{Existing Runoff Volume} = 0 \text{ CF}$$

$$\text{Storage Volume} = 720 \text{ CF}$$

$$\text{Check 3" Rainfall on the Proposed Roof} = 3,212 \text{ SF}/43560 \text{ SF/Acre}$$

$$= 0.07 \text{ Acre}$$

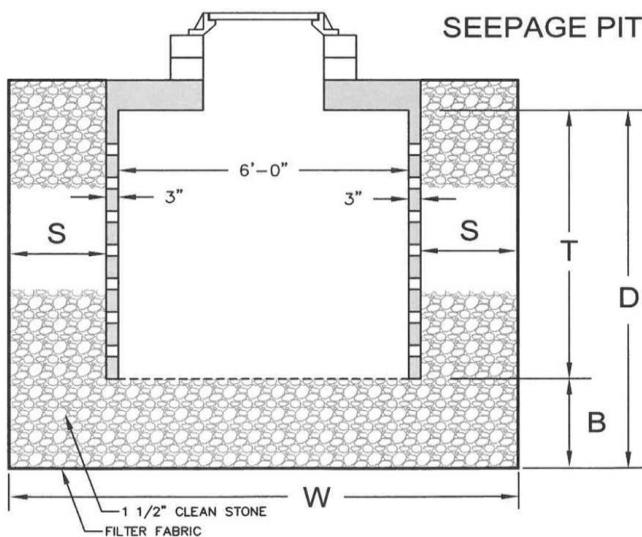
$$Q = CiA = (0.95)(3.0) \times 0.07$$

$$= 0.21 \text{ CFS}$$

$$\text{Vol} = (60)(60) \times 0.21$$

$$= 757 \text{ CF}$$

$$\text{STORAGE REQUIRED} = 757 \text{ CF}$$



$$T = \text{Tank height} = 2.67$$

$$S = \text{Stone thickness} = 3.5$$

$$B = \text{Stone depth below} = 2$$

$$D = T + B = 4.7$$

$$W = 6.5' + (2) \times S = 13.5$$

$$\text{Pit Volume} = [\pi(6^2)/4] \times T = 75$$

$$\text{Tank Volume} = [\pi(6.5^2)/4] \times T = 89$$

$$\text{Stone Volume} = (W \times W \times D) - \text{Tank Vol.}$$

$$= 851$$

$$- \text{Tank} = 89$$

$$\text{Stone Volume} = 763$$

$$\text{Stone Voids} = \text{Stone Vol.} \times 40\%$$

$$= 305$$

$$\text{Total Pit Volume} = \text{Pit Vol.} + \text{Stone Voids}$$

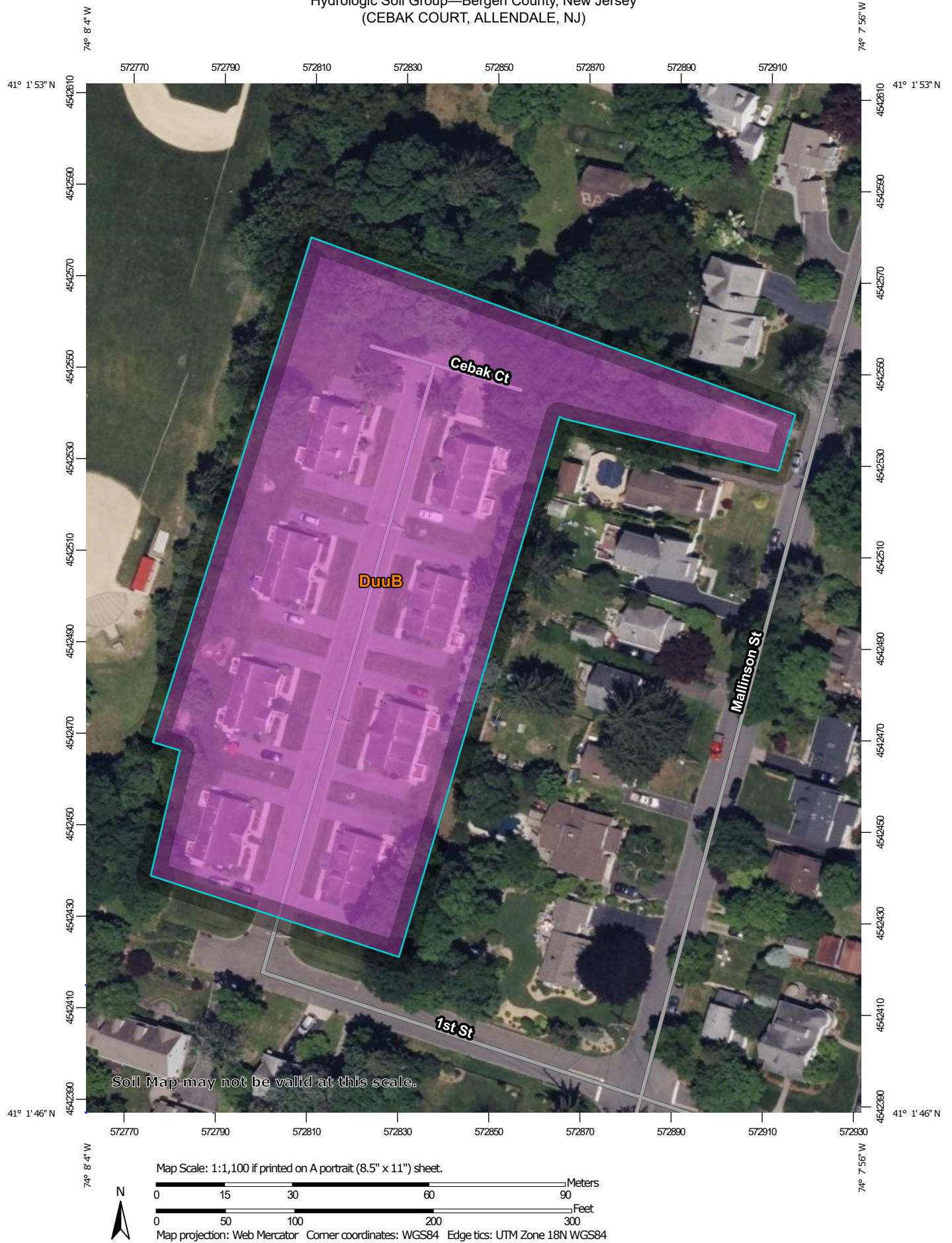
$$= 380$$

$$500\text{-gallon seepage pits required} =$$

$$2$$

$$761 > 757$$

Hydrologic Soil Group—Bergen County, New Jersey
(CEBAK COURT, ALLENDALE, NJ)



Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
DuuB	Dunellen-Urban land complex, 3 to 8 percent slopes	A	2.4	100.0%
Totals for Area of Interest			2.4	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.


Rating Options

Aggregation Method: Dominant Condition

Memorandum

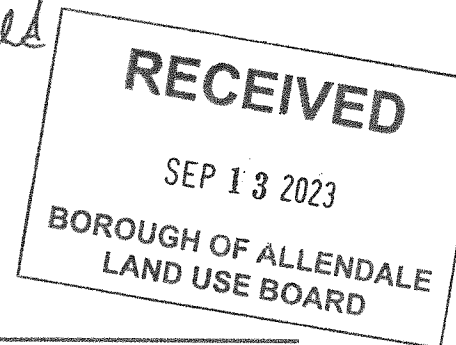
To: Borough of Allendale Land Use Board
L. Garofalo, Board Secretary / C. Botta, Board Attorney

Cc: Allendale Senior Housing Corp, Applicants / D. Hals, Applicant's Engineer /
B. Whitaker, Applicant's Attorney

From: Michael Vreeland, Board Engineer 

Date: September 12, 2023

Re: LUB 2023-08 – Allendale Senior Housing Corp
Preliminary and Final Site Plan
Cebak Court
Block 1708, Lot 1 & 9
ALN-1001.064



We are in receipt of the following information pertaining to the above-referenced application:

- A. Land Use Application and associated documents.
- B. Report, entitled, "Drainage Calculations For Allendale Senior Housing Corp., Cebak Court, Block 1708 – Lots 1 & 9, Borough of Allendale, NJ, Bergen County, New Jersey,". The report prepared by Schwanewede Hals & Vince (David A Hals, PE, LS, PP, CME) is dated July 31, 2023.
- C. Architectural Plan Set entitled, "Allendale Housing Inc., Block 1708-Lots 1&9, Cebak Ct, Allendale, NJ". The plans prepared by Z+ Architects, LLC (Michael Scro) consist of 3 sheets and are dated August 2, 2023.
- D. Site Plan Set (including copy of survey), entitled, "Preliminary & Final Site Plan, Allendale Senior Housing Corp., Block 1708-Lots 1 & 9, Cebak Court, Borough of Allendale, Bergen Co., NJ". The plans prepared by Schwanewede Hals & Vince (David A Hals, PE, LS, PP) consist of 6 sheets and are dated July 31, 2023.

We have reviewed the information along with the Borough Code (Code), visited the site and offer the following comments:

1. INTRODUCTION

OFFICE LOCATIONS

www.vancleefengineering.com

Lebanon, NJ
908-735-9500

Hamilton, NJ
609-689-1100

Toms River, NJ
732-573-0490

Freehold, NJ
732-303-8700

Bethlehem, PA
610-332-1772

Hillsborough, NJ
908-359-8291

Mt. Arlington, NJ
862-284-1100

Phillipsburg, NJ
908-454-3080

Doylestown, PA
215-345-1876

Pottstown, PA
610-323-4040

- 4.11. The Designer is responsible for ensuring the effectiveness of the proposed stormwater management measures and shall provide sufficient regular oversight during their construction.
- 4.12. Infiltration stormwater management measures must be protected during construction to prevent accumulation of sediment.
- 4.13. Infiltration systems must be installed 2 feet above the seasonal high groundwater table (SHGW).
- 4.14. Pretreatment can extend the functional life of infiltration stormwater management measures. Guards, sumps, traps and/or filters with maintenance access should be considered, wherever practical, to minimize the amount of coarse particles and vegetation that may enter the stormwater system.
- 4.15. To demonstrate adequate soil permeability and document the depth to the SHGW, certified soil log(s) or percolation test(s) at the location of the proposed stormwater management system will need to be provided. The results will need to be reviewed and approved by the Designer and then provided to the Borough. Should unfavorable conditions be encountered, the Designer will need to provide an alternative means to address and manage stormwater.
- 4.16. The Applicant/Owner shall ensure stormwater runoff does not negatively affect neighboring properties during and after construction.
- 4.17. The Applicant/Owner will be responsible for ensuring the proposed stormwater management system is regularly and effectively maintained without negative impacts to downstream properties.
- 4.18. The Applicant/Owner shall ensure imported soils meet all applicable NJDEP Residential Standards.
- 4.19. A manhole should be provided at the end of the sewer main extension. In addition, the existing sewer main should be TV inspected prior to constructing the extension.
- 4.20. We assume the Applicant/Owner is responsible for maintenance of the sewer main. This should be confirmed.
- 4.21. Proposed water system modifications, water service and connections will need to be coordinated with Veolia.
- 4.22. "Will Serve" confirmation should be provided from each of the utilities.
- 4.23. The area of disturbance should be added to the Soil Erosion & Sediment Control Plan.
- 4.24. Additional dimensions, spot elevations and details will need to be added to the plans.
- 4.25. We recommend an "As-Built Plan" be required prior to requesting a certificate of occupancy.

Please contact me should you have any questions.

The subject ±2.46 acre is currently developed with 8 duplex buildings (16 units) and associated amenities. The property is located within the Borough's SC Redevelopment Area: Senior Citizen Housing Zone.

The application and plans propose 2 additional duplex buildings (4 additional units), modifications to Cebak Court (which is noted to be a private road) as well as associated amenities.

2. TECHNICAL COMPLETENESS

We have reviewed the application for technical completeness in accordance with the Application Checklist. Based on the nature of the proposal, we believe the Applicant's submission is sufficient to conduct technical review.

We defer to the Land Use Administrator and the Board Attorney regarding administrative and legal completeness matters.

3. ZONING

The Addendum indicates the SC Redevelopment Area was created from the 1991 Master Plan Amendment adopted January 17, 1991. The zone provided for a maximum unit density of 10 units per acre and at least 15 units. The Code currently does not include specific standard for the zone.

4. TECHNICAL REVIEW COMMENTS

- 4.1. Testimony should address proposed building finishes, colors, and materials.
- 4.2. Testimony should address proposed HVAC units, generators and other exterior mechanical equipment.
- 4.3. Testimony should address exterior lighting as well as compliance with Code requirements.
- 4.4. Testimony should address parking and compliance with RSIS requirements.
- 4.5. Testimony should address the type of vehicle that is expected to access the site and confirm adequate circulation has been provided.
- 4.6. Testimony should address managing solid waste and recyclables.
- 4.7. Testimony should address tree removal and replacement as well as proposed landscaping.
- 4.8. The Project proposes to increase impervious coverage and a stormwater management system (in the form of seepage pits connected to roof drains and porous pavement) as well as drainage calculations have been provided.
- 4.9. Infiltration system design should include an analysis of hydraulic impact on the groundwater table.
- 4.10. A maintenance plan will need to be provided for the proposed stormwater management measures.

BOROUGH OF ALLENDALE LAND USE BOARD
APPLICATION FOR DEVELOPMENT

Application No. _____ Application Perfected _____
Filing Date _____ Nature of Disposition _____
Time Limitation Date _____ Date of Disposition _____
Notice of Incomplete Application _____

SECTION I. APPLICANT HEREBY APPLIES FOR:

_____ Concept Review	Fee Paid _____
_____ Preliminary Site Plan Approval	Legal & Engrg. Escrow Paid _____
_____ Final Site Plan Approval	Taxes Paid _____
_____ Sketch Plan Review and Classification	
<u>X</u> _____ Minor Subdivision Approval	
_____ Major Preliminary Subdivision	
_____ Final Subdivision	
_____ Variance Relief Pursuant to 40:55D- 60 (c)	
_____ Subdivision or Site Plan Deviation relief	
_____ Modification or Waiver of Subdivision or Site Plan details	
_____ Conditional Use Approval	
_____ Other (Please Specify) _____	

SECTION II.

A. APPLICANT INFORMATION:

1. Name of Applicant: Barry Poskanzer Phone: 201-445-2322
Address of Applicant: 40 Carteret Road, Allendale, NJ
(If Applicant is other than an individual, complete Appendix A – Disclosure Statement)
2. Name and Address of Applicants Attorney, If Any:
Bruce E. Whitaker, Esq, McDonnell & Whitaker, LLC
245 E. Main Street, Ramsey, NJ 07446, 201-934-0110
3. Name and Address of owner of premises : Same as Application
4. Correspondence is to be Addressed and Mailed as Follows :
Bruce E. Whitaker, Esq, 245 E. Main Street, Ramsey, NJ
5. The Premises Which Are the Subject of this Application Are Known as :
40 & 42 Carteret Road, Allendale, NJ and
are shown as Lot 15 & 14 in Block 1503.01 on Sheet # _____ of
_____, Tax Map.
6. The size of ~~the premises~~ ^{Lot 15} is 163,632 square feet; 3.76 acres.
Frontage: 155' ; Depth: 466' . (40 Carteret Road)

The size of Lot 14 is 84,236 square feet; 1.93 acres.
Frontage: 132'; Depth: 333' (42 Carteret Road)

7. The zone district in which premise are located is AA Residential
8. Now located on premise is a 40 Carteret Road-single family dwelling/42 Carteret Road-vacant land
9. The date of the last deed of record is April 9, 2014, which deed was recorded in the Deed Book 1692 at page 137-143 and Deed Book 1692 Page 144-149
10. The grantee(s) named in said deed were Barry Poskanzer.
11. The interest of the applicant in premise, if other than the owner, is:

B. SUBJECT PROPERTY SITE DATA

Location: 40 Carteret Road, Allendale, NJ -homestead lot
42 Carteret Road, Allendale, NJ Vacant Land
(Street Address, Cross Streets or Other Identifications)

Tax Map: Page(s): _____ Block(s): 1503.01 Lot(s): 15 & 14

Dimensions:

See Subdivision Map

Frontage: _____ feet Depth: _____ feet Total Area: _____ feet/acres

Present Zoning District: AA Residential

Present Use of Subject Property: single family dwelling (40 Carteret) & vacant land (42 Carteret)

Is the property located on a Municipal X County _____ or Private _____ Road?

Proposed Use/Change Realignment of lot line

Describe in detail the exact nature of the application and to the changes to be made to the subject property, including proposed use of premise.

See Addendum attached

Proposed Number of Buildings: 0

Proposed Gross Floor Area of all structures: N/A Sq. Ft.

Percentage of coverage by buildings: N/A

Percentage by impervious cover: N/A

Number of existing lots: 2 Proposed number of lots: 2

Proposed No. of dwelling units: 1

Proposed area to be disturbed : 0 Sq. Ft.

Existing Building Height: N/A

Proposed Building Height: N/A

Anticipated Number of Employees per Shift: N/A Hours of Operation: _____

Restrictions, covenants, easements, association by-laws, existing or proposed on property:

Existing: Yes No Proposed: **See Addendum attached**

Attach legible copies of deed restrictions. **None Presently**

Does the within proposal affect a Municipal or State designated historic site and/or building? Yes No **X**

C - ZONING DATA: SEE ZONING SCHEDULE ANNEXED AS APPENDIX C

(State current zone in which lot(s) is located)

AA Residential

D - EXISTING CONDITIONS: (Attach additional sheets containing responses to the following);

1. Are there any buildings or signs now on the site? Yes **X** No If yes, which if any, is the applicant proposing to remove. **No buildings proposed to be removed.**

2. Is the applicant proposing to erect new signs on the site? Yes No **X** If yes, describe proposed sign locations, sign design, dimensions as depicted on plans and state whether the proposed sign(s) comply with Borough sign ordinance.

3. Is the applicant proposing the removal of any existing fences? Yes No **X** Describe and state whether proposed fence(s) comply with the Borough Fence Ordinance.

4. Is the site in conformance with the Zoning Ordinance of the Borough? **Yes**

5. Identify the soils at the site, using the U.S. SCS descriptions. What percentage of the site is covered by each soil type. **N/A**

Soil Map Unit	Percentage Cover	Acidity	Erodibility	Drainage
---------------	------------------	---------	-------------	----------

6. Describe dominant flora and fauna at the site. **N/A-No change, no disturbance**

7. Are there threatened or endangered wildlife and/or vegetative species at the site? Yes _____ No **X**
8. What is the source of information leading to your conclusions about threatened or endangered wildlife or species?
Two residential lots exist and will remain. No disturbance to take place. This application is merely for the realignment of a lot line.

9. If endangered or threatened species are associated with the site, list them below. N/A

10. Percentage of site with N/A
0 to 10% slopes:
10 to 15% slopes:
15 to 20% slopes:
20% slopes:

E. REVISIONS TO APPROVED PLANS: Please indicate prior Allendale LUB application numbers, the original requirements of the approved plan and the requested change or revision (attach separate sheet if necessary).

N/A

Section III. APPLICATION INFORMATION

A. Does the current owner or the applicant now own or have any interest in any other property which adjoins the premises which are the subject of this application? _____ Yes ☒ No
(If yes, describe the contiguous property by reference to the current tax map of Borough of _____)

B. Have the premises which are the subject of this application been the subject of Land Use Board action?
☒ Yes _____ No
(If yes, please attach a copy of the Land Use Board resolution to this application)

C. Are the premises which are the subject of this application located within 100 feet of a brook or located on a county road? ☒ Yes _____ No. Do the said premises consist of more than one acre in area?
☒ Yes _____ No – Does the proposed improvement on said premises involve the installation of more than five parking spaces? _____ Yes ☒ No

D. Is any portion of the premises which are the subject of this application intended to be dedicated or reserved for the public use? _____ Yes ☒ No

E. If this application is for final subdivision approval, does the final plat follow exactly the preliminary plat in regard to details and area covered? ☒ Yes _____ No If not, indicate material changes

F. If this application is for variance relief, has a decision been rendered or an order issued by the Borough Director of Buildings and Inspections? _____ Yes _____ No No variances required

- I. The details of the within application are shown on a certain plan entitled
Proposed Minor Subdivision prepared by DMC Associates, Inc dated 8/3/23

Said plan is comprised of 1 sheets.

Section IV. INFORMATION TO BE SET FORTH IN APPENDIX B.

- i. If this application is for various relief, pursuant to 40:55D-60 (c), please set forth in Appendix B, Section 1, hereof, all of the information requested.
- ii. If this application is for subdivision or site plan standards relief, please set forth in Appendix B, Section 2 hereof, all of the information requested.
- iii. If this application is for modification or waiver of site plan or subdivision details, please set forth in Appendix B, Section 3 hereof, all of the information requested.

Section V. AUTHORIZATION BY OWNER

Barry Poskanzer is hereby authorized to file the within application with
the Borough Clerk of the Borough of Allendale.

Dated: 8/9/23


Barry Poskanzer
OWNER

Section VI. CERTIFICATION BY APPLICANT

The undersigned applicant does hereby certify that all of the statements contained in this application are true.

Dated: 8/9/23


Barry Poskanzer
APPLICANT

Borough of Allendale Land Use Board

Disclosure Statement – Appendix A

Name of Applicant: Barry Poskanzer
Address: 40 Carteret Road City: Allendale
State: NJ Zip: 07401 Phone: (201) 445-2322
Applicant is a Corporation Partnership ☒ Individual

Pursuant to N.J.S.A. 40-55D-48.1, the names and addresses of all persons owning 10% of the stock in a corporate applicant or 10% interest in any partnership applicant must be disclosed. List names, addresses and partnership interest here.

Name: _____ Interest % _____
Address: _____ City: _____ State: _____
Name: _____ Interest % _____
Address: _____ City: _____ State: _____
Name: _____ Interest % _____
Address: _____ City: _____ State: _____
Name: _____ Interest % _____
Address: _____ City: _____ State: _____
Name: _____ Interest % _____
Address: _____ City: _____ State: _____

INTEREST OF APPLICANT (Owner, Lessee, Etc.) Owner

NAME OF OWNER: (If Different from Applicant) _____

Name of Applicant's ATTORNEY: Bruce E. Whitaker, Esq, McDonnell & Whitaker, LLC

Address: 245 E. Main Street City: Ramsey
State: NJ Zip: 07446 Phone: (201) 934-0110

Name of Applicant's ARCHITECT: N/A

Address: _____ City: _____
State: _____ Zip: _____ Phone: () _____

Name of Applicant's SURVEYOR: DMC Associates, Inc, Robert Cigol, PLS

Address: 6 Carey Avenue City: Butler

State : NJ Zip: 07405 Phone: 973) 838-9187

Name of Applicant's ENGINEER: N/A

Address: _____ City: _____

State: _____ Zip: _____ Phone: () _____

Name of Applicant's PLANNING CONSULTANT: N/A

Address: _____ City: _____

State: _____ Zip: _____ Phone: () _____

Name of Applicant's TRAFFIC ENGINEER: N/A

Address: _____ City: _____

State: _____ Zip: _____ Phone: () _____

Borough of Allendale Land Use Board
Variance or Waiver Relief – Appendix B

N/A

Section 1 – APPLICATION FOR VARIANCE RELIEF

In connection with your application for variance relief, please set forth:

1. The section(s) of the ordinance regulations of the Borough of _____ from which variance relief is requested: _____

2. The nature of the variance relief requested: _____

3. In what manner, in this particular case, the strict application of the foregoing ordinance regulations will result on practical difficulties or undue hardship upon you inconsistent with the general purpose and intent of said regulations: _____

4. In what manner, in this particular case, there exist exceptional circumstances or conditions applicable to the premises which are the subject of this application, which do not apply generally to other premises located in the same zone district or neighborhood: _____

5. In what manner, in this particular case, the granting of the variance relief requested will not be substantially detrimental to the public welfare or injurious to the premises in the area in which the premises which are the subject of this application are located: _____

Section 2 – APPLICATION FOR SUBDIVISION OR SITE PLAN RELIEF FROM DESIGN STANDARDS

In connection with your application for preliminary subdivision deviation relief or preliminary site plan deviation relief, please set forth:

1. The section(s) of the Residential Site Improvement Standards (RSIS) of the Borough of Allendale Land Subdivision or Site Plan Ordinances from which deviation relief is requested: _____

2. In what manner, in this particular case, this literal enforcement of the provisions of said sections is impracticable and will exact undue hardship because of peculiar conditions pertaining to the premises which are the subject of this application: _____

Section 3 – APPLICATION FOR MODIFICATION OR WAIVER OR SITE PLAN AND/OR SUBDIVISION
DETAILS.

In connection with your application for modification or waiver of site plan and/or subdivision details, please set forth:

1. The Borough Ordinances or RSIS provision of requiring site plan and/or subdivision details which are purposely omitted from your development plan and the reasons for such omission:

2. The peculiar conditions applicable to the premises which are the subject of this application or applicable to the proposed construction thereon, which render the omitted site plan and/or subdivision details unnecessary to properly evaluate your site plan and/or subdivision:

3.15.2018

Borough of Allendale Land Use Board

Variance or Waiver Relief – Appendix C

N/A

Schedule	Existing	Required	Provided
----------	----------	----------	----------

Lot Area (Sq. Ft.)			
--------------------	--	--	--

Lot Width (Sq. Ft.)			
---------------------	--	--	--

Lot Depth (Sq. Ft.)			
---------------------	--	--	--

Max. Coverage (%)			
-------------------	--	--	--

Improved Lot Coverage (%)			
---------------------------	--	--	--

Max. Bldg. Height (Stories/Feet)			
----------------------------------	--	--	--

Min. Front Depth (Ft.)			
------------------------	--	--	--

Min. Rear Depth (Ft.)			
-----------------------	--	--	--

Min. Side (Sum Both Each-Min) (Ft.)			
-------------------------------------	--	--	--

Floor Area Ratio			
------------------	--	--	--

Parking Stalls			
----------------	--	--	--

Handicapped stalls			
--------------------	--	--	--

Loading Spaces			
----------------	--	--	--

Garage(s)/Stalls			
------------------	--	--	--

Distance of the nearest part of the lot(s) to the nearest residential zone			
--	--	--	--

Schedule A

CHECKLIST FOR SUBMISSIONS OF DEVELOPMENT APPLICATIONS

LAND USE BOARD OF THE BOROUGH OF ALLENDALE

NAME OF APPLICANT: Barry Poskanzer
 NAME OF OWNER OR DEVELOPMENT NAME: Same
 LOT 14 & 15, BLOCK 1503.01
 DATE OF APPLICATION _____

An application for development shall not be considered complete until all the material and information specified below has been submitted unless, upon receipt of written request from the applicant, a specific requirement is waived by the municipal agency, or the agency otherwise deems a requirement inapplicable to the application. Certification of completeness or a Notice of Deficiencies shall be made, and any request for waiver shall be granted or denied, within 45 days of the filing of the application with the municipal agency.

No public hearing shall be scheduled for an application until the same has been deemed complete by the appropriate administrative officer or otherwise as permitted by the law.

Schedule "A" – General Requirements.

(Applicable to all applications)

1. Fifteen (15) copies of the appropriate application form(s), completely filled in and filed with the appropriate administrative officer. If any item is not applicable to the Applicant, it should so be indicated on the application form(s).
2. Certificate of Borough Tax Collector that all taxes and assessments on the property are paid.
3. Receipt indicating that fees and escrow deposits are paid pursuant to schedule.
4. Fifteen (15) copies of any required plot plan, site plan, or subdivision plan, clearly and legibly drawn at a scale of not smaller than 1 inch = 100 feet. Said plans to be prepared by a licensed engineer or land surveyor of the State of New Jersey as applicable with name address and seal of preparer on plat. Entire tract to be shown on one sheet.

Complies	Deficient	Waiver Request
✓		
✓		
✓		
✓		

5. Affidavit of ownership. If Applicant is not the owner, Applicant's interest in land; e.g, tenant, contract/purchaser, lienholder, etc.
6. One of the following:
 - a) A letter of interpretation from the N.J.D.E.P. indicating the absence of freshwater wetlands, or indicating the presence and verifying delineation of the boundaries of freshwater wetlands, or ,
 - b) A letter of exemption from the N.J.D.E.P. certifying that the proposed activity is exempt from the Freshwater Wetlands
 - c) A copy of any application made to the N.J.D.E.P for any permit concerning a proposed regulated activity in or around freshwater wetlands.
 The Land Use Board may waive the above requirements where it can be established by the applicant and verified by the board and its professionals that no wetlands exist on site or no contiguous property owned by the applicant.
7. If Applicant is a corporation or partnership, list the names and addresses of all stockholders or individual partners owning at least 10% of its stock of any class as required by N.J.S. 40:55D-48.1 et seq.
8. Number and name(s) of witnesses and their expertise, if any. *Sonyarame*
9. Statement as to any requirements for which waiver is sought together with statement of reasons why waivers should be granted.
10. In subdivision and site plan applications for residential construction, a certification of the applicant or the applicant's engineer that the application complies with all requirements of the Residential Site Improvement Standards or other applicable regulations adopted by the Department of Community Affairs. If exceptions or waivers from such standards are sought, a statement of the hardship claimed, the reasons and conditions justifying the same and identification of any danger to health, safety or welfare resulting from adherence to said standards.

<i>✓</i>		
		<i>✓</i>
<i>N/A</i>		
<i>1</i>		
<i>N/A</i>		
<i>N/A</i>		

Complies	Deficient	Waiver Request
✓		
✓		
✓		
✓		
✓		
✓		
✓		
✓		
✓		
APR ✓	Schedule by be perfect & deal	
✓		
✓		
✓		
✓		✓
		✓
		✓

1. Metes and bounds description of parcel in question based upon current land survey information.
2. Property line shown in degree, minutes and seconds.
3. Key map showing location of tract to be considered in relation to surrounding area, within 500 feet
4. Title block containing name of applicant, preparer, lot and block number, date prepared, date of last amendment and zoning district.
5. Each block and lot numbered in conformity with the municipal tax map as determined by the municipal tax assessor.
6. Scale of map, both written and graphic.
7. North arrow giving reference meridian.
8. Space for signature of Chairman and Secretary of the Municipal Agency.
9. Names of owner and all property owners within 200 feet of subject property.
10. Location of existing and proposed property and structures with dimensions in feet up to the nearest two decimal places, with setback, side yard and rear yard distances for existing structures and with building envelope of each proposed lot formed by minimum front, rear and side yard distances.
11. Schedule of Zone Requirements for zoning district in which parcel is located, indicating all setbacks, lot coverage, height, floor area ratio, and density, both as to required and proposed.
12. Acreage of affected parcel to the nearest hundredth of an acre.
13. Delineation of proposed lots, specifying areas of lots in acres, if on acre or over, and in square feet.
14. Provide a Polaroid or other similar photograph of the premises in question taken from the opposite side of the street.

Natural Features and Topography

Topography of the site and within 200 feet thereof.

15. Contours to determine the natural drainage of the land. Intervals shall be: up to 10% grade-2 feet; over `10% grade- 5 feet.
16. Cliffs and rock outcroppings.(Preliminary Site Plans and n

- N/A
- b) Soil depth to restrictive layers of soil.
 - c) Soil depth to bedrock
 - d) Permeability of the soil by layers.
 - e) Height of soil water table and type of water table
 - f) Flood plain soil (status).
 - g) Limitation for foundation
 - h) Limitation for septic tank absorption field (only where septic tank is proposed to be used.)
 - i) Limitation for local road and streets
 - j) Agricultural capacity classifications
 - k) Erosion hazard.
37. Landscaping plan including the types, quantity, size and location of all proposed vegetation. The scientific and common names of all vegetation shall be included. (Preliminary Site Plans and major subdivision only.)
38. Soil Erosion and Sediment Control Plan consistent with the requirements of the local soil conservation district.
39. Design calculations showing proposed drainage facilities to be in accordance with the appropriate drainage run-off requirements.
40. The purpose of any proposed easement of land reserved or dedicated to public or common use shall be designated and the proposed use of sites other than residential shall be noted.
41. Any sections for which a waiver is specifically being requested and a narrative paragraph explaining why the Applicant is entitled to such waiver.
42. Proof that application has been made to the Bergen County Planning Board. *to be provided*
- N/A 43. Proof that a Soil Erosion and Sediment Control Plan has been submitted to the B.C.S.C.D. if more than 5,000 square feet of ground is to be disturbed.
- N/A 44. An environmental impact statement if required.

ADDENDUM TO APPLICATION

Barry Poskanzer (hereinafter referred to as the "Applicant") is the owner of 40 Carteret Road, Allendale, New Jersey and 42 Carteret Road, Allendale, New Jersey which are shown on the Tax Map of the Borough of Allendale as Lots 15 and 14 in Block 1503.01 (hereinafter referred to as the "Properties"). The Applicant lives in the home that is located on 40 Carteret Road, Allendale, New Jersey. The lot to the south being 42 Carteret Road, Allendale, New Jersey is vacant land.

The Applicant is proposing a subdivision to merely realign a lot line between the adjoining lots. The plans indicate that the frontage of the two lots remain the same. The lot line is an internal lot line in which additional property will be added to Lot 15 which is the homestead lot. This lot will then have an area of 192,364 square feet or 4.42 acres where 26,000 square feet is required in the AA Residential Zone. Lot 14 which is the vacant lot will have a lot area of 55,504 square feet or 1.27 acres. All of the bulk standards remain conforming and there is no variance relief being requested.

The application is merely to modify an existing lot line between two lots. No construction is proposed. No soil movement is occurring. No trees are being removed.

The Applicant seeks a waiver from many of the conditions listed in a subdivision application checklist because they are not pertinent or applicable in this instance.

The Applicant is also proposing certain deed restrictions that will be private deed restrictions between the owners of the two lots. The Applicant is proposing a non-disturbance area on the newly created lot 14.02 of 10 feet and a side yard setback of 30 feet all of which is shown on the plan. In addition, the Applicant is proposing a 100 foot front yard setback for the vacant lot for any owner of that lot who would construct a home on that lot. The front yard setback by Code is only 50 feet. The Applicant is proposing a larger setback which would be a private restriction in order to have any future dwelling unit be consistent with other homes that have a large front yard setback and for purposes of creating uniformity from a streetscape perspective.

The Municipal Land Use Law does not permit a subdivision to occur in any manner whatsoever unless it is approved by the Land Use Board of the Municipality where the property is located and that is the purpose of this application. The Municipal Land Use Law also indicates that a Land Use Board **shall** approve an application if the Applicant meets all of the requirements of the subdivision ordinance as is applicable to the application. It is the Applicant's position that the application meets all necessary requirements and on that basis, the Applicant respectfully requests that the subdivision approval be granted for the realignment of the lot line as proposed.

The Applicant is proposing to perfect the subdivision by the recording of Deeds.

McDonnell & Whitaker, L.L.C.

Counsellors at Law

BRUCE E. WHITAKER

RICHARD C. MCDONNELL
(1969-2011)

245 East Main Street
P.O. Box 379
Ramsey, New Jersey 07446-0379
201.934.0110
Fax 201.934.0448
mcwhitlaw@optonline.net

August 9, 2023

Borough of Allendale
Attention: Linda Garofalo, Planning Board Secretary
500 West Crescent Avenue
Allendale, NJ 07401

Re: Poskanzer
40/42 Carteret Road, Allendale, NJ
Block 1503.01, Lot 15 & 14

Dear Ms. Garofalo:


The is to confirm that we represent Barry Poskanzer in connection with a minor subdivision application in regards to the above referenced properties. In regards to same, I enclose the following:

1. 15 copies of the Application with Addendum and checklist attached;
2. 15 copies of the Subdivision Plan prepared by DMC Associates, Inc;
3. Verification of Taxes Paid for both properties;
4. My client's check in the sum of \$150.00 for the application fee;
5. My client's check in the sum of \$100.00 for the Examining and Reporting on Plans fee;
- 5, My client's check in the sum of \$1,000.00 for the Escrow Fee.

On the basis of this being a minor subdivision with no variance relief required, no notice to property owners within 200 feet is required.

I am requesting that this application be processed and that this be scheduled for a hearing as soon as possible. We would like to have this scheduled for the September 20, 2023 meeting of the Allendale Land Use Board. Please confirm.

Very truly yours,


BRUCE E. WHITAKER
BEW/cp

Enclosure

Cc: client

Robert Cigol, PLS via email

Christopher Botta, Esq via email

Via Hand Delivery

SURVEYORS NOTES:

- A written waiver and direction not to set corner markers has been obtained from the ultimate user pursuant to "P.L. 2003, C.14 (N.J.S.A. 45:8-36.3) and N.J.A.C. 13:40-5.2(D)."

- The utilities shown have been located from evidence observed on the surface only. The surveyor makes no guarantees that the utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities.

- Location of sub-surface improvements are not part of this survey; Example: oil tanks, sanitary-septic and cess pool systems, wells, gas lines, sewer laterals, water mains, etc.

- Riparian claims, riparian rights and conveyance map were not reviewed or considered part of this survey.

- Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than possible easements that were visible or on record at the time of the making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations and any other facts that an accurate and current title search may disclose.

- Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners.

- Survey is valid only if print has original seal and signature of surveyor.

- Subsurface and environmental conditions were not examined or considered as a part of this survey.

- Subject to any and all easements or restrictions either recorded or unrecorded.

- This survey does not purport to represent or determine Flood Hazard Areas, Riparian Zones, Wetlands Location or Buffer Zones, etc. as established by the Federal Emergency Management Agency and/or the New Jersey Department of Environmental Protection and are not considered part of contractual obligations under this survey. Ultimate user shall secure the services of a certified Ecologist or Engineer.

- Flood plain maps were not reviewed or considered part of this survey.

- The retracement of the boundary depicted herein by the surveyor is based upon the evidence found and recorded and the opinion of the surveyor as to the validity of such evidence. any representation herein is not to publish disparagement of title of the subject property or adjoining land owners. The ultimate users of this survey shall have acknowledged that this survey could be made public and that the surveyor and company have no fiduciary duty or confidentiality obligation to the client or users.

- This survey represents a positional location of recorded deed lines and not to represent or determine ownership to ultimate users of this survey.

- This survey was prepared without the benefit of a full title abstract search. The surveyor highly recommends to all users of this survey that a title search be performed regarding Lots 14.01 and 15.01, Block 1503.01 before any proposed improvements or construction.

- This plan is based on a map entitled "Existing Conditions Survey Of Tax Lots 15.01 and 14.01, Block 1503.01, A.K.A. 40 Carteret Road and 42 Carteret Road, Borough of Allendale, Bergen County, New Jersey" prepared by DMC Associates, Inc. and dated July 17, 2023.

- Total Existing Lot 14 Area = 84,236 ± sq. ft. (1.93 ± ac.)
Lot Area within 200 Ft. of R.O.W. 34,328 ± sq. ft.

- Total Existing Lot 15 Area = 163,632 ± sq. ft. (3.76 ± ac.)
Lot Area within 200 Ft. of R.O.W. 47,352 ± sq. ft.

MAP REFERENCES:

- Being known and designated as Lots 14.01 and 15.01 in Block 1503.01 as shown on a Map Entitled "Minor Subdivision for Barry & Susan Postmaster, Lots 14 & 15, Block 1503.01, 40 & 42 Carteret Road, Allendale, Bergen County, New Jersey" dated November 10, 1998 and last revised June 20, 2013. Said map being filed in the Bergen County Register's Office on January 24, 2014 as Map No. 9570.

- Flood Hazard Areas shown herein are representative of FEMA Flood Insurance Rate Map Number 34003C00699 for the community of Allendale, having a revision date of August 28, 2019.

LEGEND

1/2" INLET

UTILITY BOXES

HYDRANT

MALBOX

LIGHT

UTILITY POLE

GUY ANCHOR

A/C UNIT

WELL

WATER VALVE

GAS METER

WATER METER

ELECTRIC METER

IRRIGATION VALVE BOX

SPIGOT

WATER LINE (UG)

GAS LINE (UG)

WIRES (OVERHEAD)

WOOD STOCKADE FENCE

CHAIN LINK FENCE

STONE ROW

CONC. WALL

GUARD RAIL (STEEL)

FEMA FLOOD HAZARD ZONES

ZONE AE - FLOODWAY

ZONE AE - 1% CHANCE FLOOD

ZONE AE - 0.2% CHANCE FLOOD

BOROUGH OF ALLENDALE LAND USE BOARD

THIS PLAN IS APPROVED BY THE BOROUGH OF ALLENDALE LAND USE BOARD AT A MEETING HELD ON _____

CHAIRPERSON

SECRETARY

BOARD ENGINEER

DATE

DATE

DATE

ZONING TABLE - "AA" RESIDENTIAL ZONE					
	REQUIRED	EXIST. LOT 15	PROP. LOT 15.02	EXIST. LOT 14	PROP. LOT 14.02
MIN. LOT AREA	26,000 (S.F.)	163,632± S.F. or 3.76± AC.	192,304± S.F. or 4.42± AC.	84,236± S.F. or 1.93± AC.	55,504± S.F. or 1.27± AC.
MIN. LOT WIDTH	130 FT.	273.12 FT.	330.78 FT.	220.10 FT.	162.44 FT.
MIN. FRONT YARD	50 FT.	172.67 FT.	172.67 FT.	50 FT.	100 FT.*
MIN. SIDE YARD	20 FT.	146.71 FT. / 45.10 FT.	146.71 FT. / 105.45 FT.	20 FT. / 20 FT.	30 FT.* / 20 FT.
MIN. REAR YARD	50 FT.	156.01 FT.	156.01 FT.	50 FT.	50 FT.
MAX. BUILDING HEIGHT	2-1/2 STY. / 35'	2 STY.	2 STY.	N/A	2-1/2 STY. / 35 FT.

*PROPOSED MINIMUM SETBACK DISTANCE PER DEED RESTRICTION

MINOR SUBDIVISION WAIVERS REQUESTED:

- SCHEDULE "B" - PLAT SPECIFICATIONS FOR SITE PLANS AND SUBDIVISIONS:

- Location of existing ad proposed property and structures with dimensions in feet up to the nearest two decimal places, with setback, side yard and rear yard distances for existing structures and with building envelope of each proposed lot formed by minimum front, rear and side yard distances.
- Provide a Polaroid or other similar photograph of the remises in question taken from opposite side of street. Natural Features and Topography. Topography of the site and within 200 feet of tract.
- Contours to determine the natural drainage of the land. Intervals shall be: up to 10% grade - 2 feet; over 10% grade - 5 feet
- Wooded areas indicating predominant species and size.
- Areas in which construction is precluded due to presence of stream corridors and/or steep slopes.
- All areas to be disturbed by grading or construction. Min-made features On Site and within 200 feet thereof.
- Location of existing wells and septic systems on the property and within 100 feet.
- Plans and profiles of proposed utility layouts such as sewers, storm drains, water, gas and electric, showing feasible connections to existing or proposed utility systems.
- Plans, profiles and cross-sections of all proposed streets and private roadways on the property and within 200 feet of tract.
- Indication of required road dedication.
- Road orientation (as it relates to energy conservation)
- Sketch of prospective future street system of the entire tract where a preliminary plat covers only a portion thereof.
- Proposed sign easements where required.
- Proposed drainage easements where required.

36 - Natural resource inventory information including:

- Soil types as shown by the current Soil Conservation and Survey Maps.
- Soil depth to restrictive layers of soil.
- Soil depth to bedrock.
- Permeability of soil by layers.
- Height of soil water table and type of water table.
- Flood plain soil. (status)
- Limitation for foundation.
- Limitation for septic tank absorption field.
- Limitation for local road and streets.
- Agricultural capacity classifications.
- Erosion hazard.

38 - Soil Erosion and Sediment Control Plan consistent with the requirements of the local soil conservation district.

39 - Design calculations showing proposed drainage facilities to be in accordance with the appropriate run-off requirements.

40 - The purpose of any proposed easement of land reserved or dedicated to public or common use shall be designated and the proposed use of sites other than residential shall be noted.

44 - An environmental impact statement.

KEY MAP

SCALE: 1" = 300'

CERTIFIED RECORD OWNERS LIST WITHIN 200': Dated June 27, 2023

Block	Lot	Property Location	Property Owner
1503	21	37 CARTERET RD	KARSCH, EVAN & RACHEL ALLEDALE, NJ 07401
1503	22	41 CARTERET RD	KIM, JASON EUNG-DO (E) & HYUNJUNG 41 CARTERET RD ALLEDALE, NJ 07401
1503	23	45 CARTERET RD	LEVY, RICHARD B & KIM L BLAZER 45 CARTERET RD ALLEDALE, NJ 07401
1503.01	4	560 W CRESCENT AVE	SAVRE, TIMOTHY JAMES & SANDRA B. 560 W. CRESCENT AVE ALLEDALE, NJ 07401
1503.01	5	611 W CRESCENT AVE	MARTIN, BARBARA J 611 W CRESCENT AVE ALLEDALE, NJ 07401
1503.01	6	664 W CRESCENT AVE	SILVESTRI, RICHARD & SUSAN 664 W CRESCENT AVE ALLEDALE, NJ 07401
1503.01	12	46 CARTERET RD	ROSSI, LOUIS G & AMY B 46 CARTERET RD ALLEDALE, NJ 07401
1503.01	13	44 CARTERET RD	OVERDORF, MARIANNE 44 CARTERET RD ALLEDALE, NJ 07401
1503.01	16	38 CARTERET RD	HALDER, ANDREW & KIMBERLY 38 CARTERET ROAD ALLEDALE, NJ 07401
1503.01	17	36 CARTERET RD	DRISCOLL, TIMOTHY J 36 CARTERET RD ALLEDALE, NJ 07401
1503.01	18	34 CARTERET RD.	PEREIRA, PEDRO M & MACHTELD E.H. 34 CARTERET RD ALLEDALE, NJ 07401
1601	12	171 BROOKSIDE AVE	WIERZBICKI, DENNIS L 171 BROOKSIDE AVE ALLEDALE, NJ 07401
1601	13	559 W CRESCENT AVE	REYES FRANCISCO & MIRIAM 559 W CRESCENT AVE ALLEDALE, NJ 07401
1601	14	579 W CRESCENT AVE	FOCAZIO, DOMINIQUE A 579 W CRESCENT AVENUE ALLEDALE, NJ 07401
1601	15	611 W CRESCENT AVE (ADDITIONAL LOT: BLOCK 2206 LOT 10)	MARTIN, BARBARA J. 611 W CRESCENT AVE ALLEDALE, NJ 07401

UTILITIES LISTING:

Rockland Electric 1 Blue Hill Plaza Pearl River, NY 10965	New Jersey Department of Transportation PO Box 600 Trenton, NJ 08625	PSE&G 20 Van Vooren Drive Oakland, NJ 07436
Verizon New Jersey 114 Paterson Street Paterson, NJ 07501	Cablevision of New Jersey 40 Potash Road Oakland, NJ 07436	Bergen County Planning Board 1 Bergen County Plaza Hackensack, NJ 07601
Veolia Water 461 From Road #400 Paramus, NJ 07652		

REVISION DATE	DESCRIPTION	BY

PROPOSED MINOR SUBDIVISION OF

TAX LOTS 15 AND 14, BLOCK 1503.01,
A.K.A. 40 CARTERET ROAD AND 42 CARTERET ROAD,
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

DMC ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
6 CAREY AVENUE, BUTLER, NJ 07405
TEL: (973) 838-9187 FAX: (973) 838-8389 INFO@DMCSURVEYING.COM

PRELIMINARY

ROBERT L. CIGOL, N.J.P.L.S. No. 24GS04026100
CERTIFICATE OF AUTHORIZATION No. 24GA27919000

DRAWN BY: BP	SCALE: 1" = 30'	DATE: 07/20/2023	TITLE No: 1 OF 1	DMC No: 2307016
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Memorandum

To: Borough of Allendale Land Use Board
L. Garofalo, Board Secretary / C. Botta, Board Attorney

Cc: B. Whitaker, Applicant's Attorney / Robert Cigol, Applicant's Surveyor

From: Michael Vreeland, Board Engineer 

Date: September 1, 2023

Re: Minor Subdivision – Poskanzer
40 & 42 Carteret Road
Block 1503, Lots 14&15
ALN-1001.063

We are in receipt of the following information pertaining to the above-referenced application:

- A. Land Use Application and associated documents;
- B. Plan entitled, "Proposed Minor Subdivision Of, Tax Lots 15 And 14, Block 1503.01, A.K.A. 40 Carteret Road And 42 Carteret Road, Borough of Allendale, Bergen County, New Jersey". The plan prepared by DMC Associates, Inc. (Robert L. Cigol, PLS) is dated July 20, 2023.

We have reviewed the information along with the Borough Code (Code), visited the site and offer the following comments:

1. INTRODUCTION

The subject properties are commonly known as 40 and 42 Carteret Road. 40 Carteret Road (Lot 15) is currently developed with a dwelling and associated amenities. 42 Carteret Road (Lot 14) is currently undeveloped. The properties are located within the Borough's AA Residence Zone District.

The application and plan propose to modify the existing property line between the two lots. The modification will increase the size of Lot 15 and reduce the size of Lot 14.

2. TECHNICAL COMPLETENESS

We have reviewed the application for technical completeness in accordance with the Application Checklist. The application request a number of waivers. Based on the nature of the proposal, we would have no engineering objection should the Board grant the requested waiver for completeness.

OFFICE LOCATIONS

www.vancleefengineering.com

Lebanon, NJ
908-735-9500

Hamilton, NJ
609-689-1100

Toms River, NJ
732-573-0490

Freehold, NJ
732-303-8700

Bethlehem, PA
610-332-1772

Hillsborough, NJ
908-359-8291

Mt. Arlington, NJ
862-284-1100

Phillipsburg, NJ
908-454-3080

Doylestown, PA
215-345-1876

Pottstown, PA
610-323-4040

We defer to the Land Use Administrator and the Board Attorney regarding administrative and legal completeness matters.

3. TECHNICAL REVIEW COMMENTS

- 3.1. The plan illustrates and the zoning table includes a 20 ft minimum side yard setback. The Applicant should be advised the required side yard setback is dependent on gross building area (§270-64.B.). We recommend this provision be added to the zoning table and illustrated on the plan.
- 3.2. Lot numbering shall be approved by the Tax Assessor before any documents are recorded.
- 3.3. The application indicates the subdivision will be perfected by deed. The deeds and descriptions will need to be provided for review and approval prior to filing.
- 3.4. Closure calculations will need to be provided for review.
- 3.5. Electronic (CAD & PDF) files of the final minor subdivision will need to be provided.

Please contact me should you have any questions.



DMC Associates, Inc. Land Surveyors

6 Carey Avenue, Butler, NJ 07405

Tel (973) 838-9187

Email info@dmcsurveying.com

www.dmcsurveying.com

September 7, 2023

Michael Vreeland, Board Engineer
Van Cleef Engineering
111 Howard Boulevard, Suite 110
Mt. Arlington, NJ 07856
Phone: (862) 284-1100

**Re: Minor Subdivision – Poskanzer
40 & 42 Carteret Road
Block 1503.01, Lot 14 & 15
Borough of Allendale, Bergen County, New Jersey
ALN-1001.063**

Dear Mr. Vreeland:

We are in receipt of your review letter dated September 01, 2023 in regards to the above referenced application before the Land Use Board of the Borough of Allendale. Pursuant to your letter, enclosed are the following documents:

- Map entitled; "Proposed Minor Subdivision of Tax Lots 15 and 14, Block 1503.01, A.K.A. 40 Carteret Road and 42 Carteret Road, Borough of Allendale, Bergen County, New Jersey" Sheet 1 of 1, dated July 20, 2023 and revised through September 05, 2023, DMC No. 2307016.
- Metes and Bounds Description for 40 Carteret Road, proposed Lot 15.02, Block 1503.01.
- Metes and Bounds Description for 42 Carteret Road, proposed Lot 14.02, Block 1503.01.
- Lot closure reports for proposed Lot 14.02 and proposed Lot 15.02 in Block 1503.01.

Pursuant to your comments the following has been addressed:

3.1 The plan was revised to indicate the side yard setback is dependent on gross building area §270-64.13.

3.3 Proposed Metes and Bounds Descriptions were prepared for proposed Lot 14.02 and 15.02 in Block 1503.01.

3.4 Closure calculation reports for proposed Lot 14.02 and 15.02 in Block 1503.01.

3.5 CD with a pdf and AutoCAD File attached.

After your review should you have any questions do not hesitate to contact me.

Sincerely,

Robert L. Cigol, PLS
President
DMC Associates, Inc. Land Surveyors

RLC/cb

cc: B. Whitaker, Esq., Applicant's Attorney, mcwhitlaw@optonline.net email only
L. Garolfalo, Board Secretary, lindagarofalo@allendalenj.gov email only



DMC Associates, Inc. Land Surveyors

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Email info@dmcsurveying.com

www.dmcsurveying.com

September 5, 2023

**Minor Subdivision – Poskanzer
40 & 42 Carteret Road
Block 1503, Lots 14 & 15
ALN-1001.063**

Lot Closure Report Proposed Lot 14.02 Block 1503.01

Northing	Easting	Bearing	Distance
6468.746	6511.878		

Radius: 400.000 Chord: 33.435 Degree: 14°19'26" Dir: Left
Length: 33.444 Delta: 4°47'26" Tangent: 16.732
Chord BRG: N 20°48'32" W Rad-In: S 71°35'11" W Rad-Out: S 66°47'45" W
Radius Point: 6342.397,6132.357

6500.000	6500.000	N 23°12'15" W	89.250
6582.030	6464.835	N 66°47'45" E	88.054
6616.724	6545.765	S 85°57'15" E	335.584
6593.047	6880.513	S 13°42'40" W	152.160
6445.223	6844.447	N 85°57'15" W	333.401
6468.746	6511.878		

Closure Error Distance > 0.00000
Total Distance > 1031.893
Polyline Area: 55504 sq ft, 1.2742 acres



DMC Associates, Inc. Land Surveyors

6 Carey Avenue, Butler, NJ 07405

Tel (973) 838-9187

Email info@dmcsurveying.com

www.dmcsurveying.com

September 5, 2023

Minor Subdivision – Poskanzer

40 & 42 Carteret Road

Block 1503, Lots 14 & 15

ALN-1001.063

Lot Closure Report

Proposed Lot 15.02 Block 1503.01

Northing	Easting	Bearing	Distance
6582.030	6464.835	N 23°12'15" W	155.000
6724.492	6403.763		

Radius: 200.000 Chord: 44.906 Degree: 28°38'52" Dir: Left

Length: 45.000 Delta: 12°53'30" Tangent: 22.596

Chord BRG: N 29°39'00" W Rad-In: S 66°47'45" W Rad-Out: S 53°54'15" W

Radius Point: 6645.690,6219.942

6763.518	6381.549	N 45°52'03" E	465.997
7088.000	6716.009	N 82°36'24" E	85.949
7099.060	6801.244	S 49°59'20" E	122.583
7020.247	6895.132	S 09°16'40" E	222.903
6800.260	6931.069	S 13°42'40" W	213.291
6593.047	6880.513	N 85°57'15" W	335.584
6616.724	6545.765	S 66°47'45" W	88.054
6582.030	6464.835		

Closure Error Distance> 0.00000

Total Distance> 1734.361

Polyline Area: 192364 sq ft, 4.4161 acres

SURVEYORS NOTES:

- A written waiver and direction not to set corner markers has been obtained from the ultimate user pursuant to "P.L. 2003, C.14 (N.J.S.A. 45:8-36.3) and N.J.A.C. 13:40-5.2(D)."

- The utilities shown have been located from evidence observed on the surface only. The surveyor makes no guarantees that the utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities.

- Location of sub-surface improvements are not part of this survey. Example: oil tanks, sanitary-septic and cess pool systems, wells, gas lines, sewer laterals, water mains, etc.

- Riparian claims, riparian rights and conveyance map were not reviewed or considered part of this survey.

- Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than possible easements that were visible or on record at the time of the making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations and any other facts that an accurate and current title search may disclose.

- Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners.

- Survey is valid only if print has original seal and signature of surveyor.

- Subsurface and environmental conditions were not examined or considered as a part of this survey.

- Subject to any and all easements or restrictions either recorded or unrecorded.

- This survey does not purport to represent or determine Flood Hazard Areas, Riparian Zones, Wetlands Location or Buffer Zones, etc. as established by the Federal Emergency Management Agency and/or the New Jersey Department of Environmental Protection and are not considered part of contractual obligations under this survey. Ultimate user shall secure the services of a certified Ecologist or Engineer.

- Flood plain maps were not reviewed or considered part of this survey.

- The retracement of the boundary depicted herein by the surveyor is based upon the evidence found and recorded and the opinion of the surveyor as to the validity of such evidence. any representation herein is not to publish disparagement of title of the subject property or adjoining land owners. The ultimate users of this survey shall have acknowledged that this survey could be made public and that the surveyor and company have no fiduciary duty or confidentiality obligation to the client or users.

- This survey represents a positional location of recorded deed lines and not to represent or determine ownership to ultimate users of this survey.

- This survey was prepared without the benefit of a full title abstract search. The surveyor highly recommends to all users of this survey that a title search be performed regarding Lots 14.01 and 15.01, Block 1503.01 before any proposed improvements or construction.

- This plan is based on a map entitled "Existing Conditions Survey Of Tax Lots 15.01 and 14.01, Block 1503.01, A.K.A. 40 Carteret Road and 42 Carteret Road, Borough of Allendale, Bergen County, New Jersey" prepared by DMC Associates, Inc. and dated July 17, 2023.

- Total Existing Lot 14 Area = 84,236 ± sq. ft. (1.93 ± ac.)

- Lot Area within 200 Ft. of R.O.W. 34,328 ± sq. ft.

- Total Existing Lot 15 Area = 163,632 ± sq. ft. (3.76 ± ac.)

- Lot Area within 200 Ft. of R.O.W. 47,352 ± sq. ft.

MAP REFERENCES:

- Being known and designated as Lots 14.01 and 15.01 in Block 1503.01 as shown on a Map Entitled "Minor Subdivision for Barry & Susan Poskanzer, Lots 14 & 15, Block 1503.01, 40 & 42 Carteret Road, Allendale, Bergen County, New Jersey" dated November 10, 1998 and last revised June 20, 2013. Said map being filed in the Bergen County Register's Office on January 24, 2014 as Map No. 9570.

- Flood Hazard Areas shown herein are representative of FEMA Flood Insurance Rate Map Number 34003C00699 for the community of Allendale, having a revision date of August 28, 2019.

LEGEND

1/2" INLET

UTILITY BOXES

HYDRANT

MALIBOX

LIGHT

UTILITY POLE

GUY ANCHOR

AIR CURT

WELL

WATER VALVE

GAS METER

WATER METER

ELECTRIC METER

IRRIGATION VALVE BOX

SPIGOT

WATER LINE (UG)

GAS LINE (UG)

WIRES (OVERHEAD)

WOOD STOCKADE FENCE

CHAIN LINK FENCE

STONE ROW

CONC. WALL

GUARD RAIL (STEEL)

FEMA FLOOD HAZARD ZONES

ZONE AE - FLOODWAY

ZONE AE - 1% CHANCE FLOOD

ZONE AE - 0.2% CHANCE FLOOD

OWNER / APPLICANT

BARRY POSKANZER
40 CARTERET ROAD
ALLENDALE, NJ 07401

BERGEN COUNTY PLANNING BOARD

UNDER AUTHORITY OF REVISED STATE STATUTE 40:27-1, ET SEQ. THE DEPARTMENT OF PLANNING AND ENGINEERING, OFFICE OF DEVELOPMENT REVIEW, ON BEHALF OF THE COUNTY PLANNING BOARD, COUNTY OF BERGEN, HAS REVIEWED THIS APPLICATION AND HAS DETERMINED THAT IT IS APPROVED.

ATTESTED TO BY: _____ DATE: _____

BOROUGH OF ALLENDALE LAND USE BOARD

THIS PLAN IS APPROVED BY THE BOROUGH OF ALLENDALE LAND USE BOARD AT A MEETING HELD ON _____

CHAIRPERSON

DATE

SECRETARY

DATE

BOARD ENGINEER

DATE

ZONING TABLE - "AA" RESIDENTIAL ZONE

	REQUIRED	EXIST. LOT 15	PROP. LOT 15.02	EXIST. LOT 14	PROP. LOT 14.02
MIN. LOT AREA	26,000 (S.F.)	163,632± S.F. or 3.76± AC.	192,364± S.F. or 4.42± AC.	84,236± S.F. or 1.93± AC.	55,504± S.F. or 1.27± AC.
MIN. LOT WIDTH	130 FT.	273.12 FT.	330.78 FT.	220.10 FT.	162.44 FT.
MIN. FRONT YARD	50 FT.	172.67 FT.	50 FT.	50 FT.	100 FT.*
MIN. SIDE YARD	20 FT.**	146.71 FT. / 45.10 FT.	146.71 FT. / 105.45 FT.	20 FT. / 20 FT.	30 FT.* / 20 FT.**
MIN. REAR YARD	50 FT.	156.01 FT.	156.01 FT.	50 FT.	50 FT.
MAX. BUILDING HEIGHT	2-1/2 STY / 35'	2 STY.	2 STY.	N/A	2-1/2 STY. / 35 FT.

*PROPOSED MINIMUM SETBACK DISTANCE PER DEED RESTRICTION

**PURSUANT TO §270-64.B: THE MINIMUM SIDE YARD SETBACK DISTANCE FOR RESIDENTIAL ZONE AA SHALL BE: (1) MINIMUM OF 20 FEET. (2) .007 TIMES THE GROSS BUILDING AREA FOR AREAS OVER 2,800 SQUARE FEET. (3) MINIMUM OF 40 FEET FOR GROSS BUILDING AREAS OVER 5,600 SQUARE FEET.

MINOR SUBDIVISION WAIVERS REQUESTED:

- SCHEDULE "B" - PLAT SPECIFICATIONS FOR SITE PLANS AND SUBDIVISIONS:

- Location of existing ad proposed property and structures with dimensions in feet up to the nearest two decimal places, with setback, side yard and rear yard distances for existing structures and with building envelope of each proposed lot formed by minimum front, rear and side yard distances.
- Provide a Polaroid or other similar photograph of the remises in question taken from opposite side of street. Natural Features and Topography. Topography of the site and within 200 feet thereof.
- Contours to determine the natural drainage of the land. Intervals shall be: up to 10% grade - 2 feet; over 10% grade - 5 feet
- Wooded areas indicating predominant species and size.
- Areas in which construction is precluded due to presence of stream corridors and/or steep slopes.
- All areas to be disturbed by grading or construction. Man-made features On Site and within 200 feet thereof.
- Location of existing wells and septic systems on the property and within 100 feet.
- Plans and profiles of proposed utility layouts such as sewers, storm drains, water, gas and electric, showing feasible connections to existing or proposed utility systems.
- Plans, profiles and cross-sections of all proposed streets and private roadways on the property and within 200 feet of tract.
- Indication of required road dedication.
- Road orientation (as it relates to energy conservation)
- Sketch of prospective future street system of the entire tract where a preliminary plat covers only a portion thereof.
- Aquifer recharge areas, including safe sustained ground water yield.
- Wooded areas indicating predominant species and size.
- Areas in which construction is precluded due to presence of stream corridors and/or steep slopes.

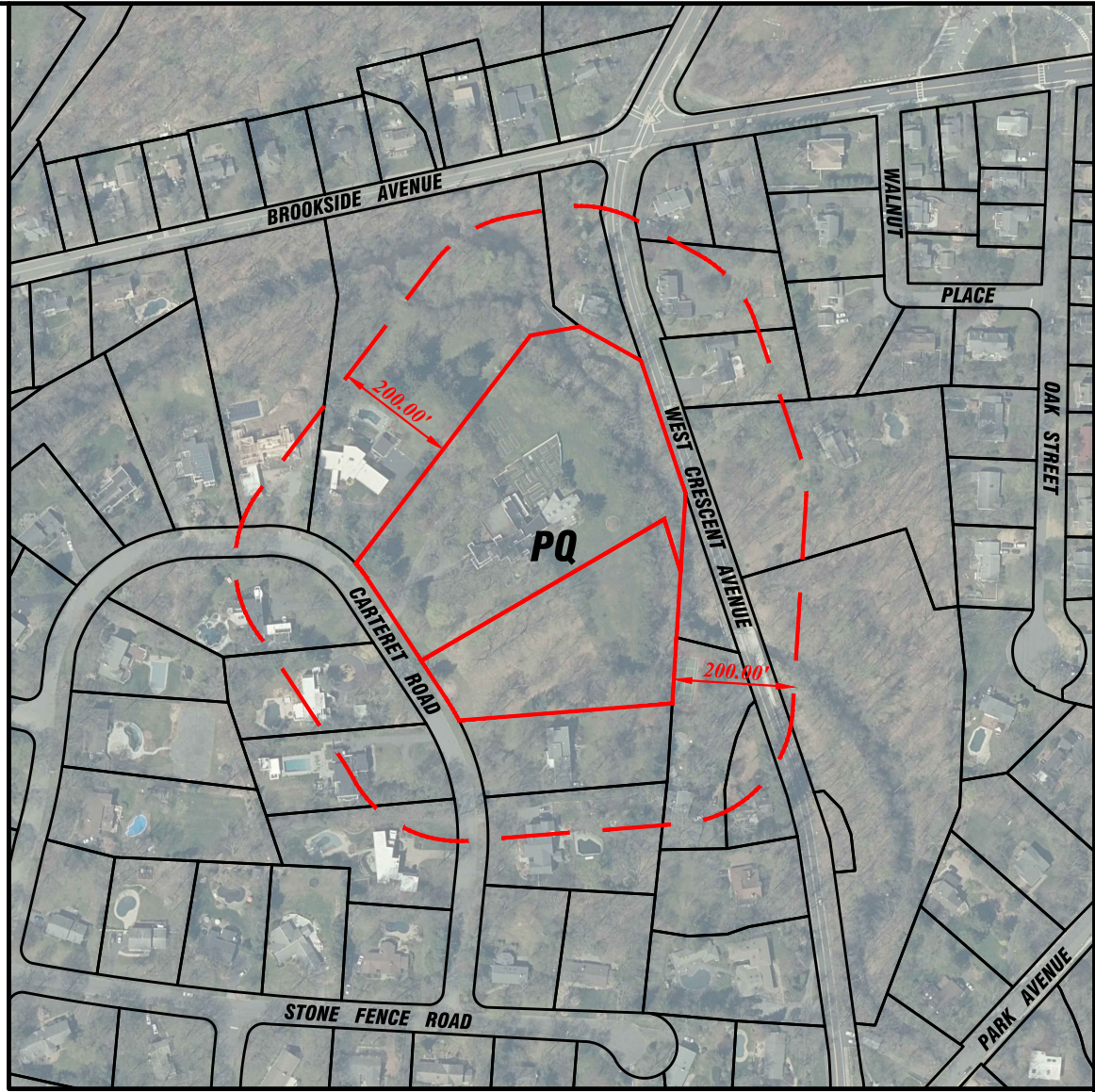
- Natural resource inventory information including:
 - Soil types as shown by the current Soil Conservation and Survey Maps.
 - Soil depth to restrictive layers of soil.
 - Soil depth to bedrock.
 - Permeability of soil by layers.
 - Height of soil water table and type of water table.
 - Flood plain soil. (status)
 - Limitation for foundation.
 - Limitation for septic tank absorption field.
 - Limitation for local road and streets.
 - Agricultural capacity classifications.
 - Erosion hazard.

- Soil Erosion and Sediment Control Plan consistent with the requirements of the local soil conservation district.

- Design calculations showing proposed drainage facilities to be in accordance with the appropriate run-off requirements.

- The purpose of any proposed easement of land reserved or dedicated to public or common use shall be designated and the proposed use of sites other than residential shall be noted.

- An environmental impact statement.



KEY MAP
SCALE: 1" = 300'

CERTIFIED RECORD OWNERS LIST WITHIN 200': Dated June 27, 2023

Block	Lot	Property Location	Property Owner
1503	21	37 CARTERET RD	KARSCH, EVAN & RACHEL 37 CARTERET ROAD ALLENDALE, NJ 07401
1503	22	41 CARTERET RD	KIM,JASON EUNG-DO(E)&HYUNJUNG 41 CARTERET RD ALLENDALE, NJ 07401
1503	23	45 CARTERET RD	LEVY, RICHARD B & KIM L BLAZER 45 CARTERET RD ALLENDALE, NJ 07401
1503.01	4	560 W CRESCENT AVE	SAVRE, TIMOTHY JAMES & SANDRA B. 560 W. CRESCENT AVE ALLENDALE, NJ 07401
1503.01	5	611 W CRESCENT AVE	MARTIN, BARBARA J 611 W CRESCENT AVE ALLENDALE, NJ 07401
1503.01	6	664 W CRESCENT AVE	SILVESTRI, RICHARD & SUSAN 664 W CRESCENT AVE ALLENDALE, NJ 07401
1503.01	12	46 CARTERET RD	ROSSI, LOUIS G & AMY B 46 CARTERET RD ALLENDALE, NJ 07401
1503.01	13	44 CARTERET RD	OVERDORF, MARIANNE 44 CARTERET RD ALLENDALE, NJ 07401
1503.01	16	38 CARTERET RD	HALDER, ANDREW & KIMBERLY 38 CARTERET ROAD ALLENDALE, NJ 07401
1503.01	17	36 CARTERET RD	DRISCOLL,TIMOTHY J 36 CARTERET RD ALLENDALE, NJ 07401
1503.01	18	34 CARTERET RD.	PEREIRA, PEDRO M & MACHTELD E.H. 34 CARTERET RD ALLENDALE, NJ 07401
1601	12	171 BROOKSIDE AVE	WIERZBICKI, DENNIS L 171 BROOKSIDE AVE ALLENDALE, NJ 07401
1601	13	559 W CRESCENT AVE	REYES FRANCISCO & MIRIAM 559 W CRESCENT AVE ALLENDALE NJ 07401
1601	14	579 W CRESCENT AVE	FOCAZIO, DOMINIQUE A 579 W CRESCENT AVENUE ALLENDALE, NJ 07401
1601	15	611 W CRESCENT AVE (ADDITIONAL LOT: BLOCK 2206 LOT 10)	MARTIN, BARBARA J. 611 W CRESCENT AVE ALLENDALE NJ 07401

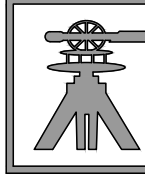
UTILITIES LISTING:

Rockland Electric 1 Blue Hill Plaza Pearl River, NY 10965	New Jersey Department of Transportation PO Box 600 Trenton, NJ 08625	PSE&G 20 Van Vooren Drive Oakland, NJ 07436
Verizon New Jersey 114 Paterson Street Paterson, NJ 07501	Cablevision of New Jersey 40 Potash Road Oakland, NJ 07436	Bergen County Planning Board 1 Bergen County Plaza Hackensack, NJ 07601
Veolia Water 461 From Road #400 Paramus, NJ 07652		

REVISION DATE	DESCRIPTION	BY
08/11/2023	ADD COUNTY PLANNING BOARD SIGNATURE BLOCK	ZM
08/17/2023	REVISED FOR COUNTY PLANNING BOARD SUBMISSION	ZM
08/05/2023	REVISED PER LAND USE BOARD REVIEW LETTER OF 08/01/23	ZM

PROPOSED MINOR SUBDIVISION OF

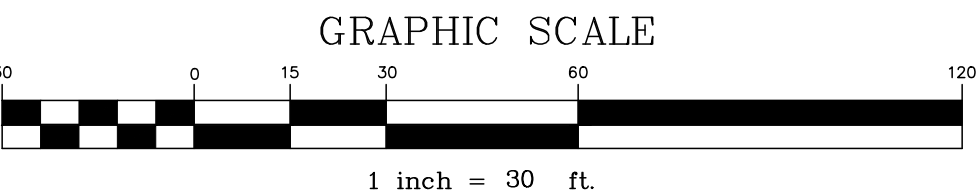
TAX LOTS 15 AND 14, BLOCK 1503.01,
A.K.A. 40 CARTERET ROAD AND 42 CARTERET ROAD,
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY



DMC ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
6 CAREY AVENUE, BUTLER, NJ 07405
TEL: (973) 638-9187 FAX: (973) 638-4389 INFO@DMCSURVEYING.COM

ROBERT L. CIGOL, N.J.P.L.S. No. 24GS04026100
CERTIFICATE OF AUTHORIZATION No. 24GA27919000

DRAWN BY: BP	SCALE: 1" = 30'	DATE: 07/20/2023	TITLE No.: 1 OF 1	DMC No.: 2307016
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ALLENDALE LAND USE BOARD
APPLICATION CHECK LIST

NAME GIUSEPPE & ALEXANDRA DEBINO BLOCK 1503 LOT 16

ADDRESS 20 STONE PENCE RD.

ZONE R-AA TYPE OF VARIANCE C


BRIEF DESCRIPTION OF APPLICATION ADDITION TO AN EXISTING
KITCHEN/DINING AREA

SPECIFIC VARIANCE(S) REQUIRED C VARIANCE: SETBACK INFRINGEMENT
BASED ON FAR

ADMINISTRATIVE REQUIREMENTS	STATUS
1. Application form complete	<input checked="" type="checkbox"/>
2. Fee paid	<input checked="" type="checkbox"/>
3. Denial by Building Inspector	<input checked="" type="checkbox"/>
4. Affidavit of Service	<input checked="" type="checkbox"/>
5. Proof of Publication	<input checked="" type="checkbox"/>
6. Taxes Current	<input checked="" type="checkbox"/>
7. Plot Plan	<input checked="" type="checkbox"/>
8. Maps	<input checked="" type="checkbox"/>
9. Photographs	<input checked="" type="checkbox"/>
10. Email address	<input checked="" type="checkbox"/>
11. Miscellaneous	<input checked="" type="checkbox"/>

8/29/23

Date


Applicant's Signature

NOTICE OF APPEAL AND VARIANCE APPLICATION FORM
BOROUGH OF ALLENDALE, NEW JERSEY

TO THE APPLICANT: COMPLETE SECTIONS IN FULL FOR RELIEF REQUESTED

NOTICE OF APPEAL OF
ZONING ENFORCEMENT OFFICER'S DECISION

TO THE ZONING ENFORCEMENT OFFICER:

The petition of GIUSEPPE + ALEXANDRA DEPINTO
shows that on or about the 30 day of MAY, 2023
an application to the Zoning Official for the purpose of (describe intended
action) A SINGLE STORY BUILDING ADDITION

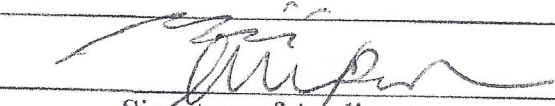
on the premises located at (street address) 20 STONE FENCE RD.,
ALLENDALE, N.J. Block 1503 Lot 16
as shown on the Municipal Tax Maps and owned, or optioned, by the applicant was made; that
after due consideration the Zoning Enforcement Officer did on the 28 day of JUNE, 2023
decline to issue said permit for the reasons stated in the attached copy of the Zoning Enforcement
Officer's Refusal of Permit Form.

Applicant, feeling aggrieved at the action of the Zoning Enforcement Officer, files this notice of
appeal with said Officer, together with the required fee of _____, and requests that
action of the Zoning Enforcement Officer be reversed or modified as the facts may be
determined, and applicant further requests that a day be fixed for hearing on this appeal and
states that the proper notice will be given to all owners of property situated within two hundred
(200) feet of the property specified above, and others as required by Statute.

APPLICATION FOR VARIANCE

TO THE LAND USE BOARD:

An application is hereby made for a (Hardship) Floor Area Ratio (Use) variance from the terms
of Article(s) and Section(s) BOROUGH CODE 270-37(A)2
of the Zoning Ordinance so as to
permit AN ADDITION TO AN EXISTING KITCHEN/DINING
AREA THAT WILL BE COST EFFICIENT AND MATCH THE
CURRENT HOME'S AESTHETIC


Signature of Applicant

DESCRIPTION OF PROPOSED STRUCTURE OR USE

PREMISES AFFECTED known as Lot(s) 16 Block(s) 1503
Street Address 20 STONE FENCE RD., ALLENDALE, NS 07401
Applicant GIUSEPPE & ALEXANDRA DEPINTO Address 20 STONE FENCE RD., ALLENDALE
Owner GIUSEPPE & ALEXANDRA DEPINTO Address 20 STONE FENCE RD., ALLENDALE
Lessee _____ Address _____
Last Previous Occupancy _____
Size of Lot 188.12' x 134.13' x 201.89' x 133.42'
Floor area ratio calculation 4.024
Percentage of lot occupied by building(s) 9.5%
Height of building(s) 2 stories 25 feet
Set back from front property line 48.09 ft. From side (if corner lot) - ft.
Zoning requirements - Frontage 133.42, side yards 50.62, set-back 19.52, rear yard 94.33
"Prevailing set-back" of adjoining buildings within one block NA
Has there been any previous appeal involving these premises? No
If so, state character of appeal and date of disposition _____

Proposed use: UNCHANGED

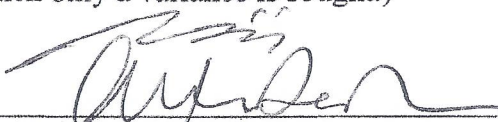
This application for a use variance includes an application for subdivision _____, site plan _____, conditional use _____ approval.

ATTACHED HERETO AND MADE A PART OF THIS APPLICATION I SUBMIT THE FOLLOWING: (NOTE: All of these papers must be submitted with application.)

- (a) The original Zoning Review Application, signed by the Zoning Officer and/or a true copy of the Official order issued by the Zoning Officer and signed by him, where applicable.
- (b) Fifteen (15) copies of all application documents
- (c) Fifteen (15) copies of a map showing all lots within 200 feet of the property; if buildings exist thereon the map shall be a certified "location map" and clearly indicate such buildings and their approximate location, together with "prevailing set-back" dimensions.
- (d) Fifteen (15) copies of a Plot Plan and clearly indicate such buildings thereon with all front, side and rear yard dimensions.
- (e) Fifteen (15) copies of List of Property owners served, indicating method of service on each, date of service, together with copies of the post office receipts, if any.
- (f) Fifteen (15) copies of Subdivision, Site Plan, or Conditional Use application, when applicable.

(File all copies with the Land Use Administrator when only a variance is sought.)

Date: 8/29/23



Signature of Applicant or Agent



Anthony Hackett
Zoning Official

**BOROUGH OF
ALLENDALE**
CODE ENFORCEMENT OFFICE
500 West Crescent Avenue Allendale, NJ 07401

Phone: (201) 818-4400 x208
Fax: (201) 825-1913

MEMORANDUM

TO: Giuseppe & Alexandra DePinto
20 Stone Fence Rd
Allendale, NJ 07401

FROM: Anthony Hackett, Zoning Official/Construction Official

CC: Linda Garofalo Land use Administrator, Giuseppe DePinto

RE: Rear Addition

DATE: June 28, 2023

The Allendale Building/Zoning Department received the following documents:

- A. Borough of Allendale Zoning Review Application
- B. Site plan and sealed drawings prepared by Michael Bet Architect PC and James Pica

I have reviewed these documents and the Borough of Allendale Zoning Ordinances and I must deny your application for the following reason(s):

1) Your property is in the AA zone, in order to calculate the side-yard setbacks, a formula is used (using your Gross Floor Area). In your case you have an existing nonconformity on the right side of your home. According to **Borough Code 270-37(A)2**, you cannot create any new or additional encroachment or nonconformity. Currently there is a 19.5' setback where 20' is required, the proposed additional square footage would now require 21.78'. Adding an additional 1.78' encroachment to an already .5' encroachment, for a proposed 2.28' total encroachment. **See Borough Code 270-64B (2)**

You are hereby notified that you have the right under N.J.S.A. 40:55D-72 to appeal this decision to the Zoning board of adjustments of the Borough of Allendale within 20 days from the date of the decision. For further information please visit. <http://allendalenj.gov/zoning-board-of-adjustments/>

Anthony Hackett
Construction Official

2201

NEWSPAPER NOTICE

LAND USE BOARD
BOROUGH OF ALLENDALE
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Land Use Board of the Borough of Allendale will hold a public hearing on September 18, 2023, at 7:30 p.m. in the Allendale Municipal Building, 500

West Crescent Avenue, 2nd Floor, Allendale, New Jersey 07401 on the application of
GIUSEPPE & ALEXANDRA DEPINTO (Applicant) at
20 STONE FENCE RD. (Address)

Block No. 1503, Lot No. 16 for a (hardship, floor area ratio, use) variance
from Section BOROUGH CODE 270-37(A)2

_____ of the zoning ordinance of the Borough of Allendale, and for any other
variances or waivers that the Board may deem necessary, for the purpose of an addition
to increase our home's kitchen and dining area by
increasing the building's footprint.

Name and Address of Applicant
GIUSEPPE & ALEXANDRA DEPINTO
20 STONE FENCE RD.
ALLENDALE, N.J. 07401

Sample Legal Notice

To be published in *The Record* or *The Ridgewood News* at least ten (10) days prior to the scheduled hearing date.

Original notice cut from newspaper must be given to Board Secretary along with all forms.

BEING KNOWN AS LOT 88X IN BLOCK 8 ON MAP ENTITLED:
SUBDIVISION PLAT, SECTION NO. 4, SAN JACINTO ESTATES IN
THE BOROUGH OF ALLENDALE, BERGEN COUNTY, N.J.
FILED JULY 14, 1980 AS MAP NO. 5567.

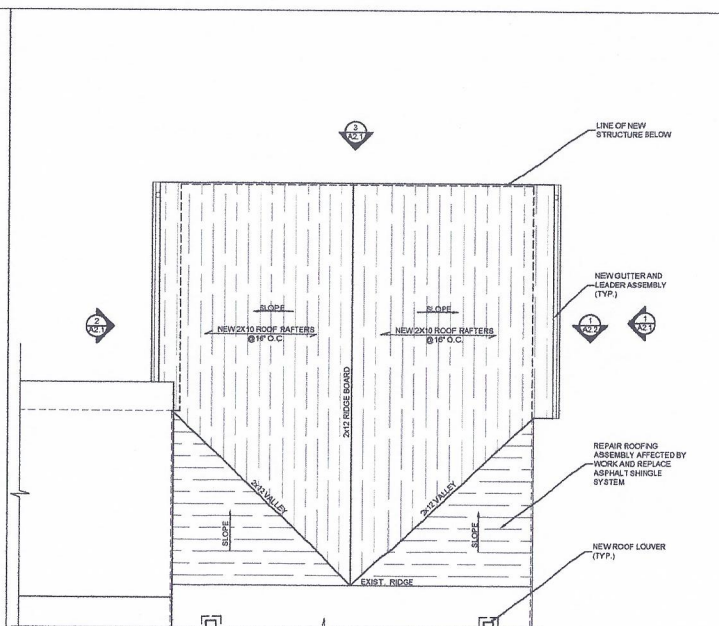


NO RESPONSIBILITY OR LIABILITY IS ASSIGNED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF
SURVEY FOR SURVEY PURPOSES, BECAUSE OF PROVISION, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFYING COVER CREDIT OR DEBIT
A SURVEYOR'S TRUST AND PROCEEDING NOT TO ANY OTHER PERSON NOT LISTED IN CERTIFYING COVER CREDIT OR DEBIT
C.M. 24234 400-24234 12-00-12 THIS SURVEY IS SUBJECT TO ANY FUTURE THAT MAY BE ENCLOSED BY A FILE AND ACCORDING THIS SURVEY.
THIS SURVEY IS NOT VALID WITHOUT THE ENCLOSED SEAL OF THE LICENSED SURVEYOR

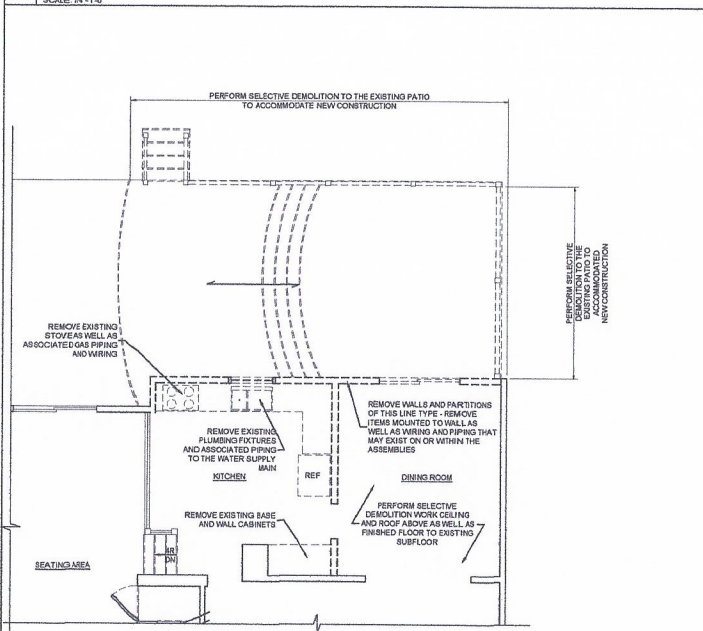
SURVEY OF PROPERTY SITUATED AT #20 STONE FENCE ROAD IN THE BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY	P² LAND SURVEYING, INC. P.O. BOX 241 (908) 955-7161 FLANDERS, NJ 07836 FAX (908) 955-7162
BEING KNOWN AS LOT 16 IN BLOCK 1503 ON THE TAX MAP IN THE BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY	DRAWN BY: ME DATE: 12-08-18 ENCLOSED BY: JF
CERTIFY TO GIUSEPPE DEPINTO AND ALEXANDRA DEPINTO, NEW ERA TITLE & SETTLEMENT, LLC; RAYMOND F. MILLER, ESQ.; VALLEY NATIONAL BANK, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR	SCALE: 1" = 30' NEYS-3771 18-20010
	JAMES PICA PROFESSIONAL LAND SURVEYOR NEW JERSEY LICENSE NUMBER 240503795400

SITE INFORMATION OBTAINED FROM OWNER. DRAWING PERFORMED BY, NJ PROFESSIONAL LAND SURVEYOR, LICENSE
NUMBER 240503795400.
INFORMATION MODIFIED BY ARCHITECT TO INDICATE LOCATION OF WORK.

AREA OF WORK
SCALE: NOT TO SCALE




5	NEW ROOF PLAN
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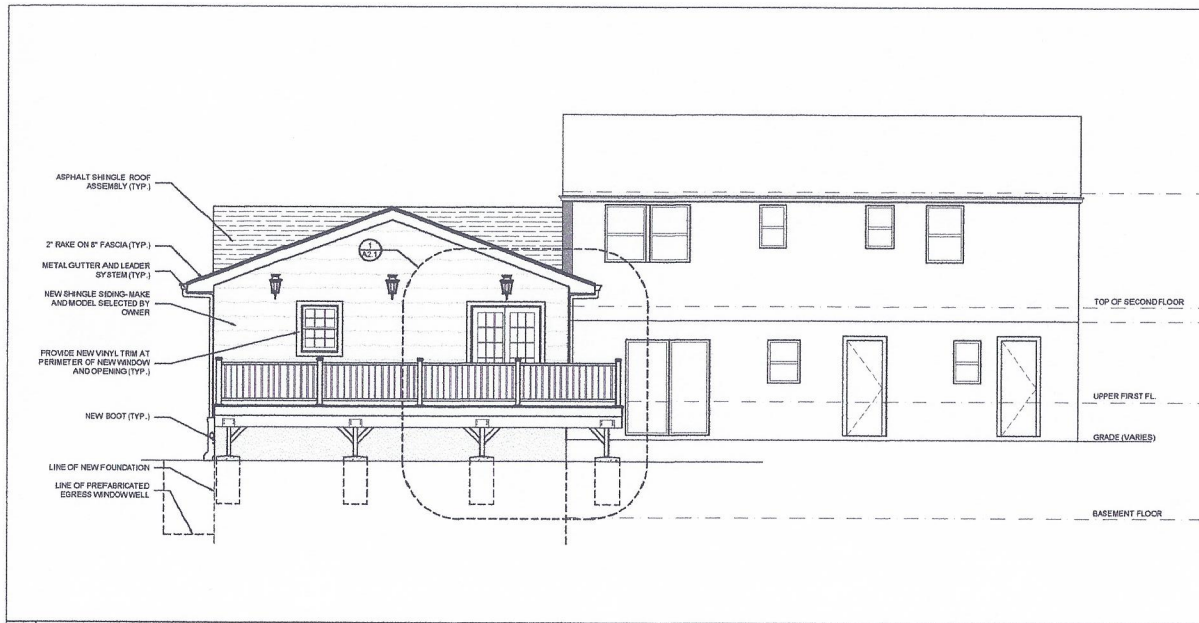


3	NEW FOUNDATION PLAN
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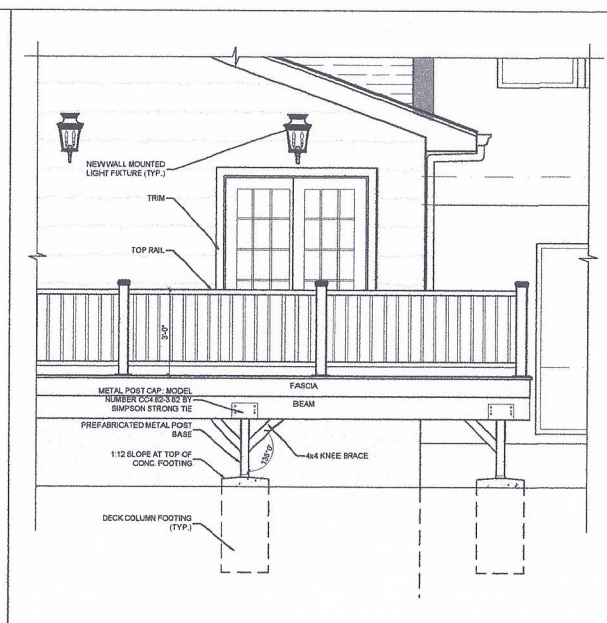
- NOTES:**
1. NEW STOVE AND HOOD. HOOD SHALL VENT TO EXTERIOR AND FAN SHALL NOT EXCEED 30G CFM.
 2. REMOVE AND REPLACE EXISTING GYP. BOARD FINISH ON EXISTING AND MODIFIED ROOF RAFTERS. INSTALL CLOSED CELL INSULATION BETWEEN EXISTING RAFTER VOIDS.
 3. REMOVE EXISTING SIDING AND APPLY NEW EXTERIOR FINISH TO MATCH ADDITION.

1	LEGEND
	SCALE: 1/4"=1'-0"

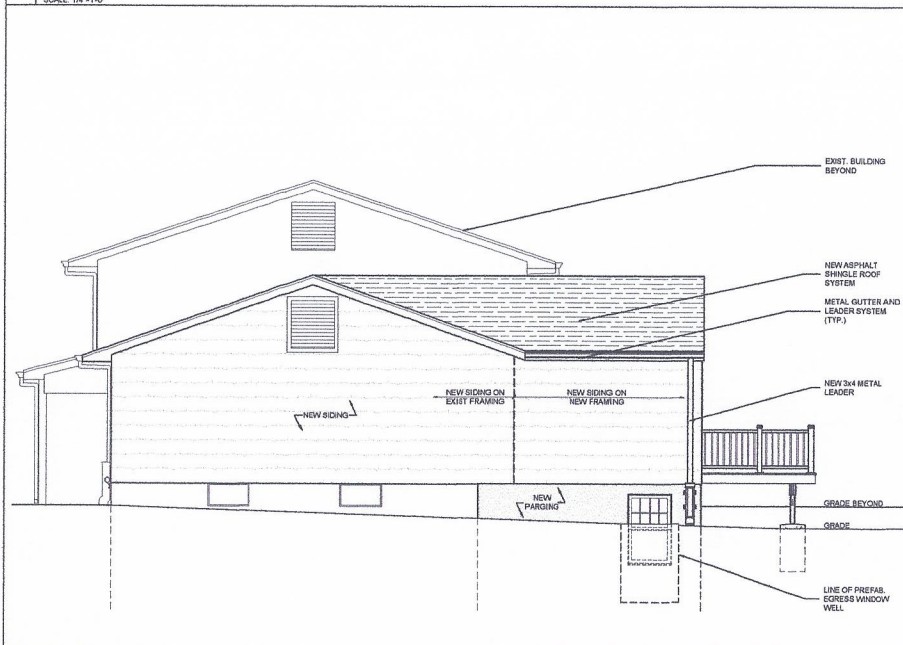
SHEET: <h1>A1.1</h1>		SCALE: NOTED PROJ. NO. 2301002 DRAWN BY: FZK CHECKED BY: MS	
ADDITION AT 20 STONE FENCE ROAD 20 STONE FENCE ROAD ALLENDALE, NEW JERSEY 07001, BLOCK 100, LOT 16		14.17.23 FOR OWNER REVIEW 05.15.23 PERMIT 05.15.23	
NEW FOUNDATION PLAN, FIRST FLOOR NEW CONSTR. PLAN, NEW ROOF PLAN LEGEND, FIRST FLOOR DEMOLITION PLAN			
MICHAEL A. BET, ARCHITECT, PC 101 BAYVIEW AVENUE, SUITE 3, ROCKWOOD, NEW JERSEY 07060 E-MAIL ADDRESS: michael@betarchitect.com PHONE: 908.261.1111 WEBSITE: www.betarchitect.com ACCREDITATIONS: AIA, CRI, CDT		MICHAEL A. BET, ARCHITECT, PC 101 BAYVIEW AVENUE, SUITE 3, ROCKWOOD, NEW JERSEY 07060 E-MAIL ADDRESS: michael@betarchitect.com PHONE: 908.261.1111 WEBSITE: www.betarchitect.com ACCREDITATIONS: AIA, CRI, CDT	
14.17.23 FOR OWNER REVIEW 05.15.23 PERMIT 05.15.23		14.17.23 FOR OWNER REVIEW 05.15.23 PERMIT 05.15.23	



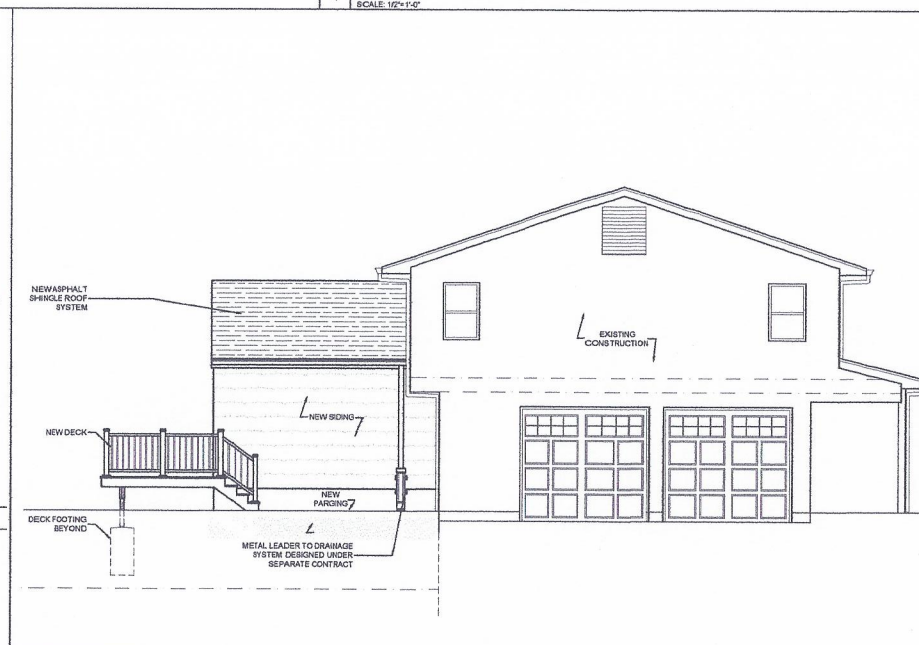
3 NORTH ELEVATION
SCALE: 1/4\"/>



4 ENLARGED NORTH ELEVATION
SCALE: 1/2\"/>



1 EAST ELEVATION
SCALE: 1/4\"/>



2 WEST ELEVATION
SCALE: 1/4\"/>

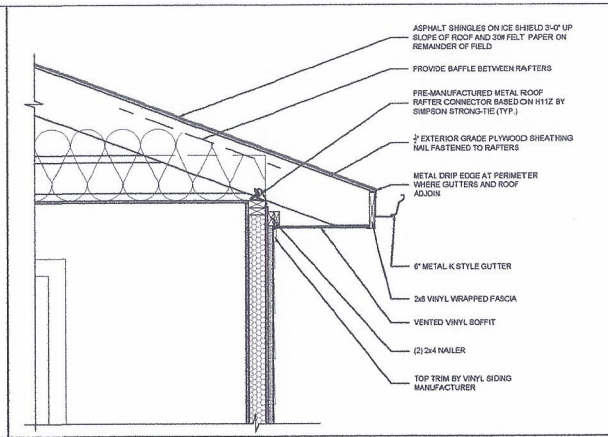
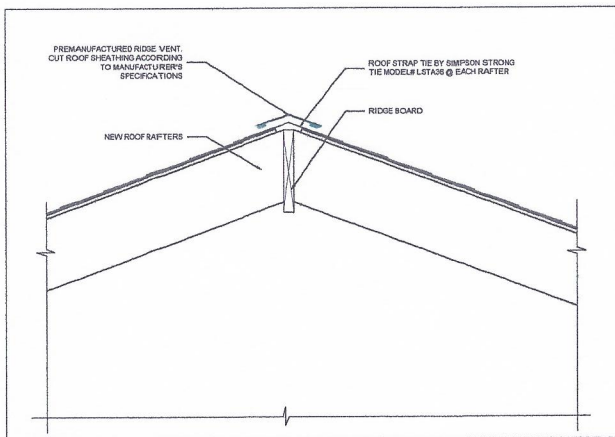
MICHAEL A. BETT ARCHITECT PC
 20 STONE FENCE ROAD, SUITE 100, LOT 18
 ROCKY HILL, CONNECTICUT 06067
 TEL: 860.261.1000
 FAX: 860.261.1001
 EMAIL: info@bettsarchitect.com
 www.bettsarchitect.com



FOR OWNER REVIEW
 FOR PERMIT
 04/17/23
 04/15/23

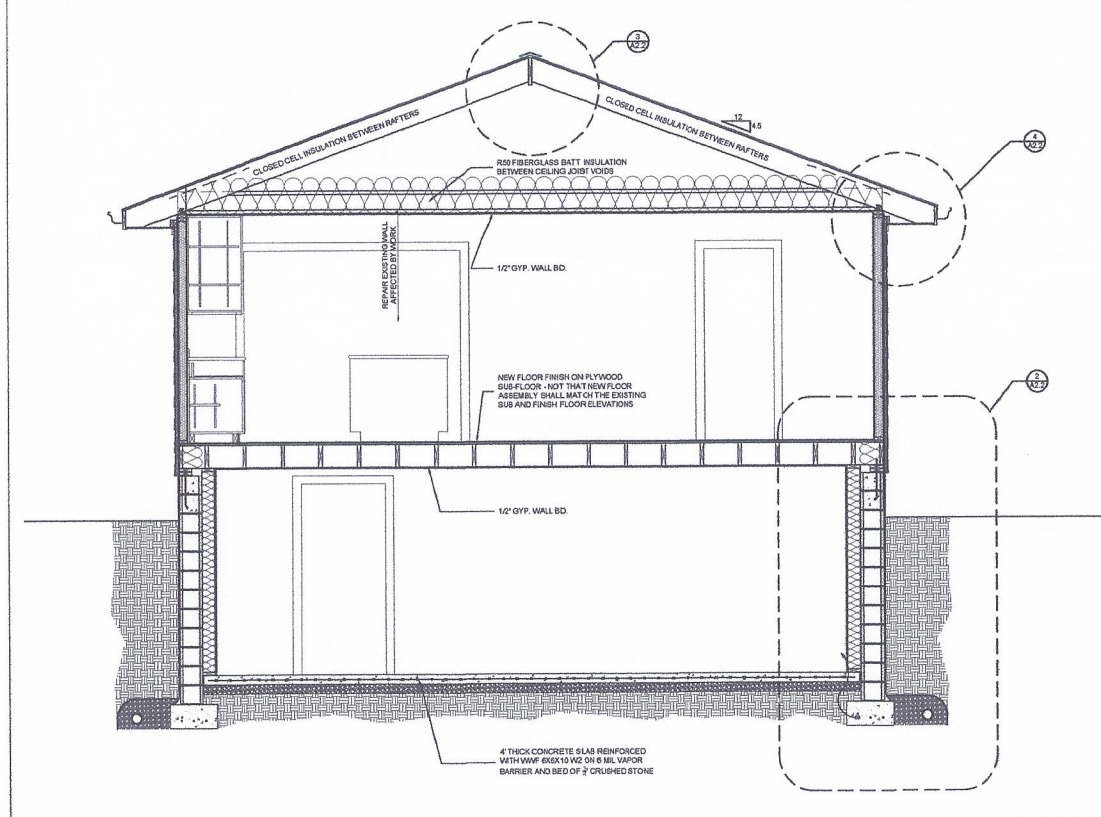
ADDITION AT
 20 STONE FENCE ROAD
 ROCKY HILL, CONNECTICUT 06067

SHEET:
A2.1
 SCALE: NOTED
 PROJ. NO: 2301002
 DRAWN BY: PFK
 CHECKED BY: MB

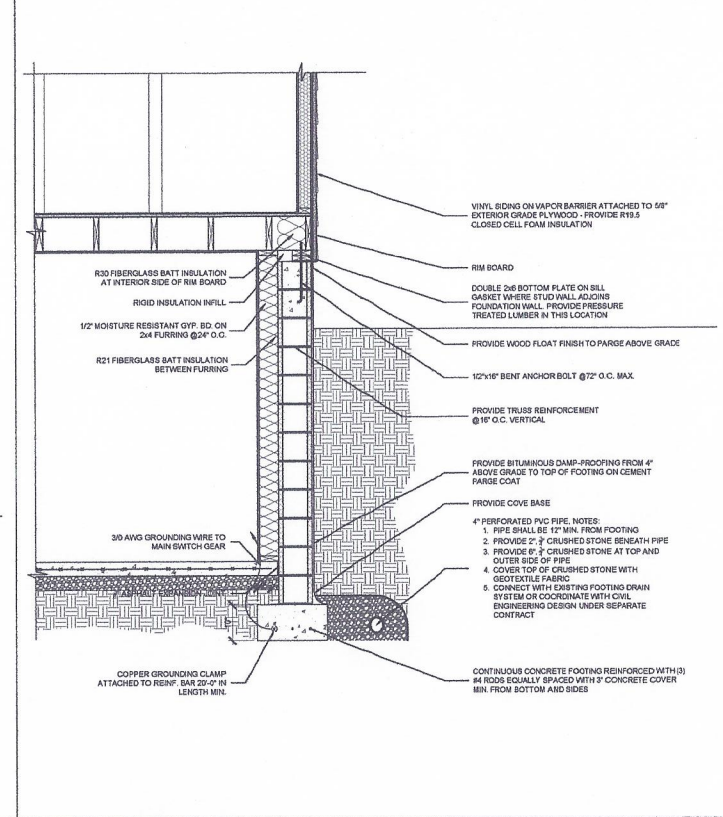


3 RIDGE BEAM SECTION
SCALE: 1/2"=1'-0"

4 SOFFIT DETAIL
SCALE: 1/2"=1'-0"



1 SECTION
SCALE: 1/2"=1'-0"



2 EXTERIOR WALL SECTION
SCALE: 3/4"=1'-0"

PROJECT NO. 2301002
SHEET NO. A2.2
DATE: 08/12/23

MICHAEL A. BET, ARCHITECT, P.C.
1000 N. ROOSEVELT AVE., SUITE 100
ROSELAND, NJ 07068
TEL: 201.991.1234
FAX: 201.991.1235
E-MAIL ADDRESS: info@michaelbet.com
www.michaelbet.com

ADDITIONAL AIA CEE CDT

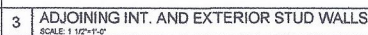
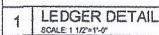
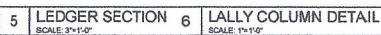
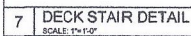
FOR OWNER REVIEW
FOR PERMIT
08/12/23

**ADDITION AT
20 STONE FENCE ROAD**
20 STONE FENCE ROAD, ALLENDALE, NEW JERSEY 07001, LOT 18

SECTIONS

SHEET:
A2.2

SCALE: NOTED
PROJ. NO. 2301002
DRAWN BY: FZK
CHECKED BY: MB



Project Title: Addition at 20 Stone Fence Road
Data filename: Report date: 05/15/23
Page: 2 of 10

SHEET:
A2.3

SCALE: NOTED

PROJ. NO: 2301002


DRAWN BY: FZK

CHECKED BY: MB

Memorandum

To: Borough of Allendale Land Use Board
L. Garofalo, Board Secretary / C. Botta, Board Attorney

Cc: G. & A. DePinto, Applicants / M. Fitzpatrick Scro, Applicant's Architect

From: Michael Vreeland, Board Engineer 

Date: September 12, 2023

Re: LUB 2023-09 – DePinto
Variance Application –Addition
20 Stone Fence Road
Block 1503, Lot 16
ALN-1001.066

We are in receipt of the following information pertaining to the above-referenced application:

- A. Land Use Application and associated documents.
- B. June 28, 2023, Allendale Code Enforcement Office correspondence (Anthony Hackett) to applicant deny zoning application.
- C. Plan entitled, "Area of Work".
- D. Architectural Plan Set entitled, "Addition At, 20 Stone Fence Road, 20 Stone Fence Road, Allendale, New Jersey 07401, Block 1503, Lot 16". The plans prepared by Michael A. Bet Architect, PC consist of 4 sheets and are dated with a latest revision date of May 30, 2023.

We have reviewed the information along with the Borough Code (Code), visited the site and offer the following comments:

1. INTRODUCTION

The subject is currently developed with a single-family dwelling and associated amenities. The property is located within the Borough's AA Residence Zone District and is surrounded by residential uses.

The application and plans propose additional and renovations to the dwelling (including rear footprint and first floor expansions).

The application and plans request relief for conflicts with §270-37(A) (additions to nonconforming structures) and §270-64B (enhanced side yard setback).

OFFICE LOCATIONS

www.vancleefengineering.com

Lebanon, NJ
908-735-9500

Hamilton, NJ
609-689-1100

Toms River, NJ
732-573-0490

Freehold, NJ
732-303-8700

Bethlehem, PA
610-332-1772

Hillsborough, NJ
908-359-8291

Mt. Arlington, NJ
862-284-1100

Phillipsburg, NJ
908-454-3080

Doylestown, PA
215-345-1876

Pottstown, PA
610-323-4040

2. TECHNICAL COMPLETENESS

We have reviewed the application for technical completeness in accordance with the Application Checklist. Based on the nature of the proposal, we believe the Applicant's submission is sufficient to conduct technical review.

We defer to the Land Use Administrator and the Board Attorney regarding administrative and legal completeness matters.

3. ZONING

We have reviewed this application in accordance with the requirements of the Borough's Code. Based on this review we find the following:

3.1. Non-Conforming Conditions:

3.1.1. §270-64B – Side Yard Setbacks

Comment: The existing right setback is noted to be ± 0.5 ft less than the required ± 20 ft.

The proposal increases the GBA and expands the required enhanced side yard to ± 21.78 ft. The plan proposes to maintain the right setback distance and the renovated dwelling will further encroach into the expanded setback requirement.

3.2. Discussion:

Since this proposal does not meet the requirements noted above, the Applicant must seek relief from the Board pursuant to the Municipal Land Use Law under N.J.S.A. 40-55D-70c.

The Applicant has requested "C" variances in conjunction with this proposal.

"C(1)" or "Hardship" Variances:

In judging an application by the C(1) criteria, the core question presented to the Board is whether there has been a showing of (1) peculiar and exceptional practical difficulties to, or (2) exceptional and undue hardship upon, the Applicant arising out of (a) the exceptional narrowness, shallowness or shape of the subject property, or (b) by reason of exceptional topographic conditions or physical features uniquely affecting the subject property, or (c) by reason of an extraordinary and exceptional situation uniquely affecting the subject property or the structures lawfully existing thereon. In all cases, the alleged hardship must relate to a specific piece of property.

“C(2)” or “Benefits v. Detriments” Variances:

In judging an application by the C(2) criteria, the core questions presented to the Board is whether the grant of a variance would promote or advance the purposes of the Municipal Land Use Law and the benefits of such deviation outweigh any detriment.

As in all variance cases, the Applicant bears the burden of proving both the positive and negative criteria. Relief cannot be granted unless it can be granted without substantial detriment to the public good and unless it will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

We specifically note that it is the Applicant’s burden to show the special reasons and satisfy the negative criteria. As such, the Applicant will need to present additional information concerning the aforementioned issues as well as the positive and negative elements pertaining to the subject proposal.

4. TECHNICAL REVIEW COMMENTS

- 4.1. Testimony should address proposed building finishes, colors, and materials.
- 4.2. Testimony should address potential conflicts with existing mechanical equipment and drainage features.
- 4.3. Testimony should address tree removal and replacement as well as proposed landscaping.
- 4.4. Testimony should address exterior lighting.
- 4.5. Testimony should address distance from the expanded dwelling to the shed and confirm setback will comply with §270-14.
- 4.6. A copy of the referenced survey should be provided to the Board.
- 4.7. Should the Board approve this application:
 - 4.7.1. Site grading and stormwater management will need to be addressed. The Applicant will need to obtain Soil Movement Permit (§225) and Plot Plan Approval (§196). The Applicant is advised that drainage calculations will be required to demonstrate stormwater management measures have been designed to reduce runoff and sized for tributary areas (§225-5.D).
 - 4.7.2. Soil erosion and sediment control measures will need to be provided. The measures need to be in place prior to initiating soil disturbance and maintained until the area of disturbance has been permanently stabilized.
 - 4.7.3. We recommend an “As-Built Plan” be required prior to requesting a certificate of occupancy.

Please contact me should you have any questions.