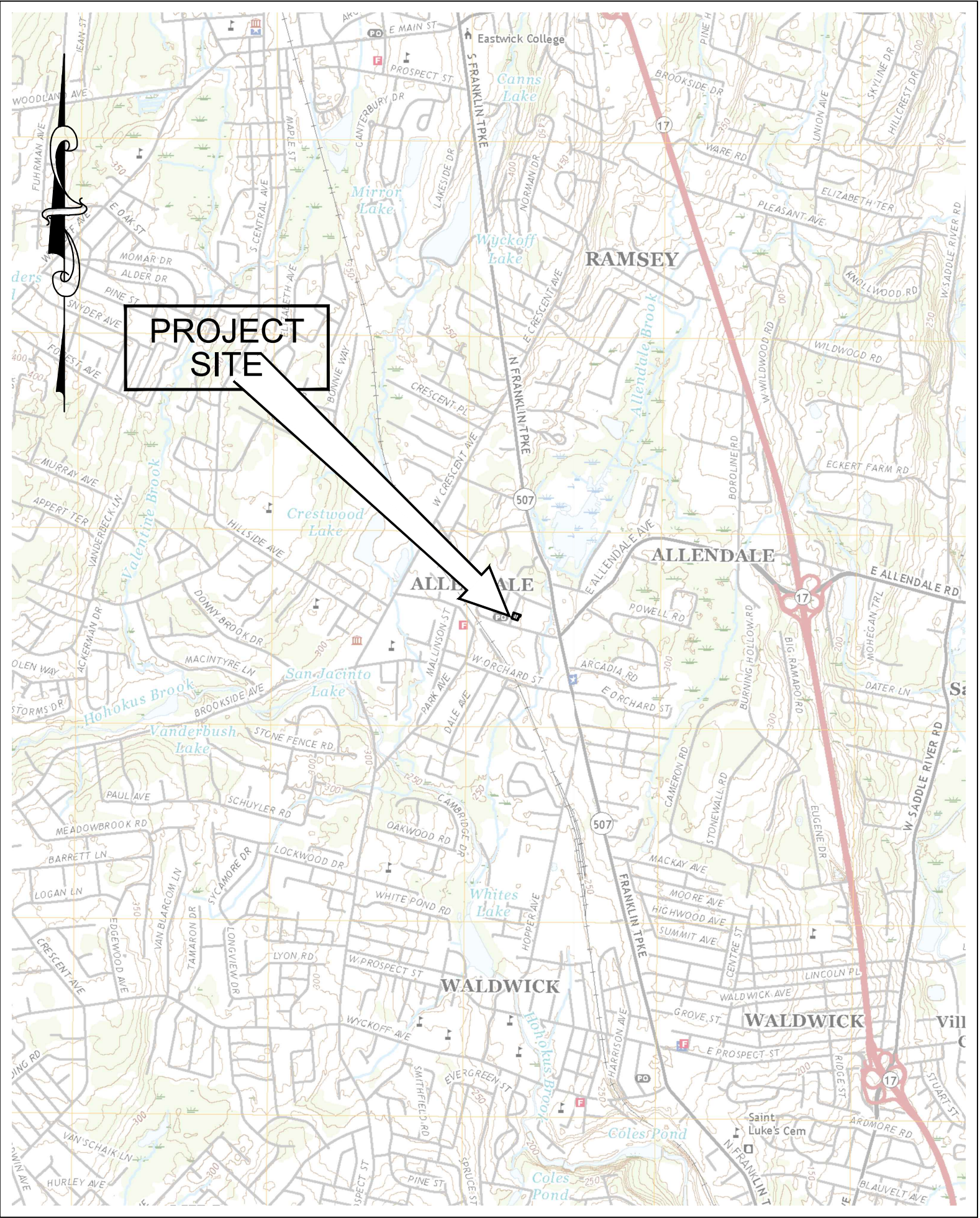


# PRELIMINARY AND FINAL SITE PLAN FOR 22 MAPLE STREET

## TAX MAP BLOCK 1808, LOT 2 - ZONE C-1 (CENTRAL BUSINESS)

### BOROUGH OF ALLENDALE BERGEN COUNTY, NEW JERSEY

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SHEET	DESCRIPTION
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2	ZONING MAP/GENERAL NOTES
3	SITE PREPARATION PLAN/ LAYOUT & DIMENSIONING PLAN
4	GRADING & UTILITY PLAN/ SOIL EROSION & SEDIMENT CONTROL PLAN
5	LANDSCAPE & LIGHTING PLAN
6-7	CONSTRUCTION DETAILS



LOCATION MAP  
SCALE: 1"= 2,000'

**OWNER/APPLICANT:**  
ABC VAULT PARTNERS, LLC  
PO BOX 342  
ORADELL, NJ 07649

**APPROVALS:**

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT COMPLIES WITH ALL APPROVALS GRANTED BY THE APPROVING AUTHORITY .

\_\_\_\_\_ DATE

APPROVED BY BOARD OF ADJUSTMENT OF THE BOROUGH OF ALLENDALE.

\_\_\_\_\_ DATE

\_\_\_\_\_ DATE

\_\_\_\_\_ DATE

EXPIRATION OF APPROVAL (PRELIMINARY - 3 YRS; FINAL - 2 YRS)

\_\_\_\_\_ DATE (WITHOUT EXTENSIONS)

**BOND/TAXES CERTIFICATION:**

VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR ASSESSMENTS IS CURRENT.

\_\_\_\_\_ DATE

I HEREBY CERTIFY THAT A BOND HAS BEEN POSTED FOR ALL THE REQUIRED IMPROVEMENTS IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

\_\_\_\_\_ DATE

**OWNERS CERTIFICATION:**

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE BOARD OF ADJUSTMENT OF THE BOROUGH OF ALLENDALE.

\_\_\_\_\_ DATE

BOROUGH OF ALLENDALE SITE PLAN CONTROL NUMBER \_\_\_\_\_

6		DATE	REVISION	CHKD
5				
4				
3				
2				
1				

PROJ.: 210812  
DATE: 10/15/21  
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Phone: 973-647-7820  
NJ Certificate of Authorization No. 24GAB293300  
www.oandstengineers.com  
Email: osterkorn@oandst.com  
Kristen Osterkorn, N.J. Professional Engineer & Professional Land Surveyor  
Lic. 24GAB293300

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR  
22 MAPLE STREET  
COVER SHEET / LOCATION MAP  
TAX MAP BLOCK 1808, LOT 2  
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

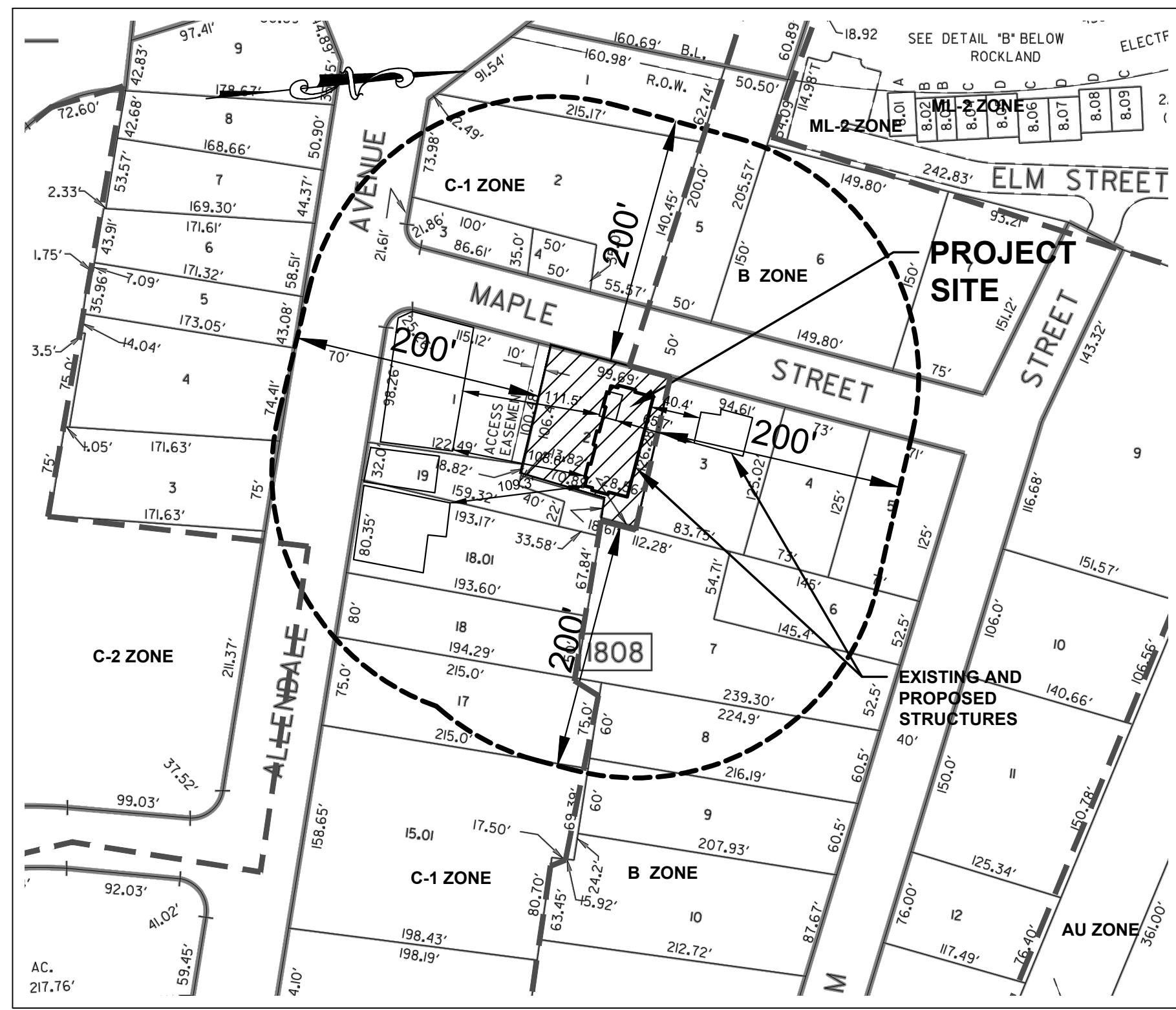
1  
OF  
7

SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

GENERAL NOTES

- 1. Boundary and topographic information shown hereon taken from property survey prepared by Omland & Osterkorn, Inc. dated 8/27/21. Elevations on assumed datum.
2. The engineer signing this plan is not qualified to make a determination as to the presence or absence of wetlands.
3. Underground utilities shown hereon are approximate and based solely upon above ground observations...

- 4. The Contractor shall determine the location and depth of the existing utility to which connection is being made before laying any pipe, conduit, etc.
5. Any temporary interruption of service to the site and/or adjacent properties shall be pre-approved in writing (email) by the respective utility.
6. Electric, telephone, cable television and all other utility services shall be installed underground...



ZONING MAP SCALE: 1"= 100'

200' PROPERTY OWNERS LIST

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Add'l Lots. Lists owners for Block 1808, Lot 2, including Pleasant Brook Inv Op, Rock Elm LLC, and others.

ZONING TABLE

Zoning table for Block 1808, Lot 2. Columns: ITEM, PERMITTED, EXISTING, PROPOSED. Rows include Lot Area, Building Coverage, Total Impervious Coverage, etc.

COVERAGE TABLE - ZONE C-1 BLOCK 1808, LOT 2

Coverage table comparing existing and proposed coverages. Columns: Description, Area (SF), Percentage. Rows include Building/Awning, Driveway/Concrete, Total Impervious Coverage.

UTILITY COMPANY LIST

200' BAND PERIMETER PROPERTIES BOROUGH OF ALLENDALE, NEW JERSEY 07401 BEFORE YOU DIG YOU MUST CONTACT "UNDERGROUND ALERT" AT 1-800-272-1000 AND PROVIDE THEM WITH THE LOCATION OF THE SUBJECT PROPERTY IN ORDER TO DETERMINE IF ANY OF THE FOLLOWING UTILITIES MUST BE NOTIFIED:

- PERIMTER PROPERTIES:
Block/Lot Utilities within the Borough of Allendale
Rockland Electric Company - 1 Blue Hill Plaza, Pearl River, NJ 10965
New Jersey Department of Transportation, Box 600, Trenton, NJ 08625

Revision table with columns: NO., DATE, REVISION. Shows one revision: 1. ADD DISTANCES TO NEIGHBORING STRUCTURES. DATE: 12/09/21.

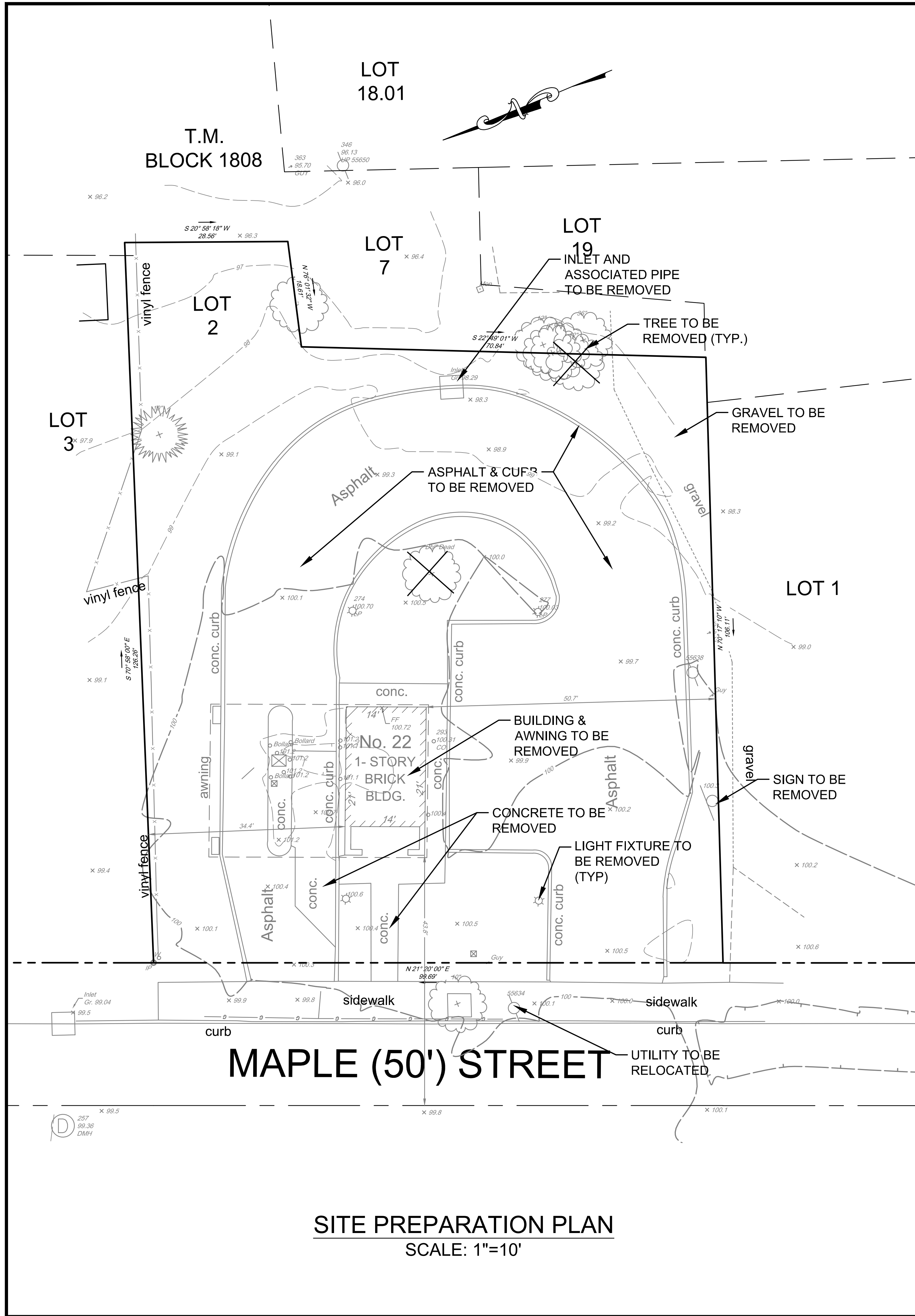
Professional Engineer seal for MLAND & STERKORN CONSULTING ENGINEERS & SURVEYORS. License No. 24628293000. Includes name and contact info.

Omland & Osterkorn, Inc. logo and contact information. Website: www.oosterkorn.com. Phone: 973-647-7820.

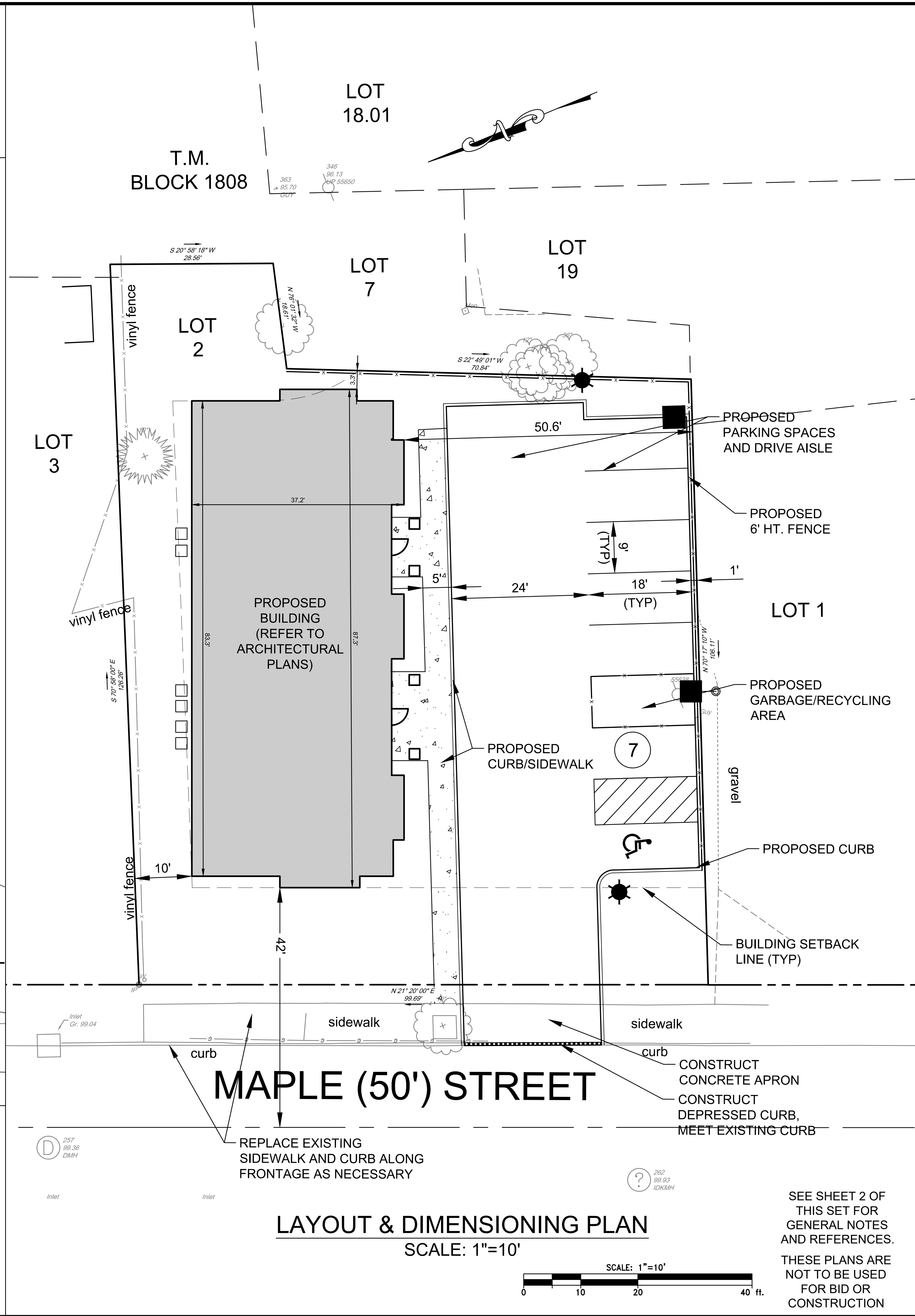
PRELIMINARY AND FINAL MAJOR SITE PLANS FOR 22 MAPLE STREET ZONING MAP / GENERAL NOTES TAX MAP BLOCK 1808, LOT 2 BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

SHEET No. 2 OF 7

SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION



**SITE PREPARATION PLAN**  
SCALE: 1"=10'



**LAYOUT & DIMENSIONING PLAN**  
SCALE: 1"=10'

SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

NO.	REVISION	DATE
1	ADD BUILDING DIMENSION PER CHECKLIST	12/09/21
2		
3		
4		
5		
6		

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DATE: 10/15/21  
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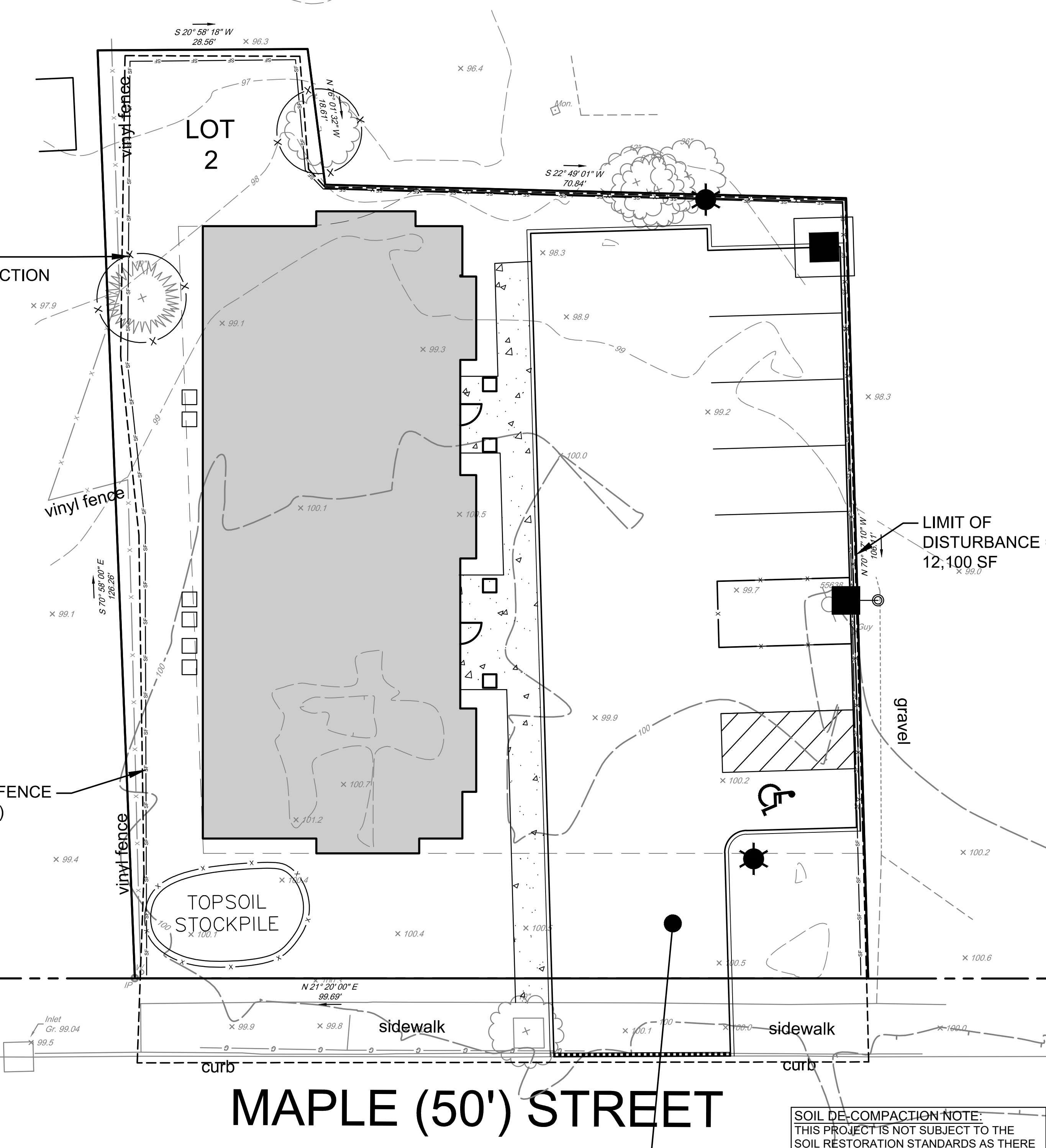
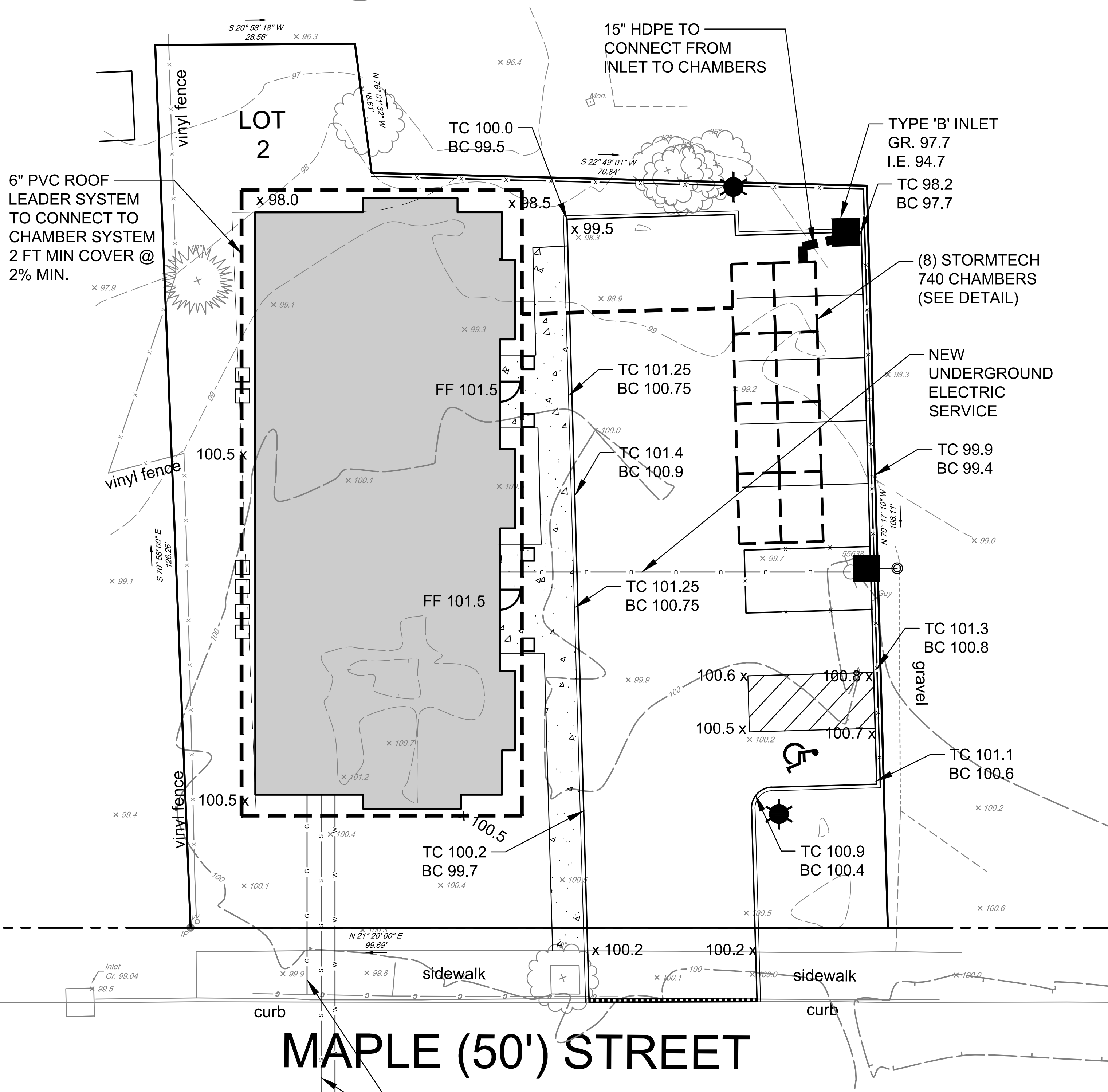
Omland & Osterkorn, Inc.  
Phone: 978-447-7800  
NJ Certificate of Authorization No. 24G02030300  
www.oceengineers.com  
Email: osterkorn@o-ent.com  
*Suzanne Osterkorn*  
Suzanne Osterkorn, P.E., Professional Engineer & Professional Land Surveyor  
LIC. 24CB042581

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR  
22 MAPLE STREET  
SITE PREPARATION PLAN /  
LAYOUT & DIMENSIONING PLAN  
TAX MAP BLOCK 1808, LOT 2  
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

SHEET No. **3** OF **7**

T.M.  
BLOCK 1808

T.M.  
BLOCK 1808



MAPLE (50') STREET

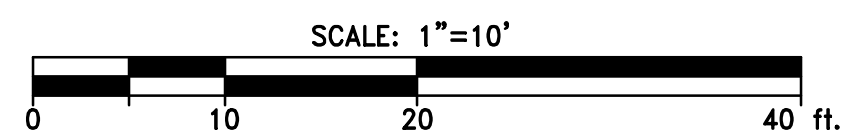
MAPLE (50') STREET

**GRADING AND UTILITY PLAN**  
SCALE: 1"=10'

**SOIL EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=10'

- UTILITY NOTES:**
1. ALL ROOF DRAINS SHALL BE CONNECTED TO UNDERGROUND STORM SEWER SYSTEM UNLESS OTHERWISE SHOWN ON THE PLANS.
  2. NEW WATER, SANITARY, GAS AND ELECTRIC TO BE SERVICED FROM EXISTING UTILITY CONNECTION AND COORDINATION WITH UTILITY COMPANY AND MEP ENGINEER.
  3. PROPOSED UTILITY LINES TO BE COORDINATED WITH EXISTING & PROPOSED UTILITIES FOR CROSSINGS AND CLEARANCE REQUIREMENTS.

**SOIL DE-COMPACTION NOTE:**  
THIS PROJECT IS NOT SUBJECT TO THE SOIL RESTORATION STANDARDS AS THERE ARE NO RESTORATION AREAS SUBJECT TO TESTING. THESE AREAS ARE WITHIN 12' OF THE BUILDING AND AREAS AVAILABLE FOR REMEDIATION PRACTICES THAT ARE 500 SF OR LESS IN SIZE DO NOT REQUIRE COMPACTION REMEDIATION.



SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

6		
5		
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DATE: 10/15/21  
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Omland & Osterkorn, Inc.  
Phone: 978-447-7800  
NJ Certificate of Authorization No. 24G02030300  
www.oandost.com  
Email: osterkorn@oandost.com  
*Kevin J. Osterkorn*  
KEVIN J. OSTERKORN, N.J. Professional Engineer & Professional Land Surveyor, License No. 24C042591

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR  
22 MAPLE STREET  
GRADING, UTILITY AND SOIL EROSION & SEDIMENT CONTROL PLAN  
TAX MAP BLOCK 1808, LOT 2  
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

**GENERAL LANDSCAPE NOTES**

- PLANTING:**
- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING AND LIGHTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. AND NOTIFY THE LANDSCAPE ARCHITECT IN REFERENCE TO ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
  - THE CONTRACTOR SHALL ENSURE THAT WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
  - IN THE EVENT OF VARIATION BETWEEN WRITTEN QUANTITIES AND QUANTITIES SHOWN ON THE PLAN, THE PLANS SHALL TAKE PRECEDENCE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOIL AND SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
  - PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD.
  - ALL PLANT MATERIAL SHALL CONFORM TO CURRENT 'AMERICAN STANDARDS FOR NURSERY STOCK' BY AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). TREES SHALL BE NURSERY-GROWN, FREE OF DISEASE, SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS.
  - ALL PLANTS (B&B OR CONTAINERS) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR ENGINEER.
  - ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
  - PLANT SUBSTITUTIONS SHALL BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT RELATIVE TO SIZE, SPECIES AND VARIETY. ALL PLANT MATERIAL SHALL BE TRUE SPECIES, VARIETY, AND SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. WRITTEN PROOF OF UNAVAILABLE PLANT MATERIAL MUST BE DOCUMENTED.
  - ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH A 3 INCH LAYER OF SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
  - TRANSPLANTING:
    - A. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
    - B. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
    - C. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
    - D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
    - E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
    - F. IF TRANSPLANTS DIE, SHRUBS LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND.
  - BULBS SHALL BE PLANTED IN ACCORDANCE WITH SECTION 11 OF THE ANLA STANDARDS.
  - THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE AS SHOWN ON THE DOCUMENTS.
  - ALL TREE STAKES AND WIRES WILL BE REMOVED BY THE APPLICANT AFTER ONE (1) YEAR FROM THE DATE OF INSTALLATION.
  - VEGETATION PROPOSED AMONG EXISTING VEGETATION IS TO BE PLANTED TO AVOID DAMAGE TO THE EXISTING VEGETATION.
  - ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7' ABOVE GRADE.
  - MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, ENGINEER, OR OWNER.
  - ALL PLANTING BEDS SHALL RECEIVE 3 INCHES OF SHREDDED HARDWOOD MULCH WITH WEED INHIBITING FABRIC BENEATH.
  - PLANT MATERIALS SHALL NOT BE INSTALLED UNTIL FINISHED GRADING HAS BEEN COMPLETED.
  - UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE MEETING OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR ENGINEER OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
  - ALL TREES SHALL BE GUARANTEED FOR 24 MONTHS FROM DATE OF ACCEPTANCE. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR 24 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.
  - PLANTING DATES:
    - FALL: AUGUST 15 - DECEMBER 15: EVERGREEN TREES; OCTOBER 15 - DECEMBER 15: DECIDUOUS TREES
    - SPRING: MARCH 1 - MAY 15: ALL PLANTS

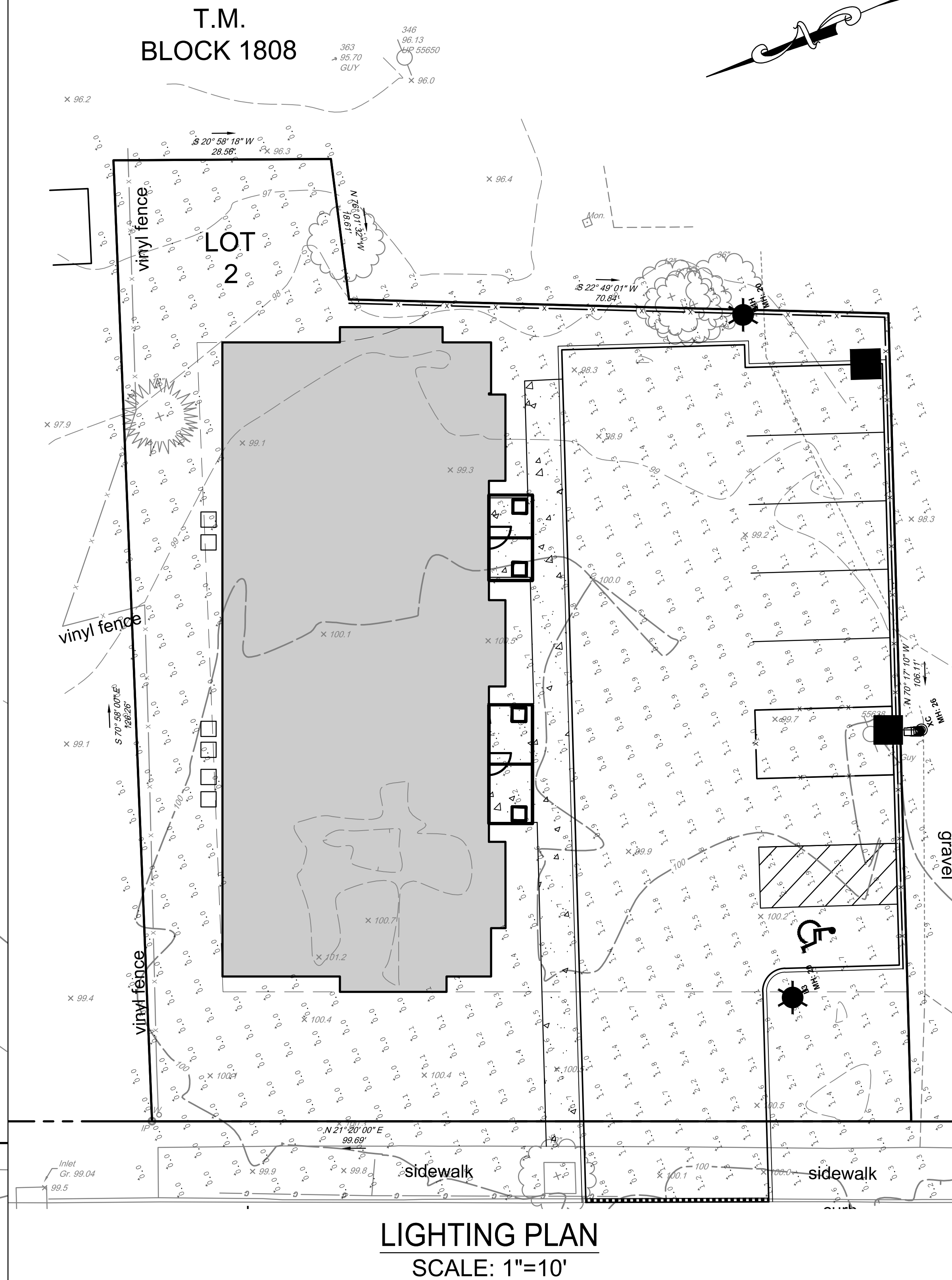
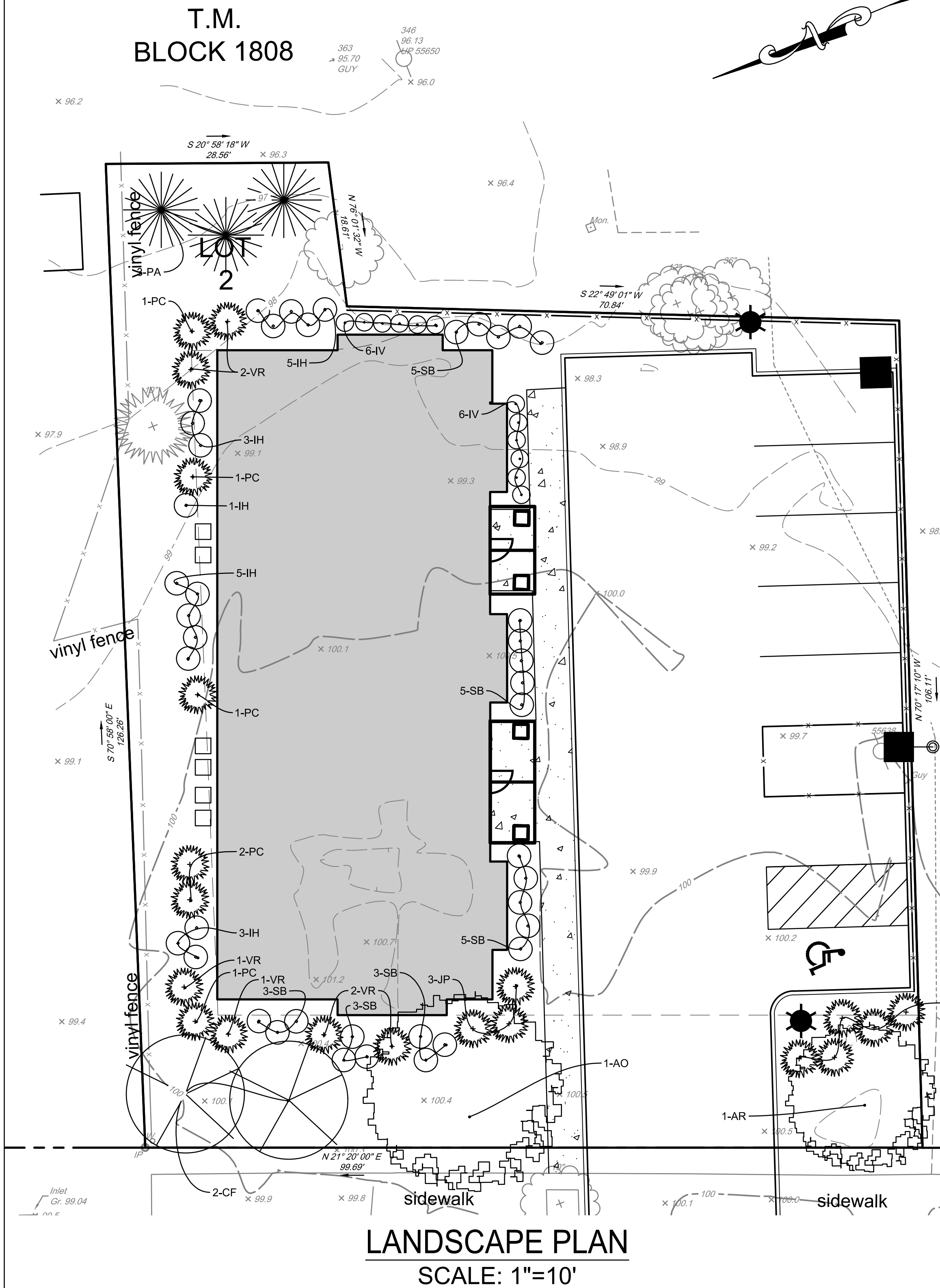
- LAWN:**
- ALL DISTURBED AREA OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED OR SODDED.
  - ALL SOD SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILAR TO AREAS TO BE COVERED. AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, BUTTED WITH NO UNEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
  - ALL PLANTING BEDS ADJACENT TO LAWN AREAS (SOD OR SEEDED) SHALL BE SPADE EDGED.

- SOILS:**
- CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL TEST OF EXISTING ON SITE SOILS TO BE USED AS PART OF PLANTING BACKFILL MIXTURE.
  - PLANT BACKFILL MIXTURE: BACKFILL PLANT PITS WITH A MIXTURE OF TOPSOIL AND SOIL AMENDMENTS. AMENDMENTS SHALL BE ADDED AS RECOMMENDED BY CERTIFIED SOIL TEST.
  - CONTRACTOR SHALL PROVIDE PLANTING BACKFILL MIXTURE TO PROPOSED DEPTHS AS FOLLOWS: TREES (24 INCH MINIMUM OF PLANTING BACKFILL MIXTURE); SHRUBS (18 INCH MINIMUM OF PLANTING BACKFILL MIXTURE); PERENNIALS AND GROUND COVER (12 INCH MINIMUM OF PLANTING BACKFILL MIXTURE).
  - IF WET SOIL CONDITIONS EXIST THEN PLANT PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND THE ADDITIONAL AREA FILLED WITH SAND.
  - IMPORTED OR ON-SITE TOPSOIL MAY BE USED TO REFILL THE EXCAVATED AREA. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. CONTRACTOR TO MODIFY THE SOIL AS NEEDED TO MEET REQUIRED PH AND NUTRIENT LEVELS.
  - LAWN/LANDSCAPE RESTORATION AREAS: CONTRACTOR TO COMPLETELY REMOVE ALL UNDERLYING CONSTRUCTION MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24", INCLUDING A MINIMUM OF 6" THICK TOPSOIL.
  - ALL AREAS, WHICH ARE TO BE SEEDED, SHALL RECEIVE 5" OF TOPSOIL PRIOR TO SEEDING. PRIOR TO TOPSOIL PLACEMENT THE EXISTING SOIL SHALL BE RAKED CLEAN OF WEEDS, VEGETATION AND EXTRANEOUS MATERIALS SUCH AS WOOD, STONES, ROCKS, CONSTRUCTION DEBRIS, ETC. LARGER THAN TWO (2) INCHES IN ANY DIMENSION. TOPSOIL SHALL BE SANDY LOAM FREE FROM SUBSOIL, STONES LARGER THAN 1" OR ANY UNDESIRABLE MATERIAL. CONTAIN 5% ORGANIC MATTER, 6.0 TO 6.5 PH. TOPSOIL SHALL NOT BE WORKED IN MUDDY OR WET CONDITIONS.
  - TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES AND STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND SOD PRIOR TO SUBMITTING A BID.
  - THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS.
  - ALL PLANTING AREAS WITHIN EXISTING ASPHALT PAVEMENT AREAS SHALL BE DECOMPACTED A MINIMUM DEPTH OF 24 INCHES. CONTRACTOR TO REMOVE ASPHALT BASE MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24". TAKE CARE TO NOT RIP SOIL WITHIN THE DRIP LINE OF EXISTING TREES.

- COORDINATION:**
- THE CONTRACTOR SHALL COORDINATE WITH LIGHTING CONTRACTOR (WHEN / WHERE APPLICABLE) REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
  - THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE THREE (3) DAYS PRIOR TO ANY EXCAVATION. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT UTILITIES ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO THE UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. ANY DAMAGE OF UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.

- INSTALLATION:**
- ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
  - DURING PLANTING OPERATIONS EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
  - EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.

- MAINTENANCE:**
- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDING: WATERING, PRUNING, FERTILIZING, WEEDING, MULCHING, REPLACEMENT OF DISEASED OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF PLANTS.

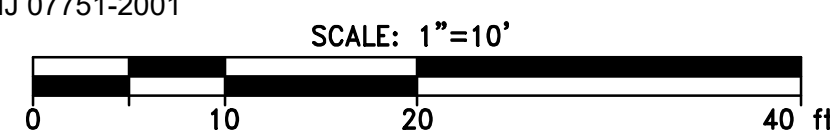


PLANT SCHEDULE						
Key	Qty	Scientific Name	Common Name	Caliper	Height	Root
<b>Evergreen Trees</b>						
PA	3	Picea abies	Norway Spruce	-	7'	B&B
PC	6	Picea abies 'Cupressina'	Columnar Norway Spruce	-	7'	B&B
<b>TOTAL</b>	<b>9</b>					
<b>Deciduous Trees</b>						
AO	1	Acer rubrum 'October Glory'	October Glory Maple	3"	12-14'	B&B
AR	1	Acer rubrum 'Armstrong'	Armstrong Red Maple	3"	12-14'	B&B
CF	2	Cornus florida 'Cherokee Chief'	Cherokee Chief Flowering Dogwood	2"	-	B&B
<b>TOTAL</b>	<b>4</b>					
<b>Shrubs</b>						
IH	17	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	-	24-30"	#3 Cont
IV	12	Itea virginica 'Merlot'	Merlot Sweetspire	-	24-30"	#3 Cont
JP	8	Juniperus x pfitzeriana 'Sea Green'	Sea Green Juniper	-	36-42"	#5 Cont
SB	24	Spiraea x bumalda 'Gold Flame'	Gold Flame Spirea	-	24-30"	#3 Cont
VR	6	Viburnum rhtidophyllum 'Green Trump'	Green Trump Leatherleaf Viburnum	-	36-42"	#5 Cont
<b>TOTAL</b>	<b>67</b>					

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
1	1	L4H	SINGLE	N.A.	0.950	CXF48-G3-4-750-3-4H
1	1	L3	SINGLE	N.A.	0.950	CXF48-G3-3-750-3
1	1	OC	SINGLE	N.A.	0.950	9FS-30WFL60K-G2-4

- LIGHTING NOTES:**
- ELECTRICAL CONTRACTOR TO COORDINATE CONNECTION TO EXISTING CONDUIT AND ANY UTILITY CROSSINGS.
  - ELECTRICAL CONTRACTOR TO COORDINATE LIGHTING CONTROLS WITH OWNER.

**LIGHTING CONTACT:**  
 MICHAEL MCEVOY  
 ILLA LIGHTING LIGHTING & CONTROLS  
 253 STATE ROUTE 79 NORTH, MORGANVILLE, NJ 07751-2001  
 PHONE: 201.819.6682  
 MMCEVOY@ILLALIGHTING.COM



SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR  
 22 MAPLE STREET  
**LANDSCAPE AND LIGHTING PLAN**  
 TAX MAP BLOCK 1808, LOT 2  
 BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

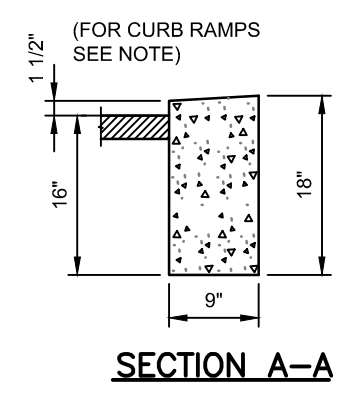
DATE: 10/15/21  
 PROJECT: 210812  
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**M. LAND & STERKORN**  
 CONSULTING ENGINEERS & SURVEYORS

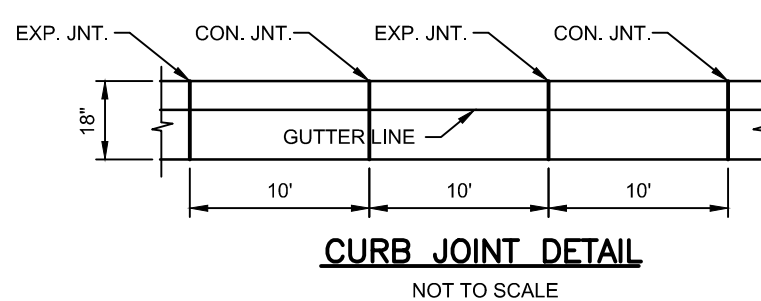
Phone: 978-447-7820  
 NJ Certificate of Authorization No. 24GCB290300  
 Email: msterkorn@mls-engineers.com  
 www.mlandsterkorn.com

*Shirley J. Sterkorn*  
 M. LAND & STERKORN, N.J. Professional Engineer & Professional Land Surveyor  
 Lic. 24GCB2951

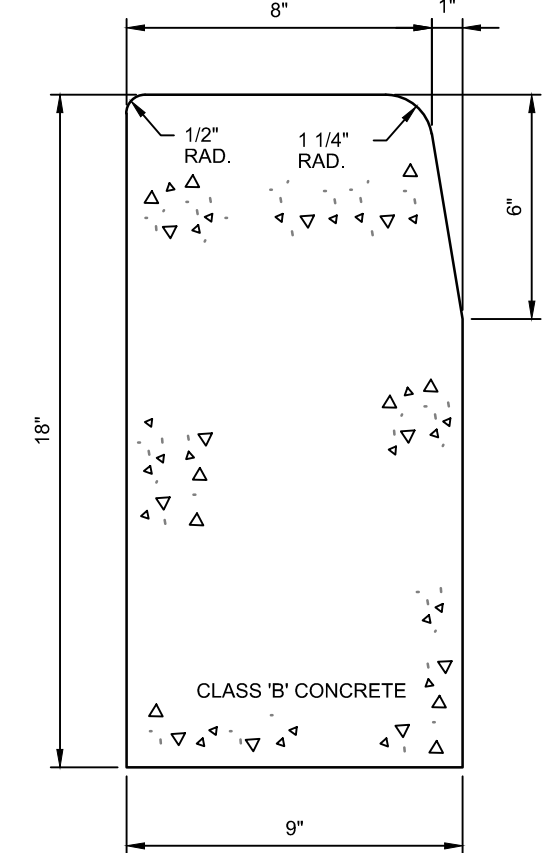
SHEET No. **5** OF **7**



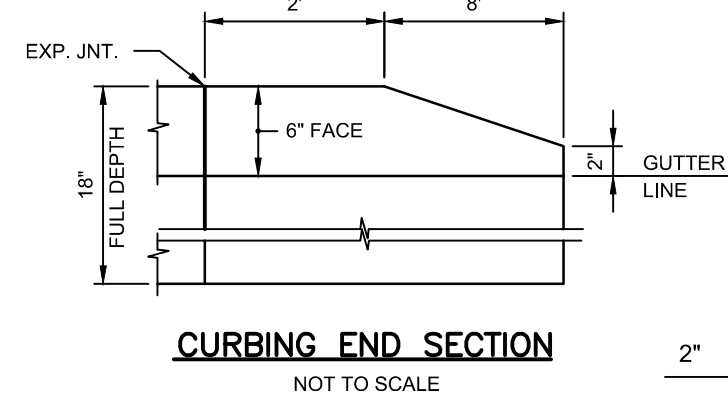
NOTE  
AT CURB RAMPS, POUR CONCRETE RAMP MONOLITHICALLY WITH CURB FOOTING. RAMP TO BE FLUSH WITH FINISHED PAVEMENT.



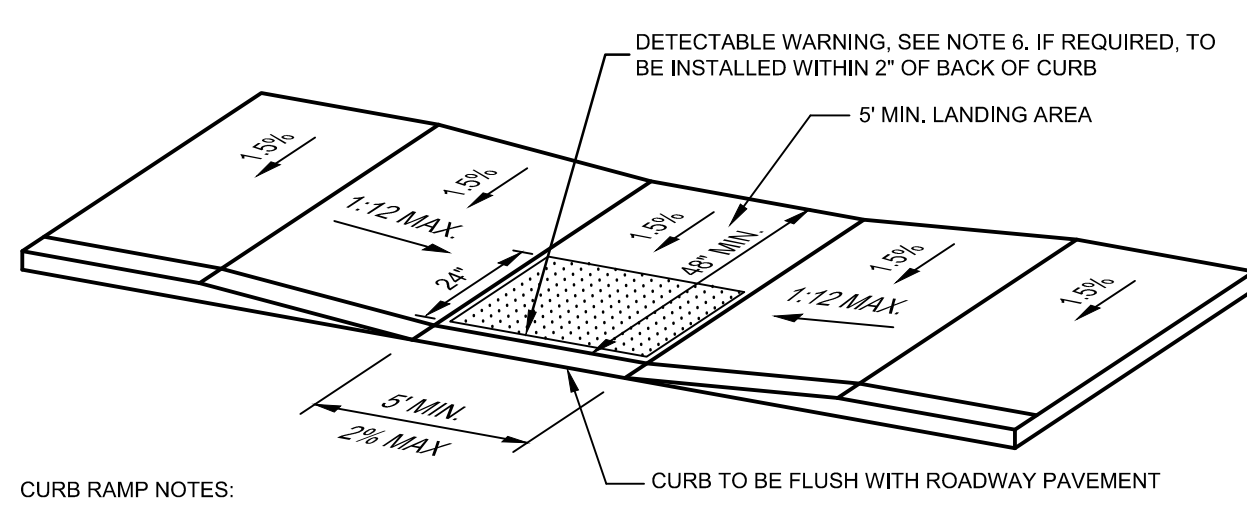
- NOTES:
- EXPANSION JOINTS SHALL BE FILLED WITH PREFORMED, BITUMINOUS IMPREGNATED FIBER JOINT FILLER; RECESSED 1/4" FROM FACE AND TOP OF CURB.
  - EXPANSION JOINTS SHALL BE INSTALLED BETWEEN CURB AND INLET HEADS.
  - EXPANSION JOINTS SHALL ALTERNATE WITH CONSTRUCTION JOINTS EVERY 10' (SEE DETAIL ABOVE)
  - ALL JOINTS SHALL EXTEND FULL 18" DEPTH OF CURB.
  - EXPANSION JOINTS THROUGH AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.



**9" x 18" CONCRETE VERTICAL CURB**  
NOT TO SCALE

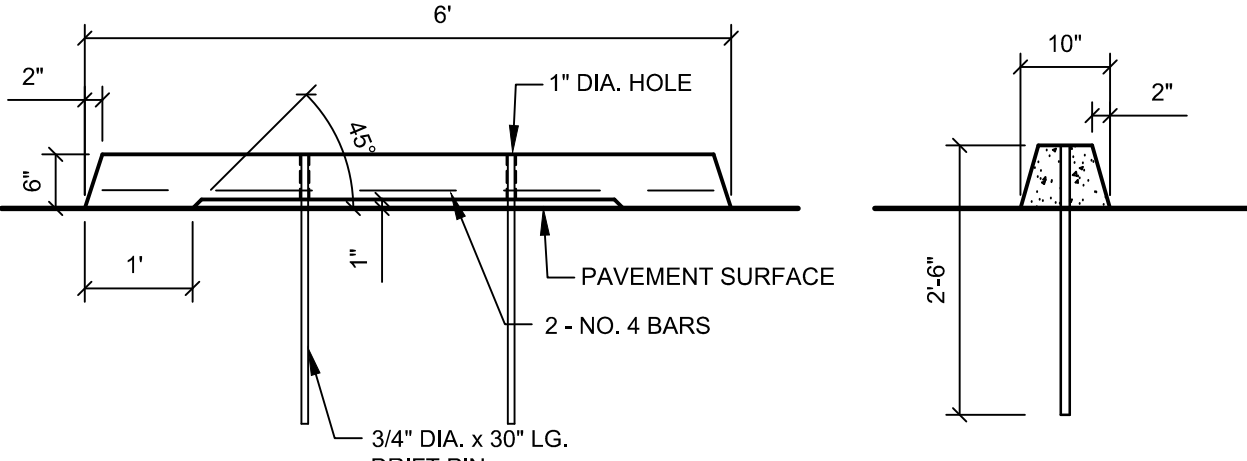


**CURBING END SECTION**  
NOT TO SCALE

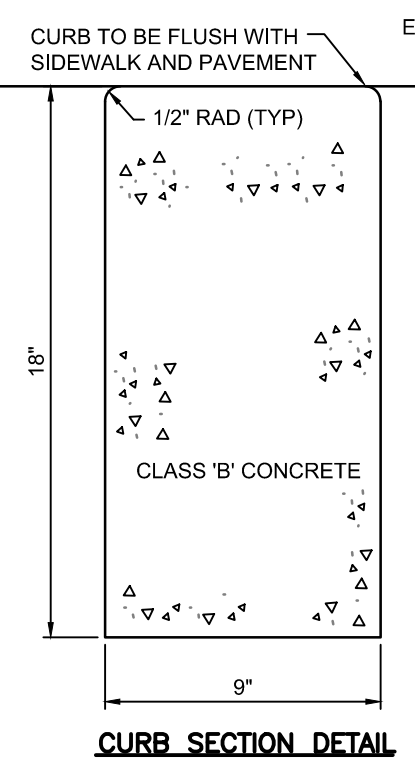


- CURB RAMP NOTES:
- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
  - CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 5' AT PARALLEL CURB RAMPS.
  - IF CURB IS GRANITE BLOCK, OMIT THE BLOCK WITHIN THE FLUSH AREA AND FORM WITH CONCRETE ONLY. RAMP MAY BE POURED MONOLITHICALLY WITH THE CURB.
  - RAMP LENGTH IS AS REQUIRED TO NOT EXCEED MAX. SLOPE, AND SHALL BE VERIFIED IN FIELD. RAMPS DRAWN IN PLAN VIEW MAY BE SCHEMATIC TO INDICATE TYPE OF RAMP AND MAY NOT INDICATE ACTUAL LENGTH.
  - RUNNING SLOPE SHALL BE CONSISTENT FOR THE ENTIRE LENGTH OF THE RAMP.
  - FOR RAMPS IN THE PUBLIC ROW OR WHERE INDICATED ON THE PLAN, SHADED AREA SHALL HAVE DETECTABLE WARNING THE FULL WIDTH OF THE FLUSH CURB. DETECTABLE WARNINGS SHALL BE 24" MIN MEASURED PERPENDICULAR TO CURB. ALL DETECTABLE WARNING SURFACES SHALL BE EMBEDDED IN THE CONCRETE. A 2" BORDER OF CONCRETE IS ALLOWED TO FACILITATE EMBEDMENT.

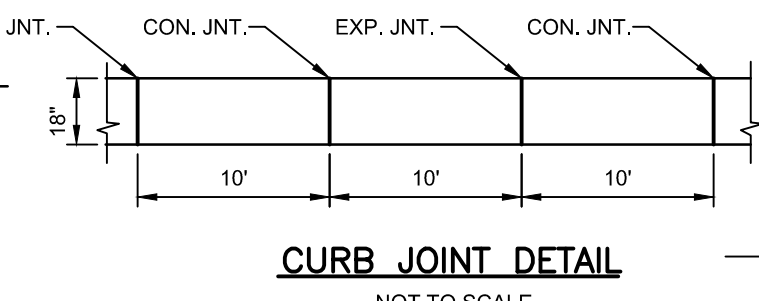
**CURB RAMP (PARALLEL) SIDEWALK ADJACENT TO CURB**  
N.T.S.



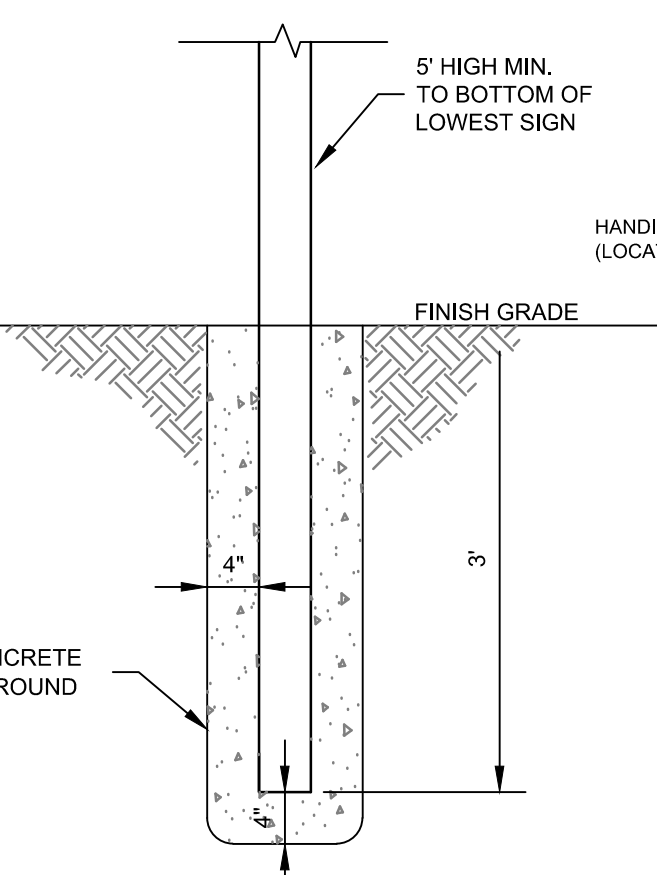
**WHEEL STOP**  
SCALE: N.T.S.



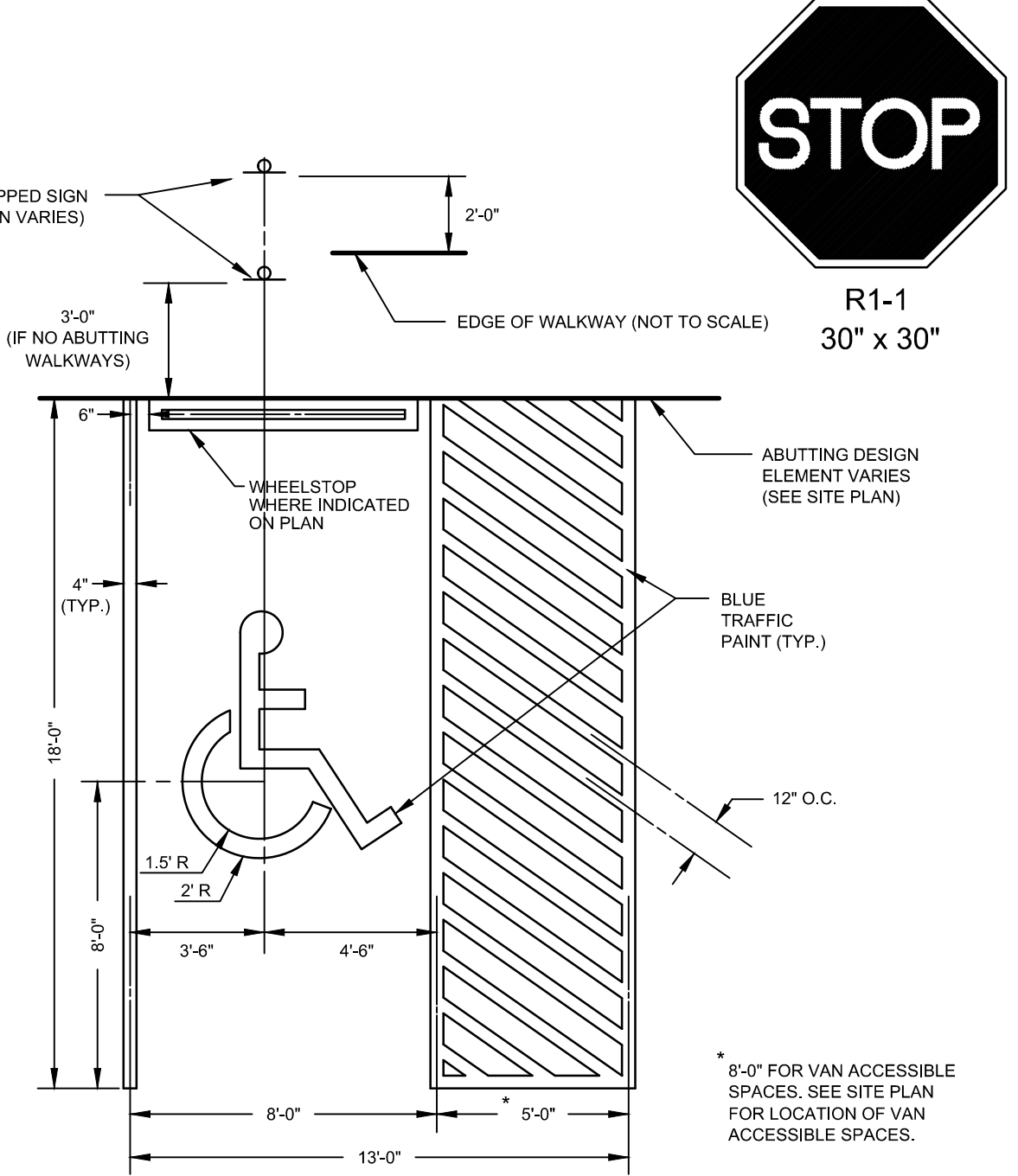
**9" x 18" CONCRETE FLUSH CURB**  
NOT TO SCALE



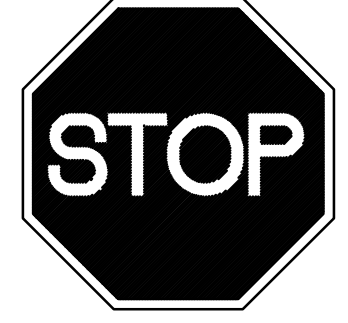
- NOTES:
- EXPANSION JOINTS SHALL BE FILLED WITH PREFORMED, BITUMINOUS IMPREGNATED FIBER JOINT FILLER; RECESSED 1/4" FROM FACE AND TOP OF CURB.
  - EXPANSION JOINTS SHALL BE INSTALLED BETWEEN CURB AND INLET HEADS.
  - EXPANSION JOINTS SHALL ALTERNATE WITH CONSTRUCTION JOINTS EVERY 10' (SEE DETAIL ABOVE)
  - ALL JOINTS SHALL EXTEND FULL 18" DEPTH OF CURB.
  - EXPANSION JOINTS THROUGH AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE



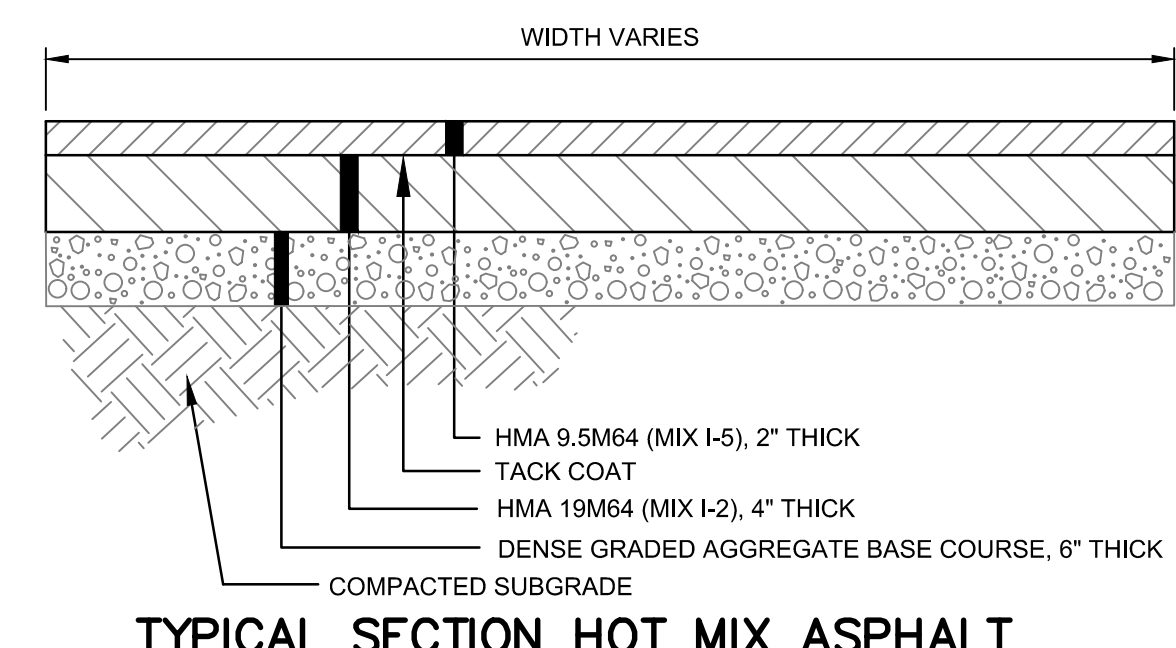
**POST DETAIL**  
N.T.S.



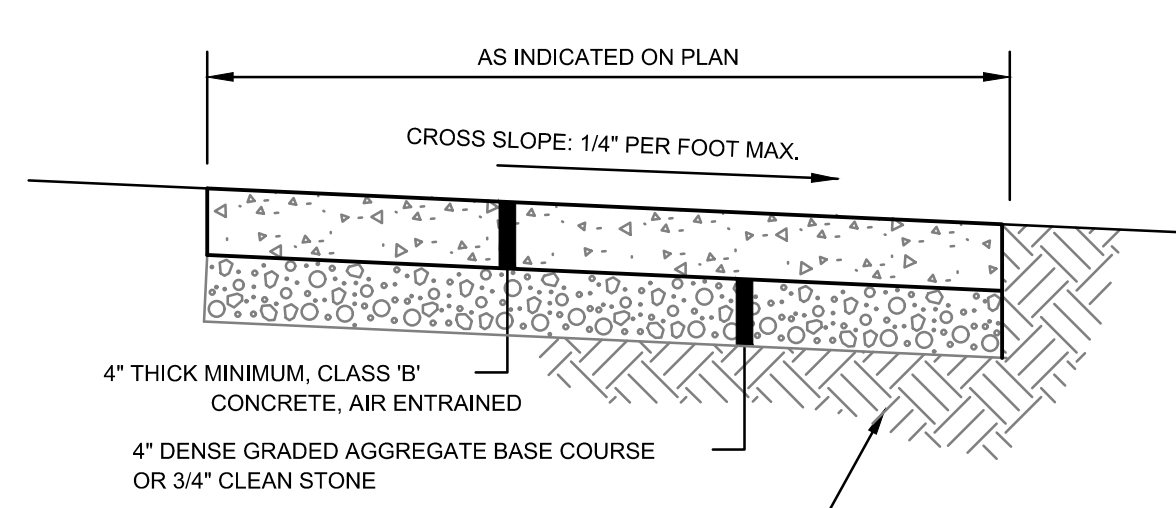
**HANDICAPPED PARKING SPACE**  
N.T.S.



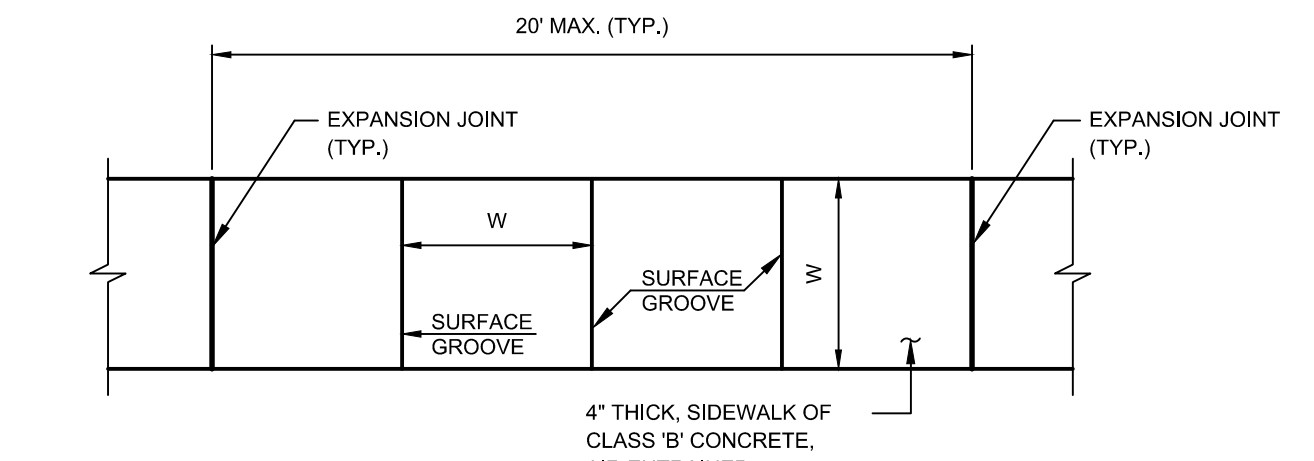
**R-1**  
30" x 30"



**TYPICAL SECTION HOT MIX ASPHALT**  
N.T.S.



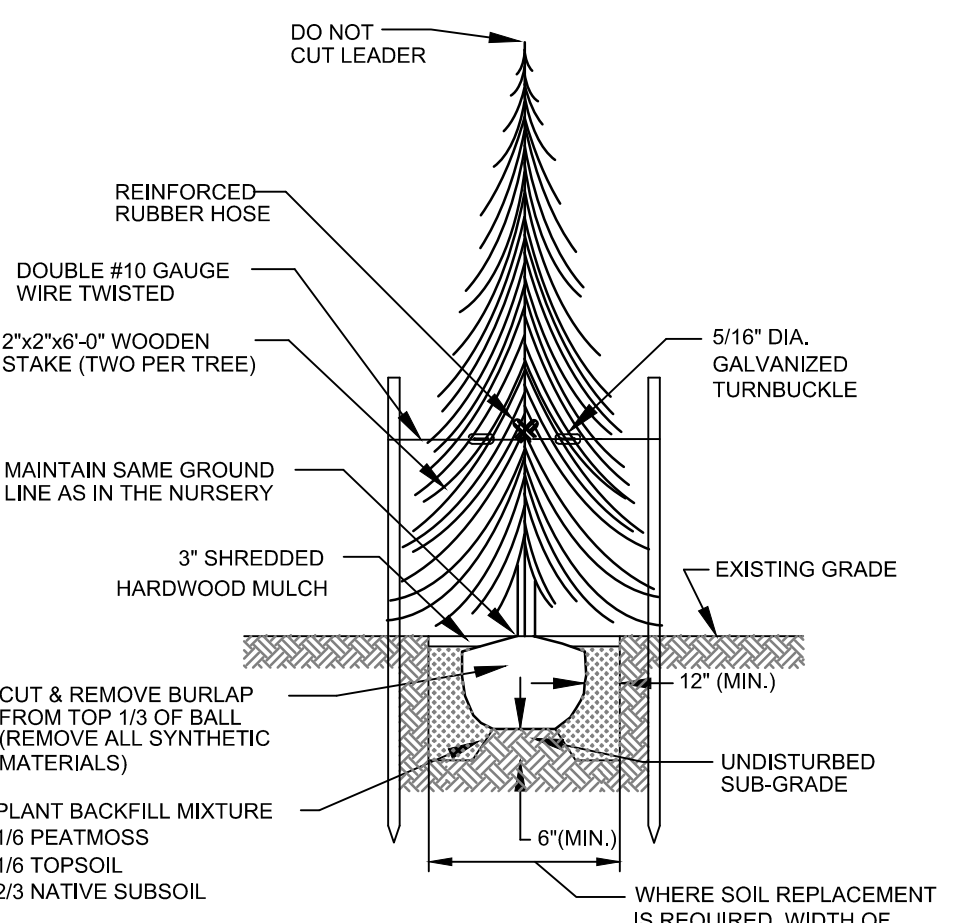
**CONCRETE SIDEWALK**  
N.T.S.



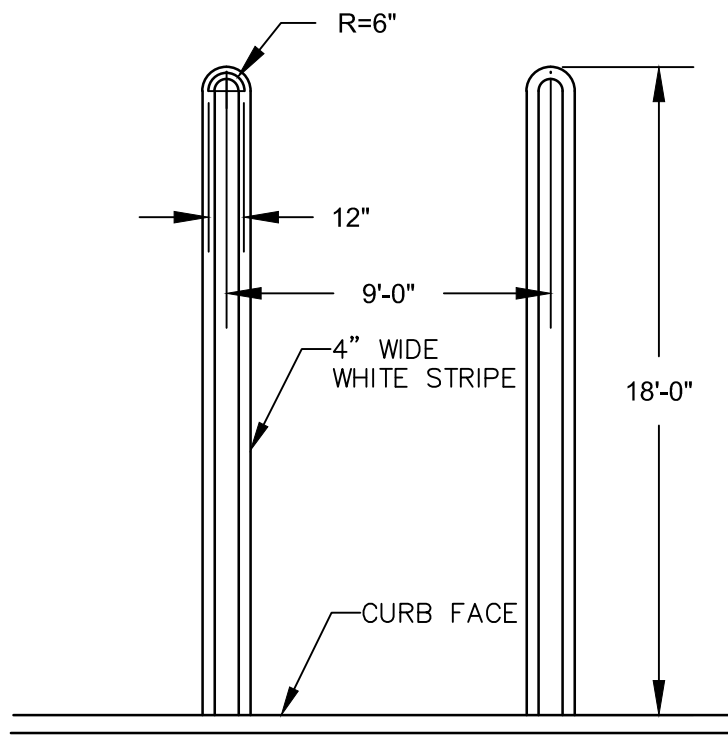
**JOINT PLACEMENT DETAIL**  
N.T.S.

- NOTES:
- 4" CLEAN STONE SUBBASE SHALL BE COMPACTED TO A FIRM AND EVEN SURFACE TO THE SATISFACTION OF THE ENGINEER.
  - ALL CONCRETE SHALL BE AIR-ENTRAINED AND CONTAIN AN AIR CONTENT OF 6% ± 1.5%
  - CONCRETE SHALL BE STRUCK OFF WITH A TRANSVERSE TEMPLATE AND FINISHED WITH FLOATS AND STRAIGHTEDGES UNTIL A SMOOTH SURFACE HAS BEEN OBTAINED.
  - THE SURFACE SHALL BE FINISHED WITH A WOODEN FLOAT AND BRUSHED PERPENDICULAR TO PATH WITH A WET, SOFT HAIRED BRUSH.
  - ALL EDGES SHALL BE FINISHED AND ROUNDED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4 INCH.
  - PREFORMED EXPANSION JOINT FILLER, 1/4" INCH THICK, SHALL BE FORMED AROUND ALL APERTURENANCES, SUCH AS MANHOLES AND UTILITY POLES, EXTENDING INTO OR THROUGH THE CONCRETE.
  - THE SURFACE OF THE CONCRETE SHALL BE SO FINISHED AS TO DRAIN COMPLETELY AT ALL TIMES.

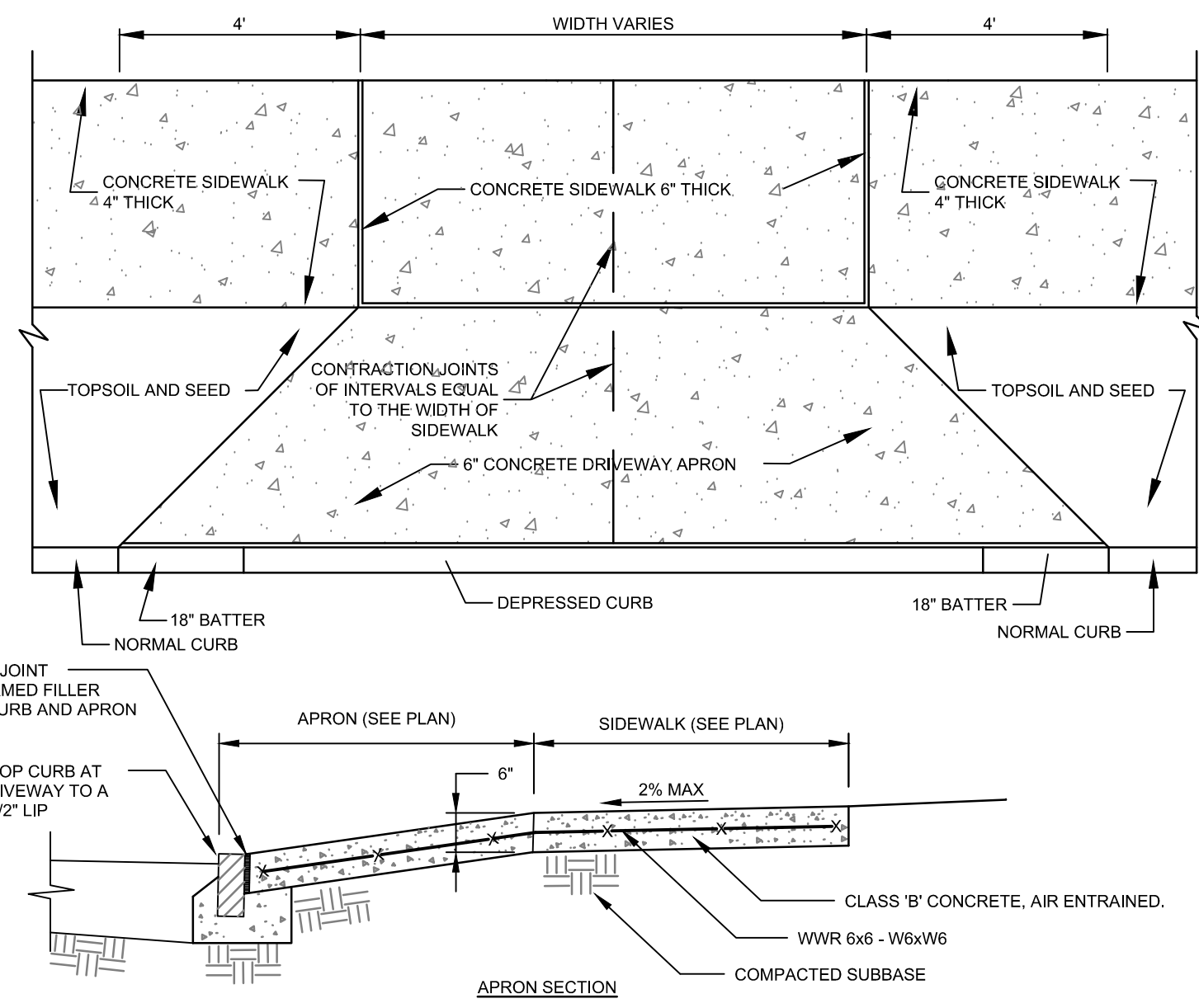
**CONCRETE SIDEWALK**  
N.T.S.



**EVERGREEN TREE PLANTING DETAIL**  
N.T.S.



**HAIRPIN STRIPING DETAIL**  
N.T.S.



**DETAIL OF STANDARD CONCRETE APRON**  
N.T.S.

**Ordering Guide**

Example: HFP310 P4 A N PM

Product Code	Post	Finish	Color	Height	Material
HFP310	P4	A	N	PM	Aluminum

**Specifications**

**FINISH:** Thermoplastic powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

**WARRANTY:** Three-year limited warranty.

**Height:** 30" (150 cm)

**Length:** 45 3/4" (116 cm)

**Internal Slip Filter Height:** 15" (38 cm)

**Internal Slip Filter Diameter:** 3 1/2" (9 cm)

**EPA:** 3.05 sq. ft.



The Hadco Pima pendant family offers a simple modern take on the traditional pendant lantern, providing style and elegance to downtown areas, commercial developments, parks and residential communities. These pendants are now available with comfort optics, providing a low glare solution for pedestrian applications.

**Ordering guide**

Model	LEDs	Construction	Mounting	Finish	Optics	Color Temp	Voltage	Driver current
CXFC	140	G1	A	A Black B White C Warm White D Silver E Dark Green	1 Type 1 2 Type 2 3 Type 3 4 Type 4 5 Type 5	700 3000K (75 CRI) 740 4000K (90 CRI)	A 120-277VAC B 147-480VAC	4 450mA 6 650mA 11 950mA 16 1350mA 21 2000mA

**Ordering guide (continued)**

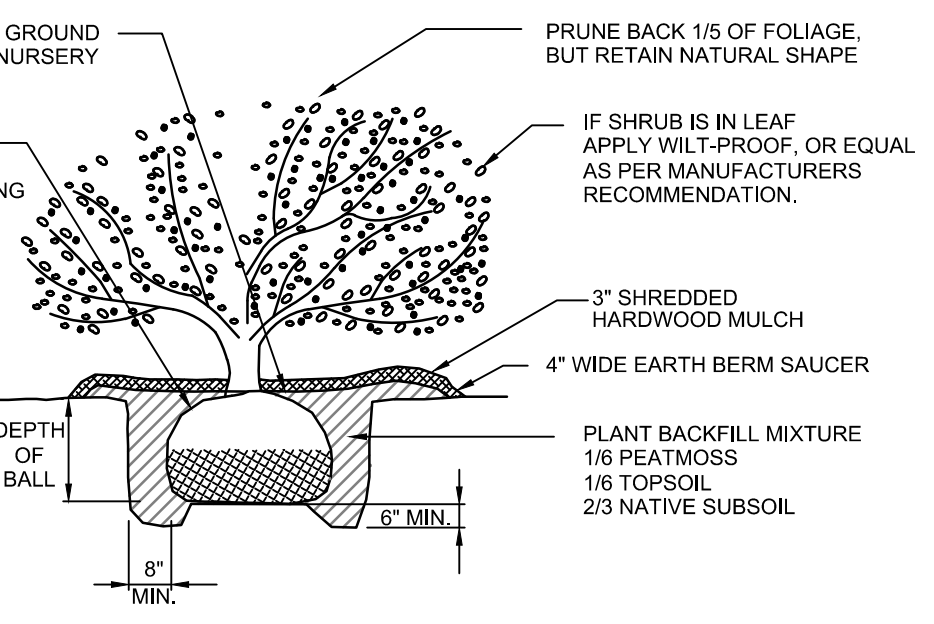
Series	LEDs	Construction	Mounting	Finish	Optics	Color Temp	Voltage	Driver current
CXFS	32	G3	T	A Black B White C Warm White D Silver E Dark Green	1 Type 1 2 Type 2 3 Type 3 4 Type 4 5 Type 5	700 3000K (75 CRI) 740 4000K (90 CRI)	A 120-277VAC B 147-480VAC	3 350mA 5 510mA 7 700mA

**Ordering guide (continued)**

Driver Options: DALI (default), DALI (optional), None

Slip Suspension: SPI Parallel (standard), SPI Parallel 20V

Footnotes: 1. DALI is available with 0-10V dimming. 2. DALI is available with 0-10V dimming and 0-10V dimming. 3. DALI is available with 0-10V dimming and 0-10V dimming.



**SHRUB PLANTING DETAIL**  
N.T.S.



The Hadco Pima pendant family offers a simple modern take on the traditional pendant lantern, providing style and elegance to downtown areas, commercial developments, parks and residential communities. These pendants use the latest LED technology which maximizes energy savings and provides uniform and comfortable light.

**Ordering guide:**

Series	LEDs	Construction	Mounting	Finish	Optics	Color Temp	Voltage	Driver current
CXFS	32	G3	T	A Black B White C Warm White D Silver E Dark Green	1 Type 1 2 Type 2 3 Type 3 4 Type 4 5 Type 5	700 3000K (75 CRI) 740 4000K (90 CRI)	A 120-277VAC B 147-480VAC	3 350mA 5 510mA 7 700mA

**Ordering guide (continued)**

Series	LEDs	Construction	Mounting	Finish	Optics	Color Temp	Voltage	Driver current
DA	4	G3	T	A Black B White C Warm White D Silver E Dark Green	1 Type 1 2 Type 2 3 Type 3 4 Type 4 5 Type 5	700 3000K (75 CRI) 740 4000K (90 CRI)	A 120-277VAC B 147-480VAC	4 450mA 6 650mA 11 950mA 16 1350mA 21 2000mA

**Ordering guide (continued)**

Driver Options: DALI (default), DALI (optional), None

Slip Suspension: SPI Parallel (standard), SPI Parallel 20V

Footnotes: 1. DALI is available with 0-10V dimming. 2. DALI is available with 0-10V dimming and 0-10V dimming. 3. DALI is available with 0-10V dimming and 0-10V dimming.

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR  
**22 MAPLE STREET**  
**CONSTRUCTION DETAILS**  
TAX MAP BLOCK 1808, LOT 2  
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

DATE: 10/15/21  
PROJECT: 210812  
OWNER: MANDALAY AVENUE DEVELOPMENT LLC  
DESIGNER: MLAND & STERKORN  
CONSULTING ENGINEERS & SURVEYORS  
L.L.C. 246842651

REVISION  
6  
5  
4  
3  
2  
1

DATE: 10/15/21  
PROJECT: 210812  
OWNER: MANDALAY AVENUE DEVELOPMENT LLC  
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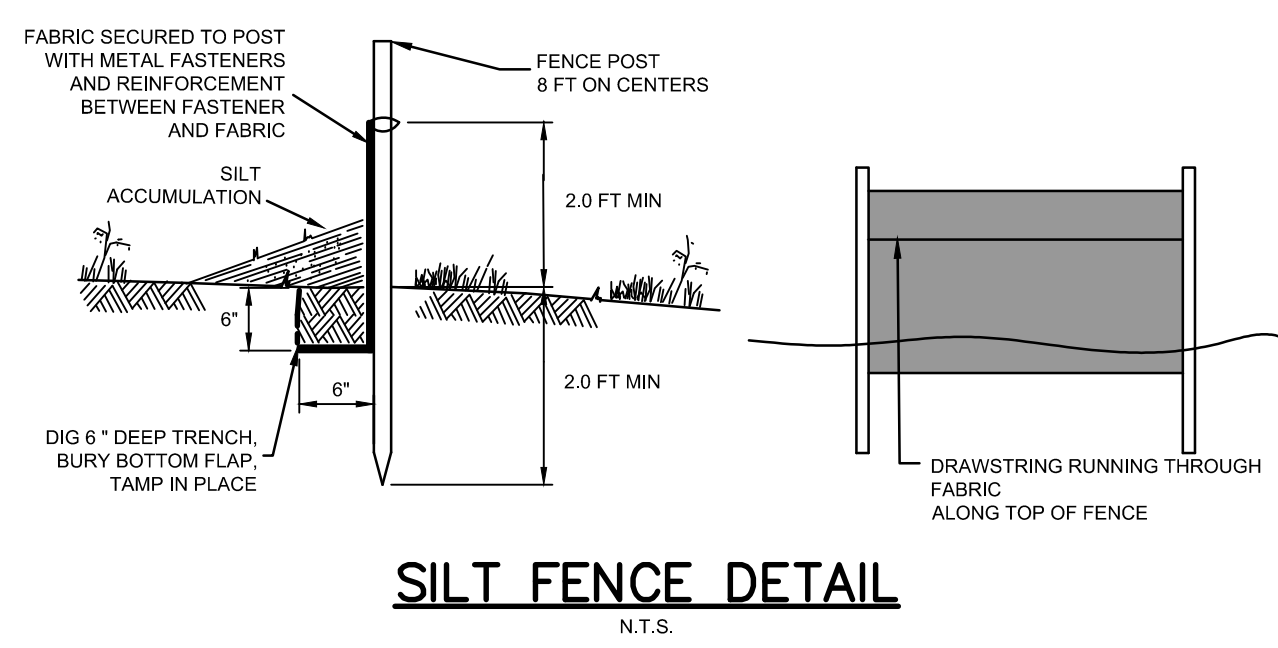
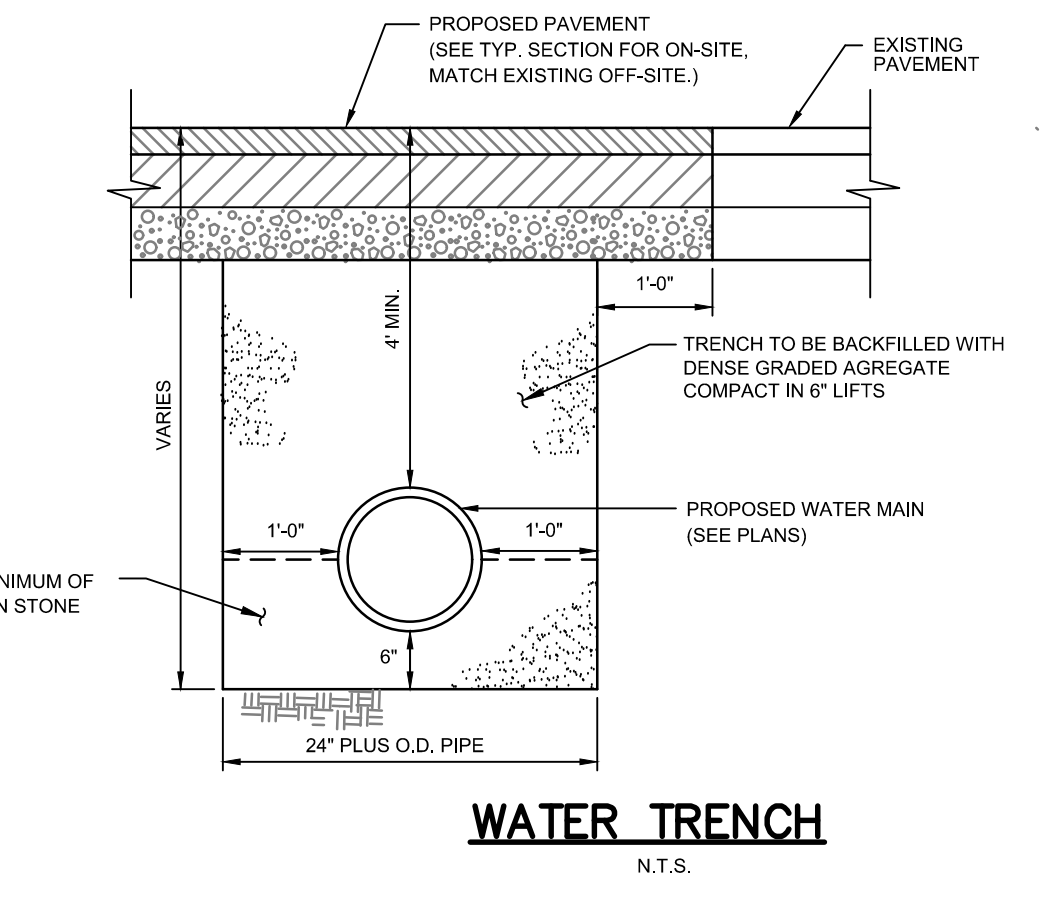
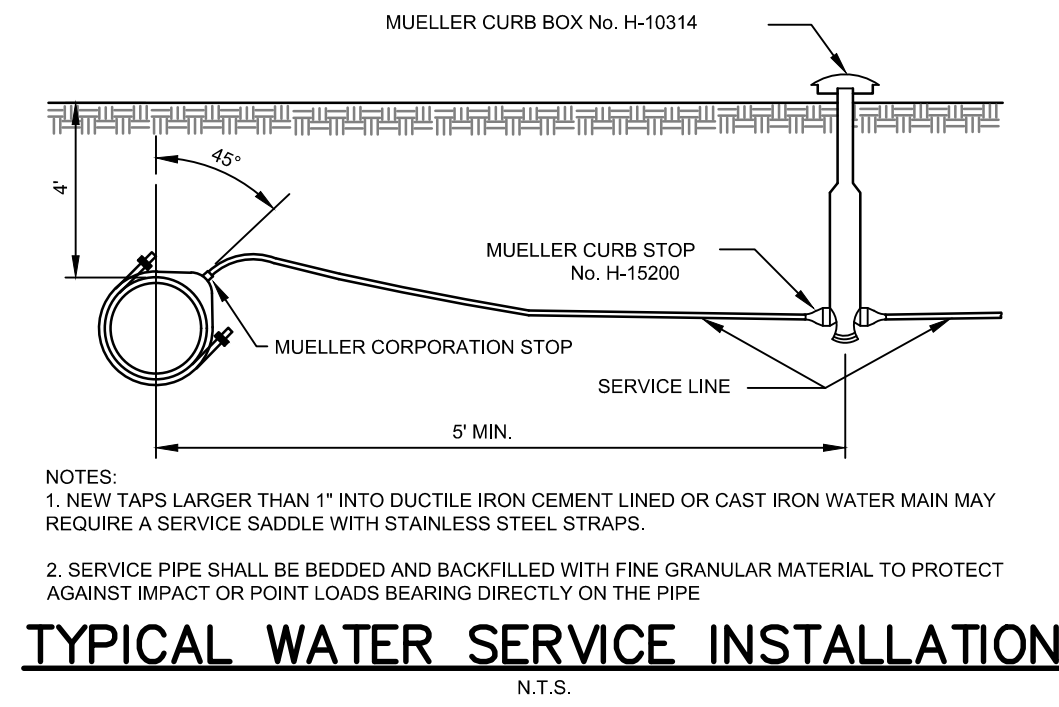
Phone: 978-447-7820  
NJ Certificate of Authorization  
No. 24684265100  
www.mlandsterkorn.com  
Email: mlandsterkorn@earthlink.net

MLAND & STERKORN  
CONSULTING ENGINEERS & SURVEYORS

WIERSTEN/OSTERKORN, N.J. Professional Engineer & Professional Land Surveyor  
L.L.C. 246842651

SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

SHEET No. **6** OF **7**



**DRAINAGE CALCULATION**

IMPERVIOUS AREA = 5,440 SF (ROOF, PARTIAL PAVEMENT)

2 IN. OVER IMPERVIOUS AREA

CUBIC FEET STORAGE REQUIRED = 907 CF

STORMTECH SC-740 CHAMBER OR EQUAL  
CHAMBER SPEC: 85.4" LONG, 51" WIDE, 30" HIGH  
CHAMBER CAPACITY = 45.9 CF

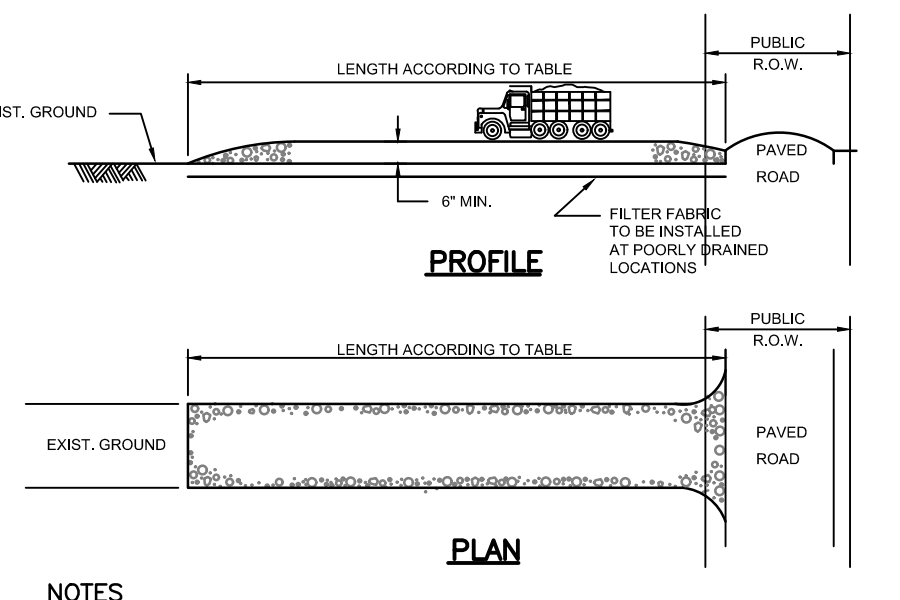
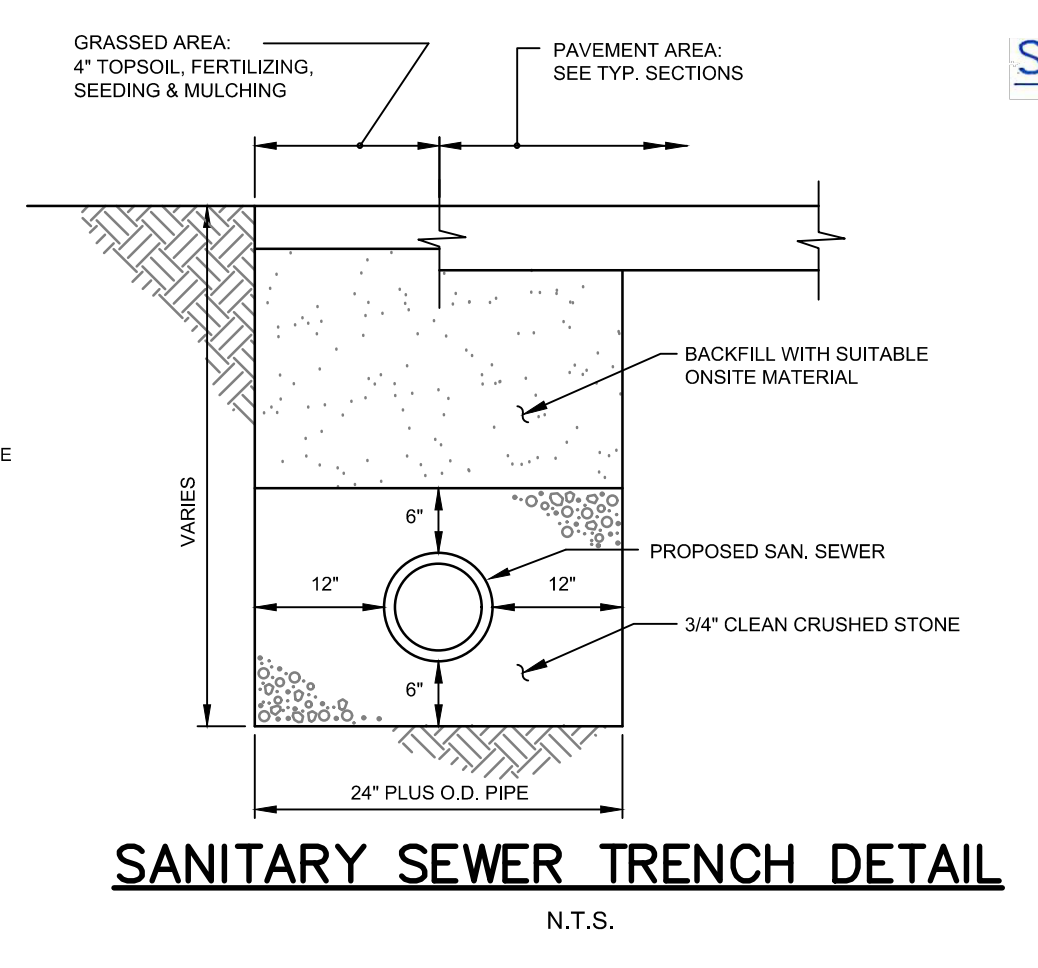
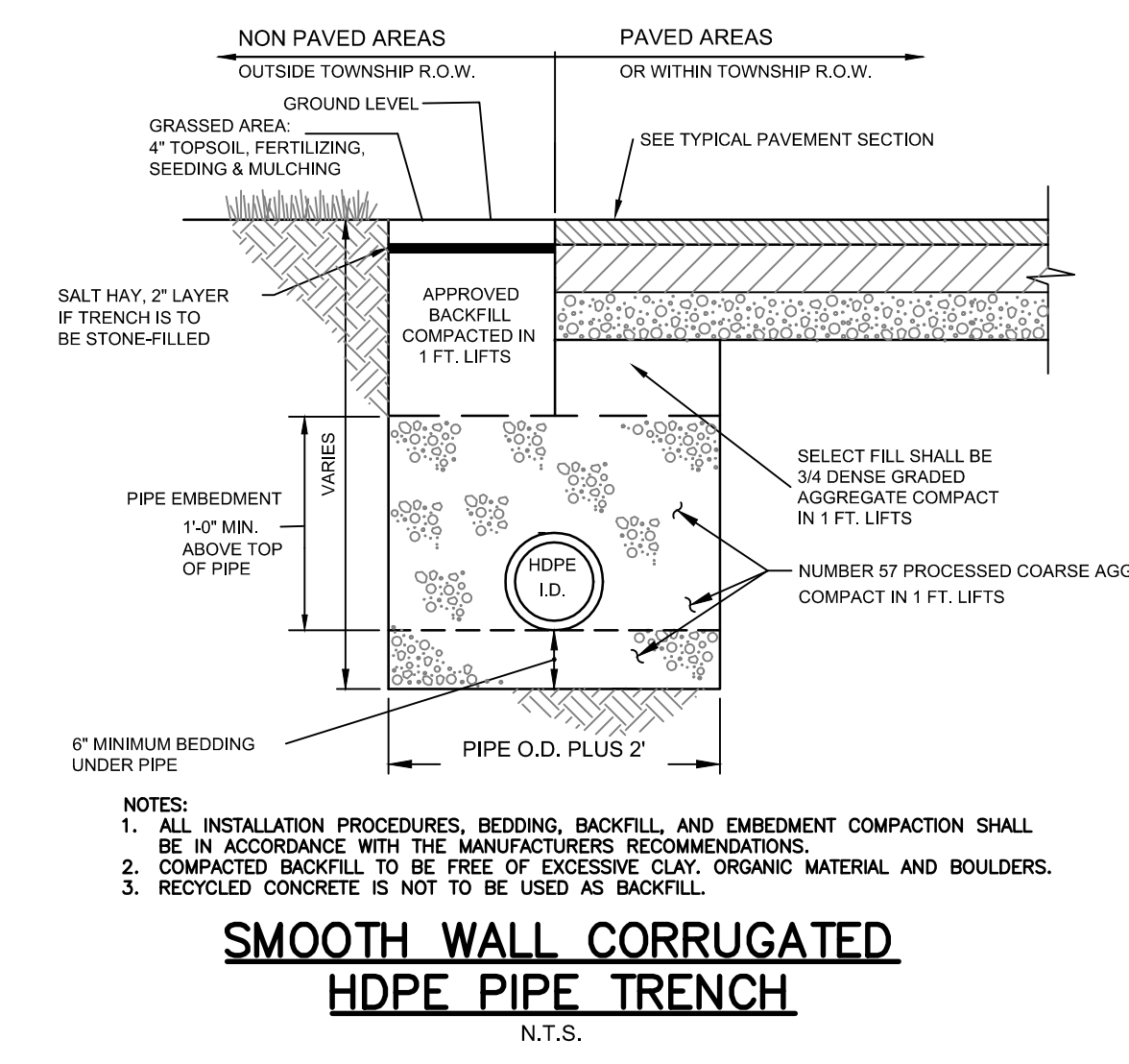
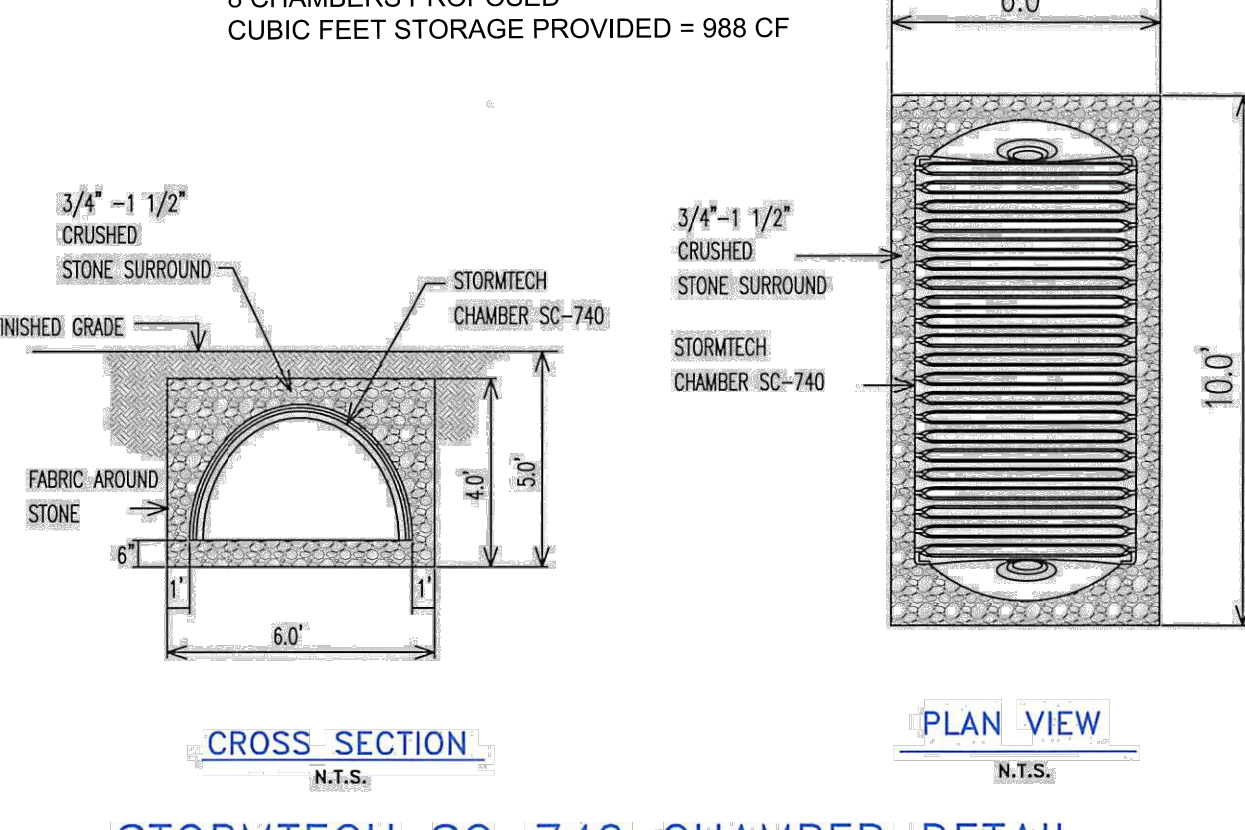
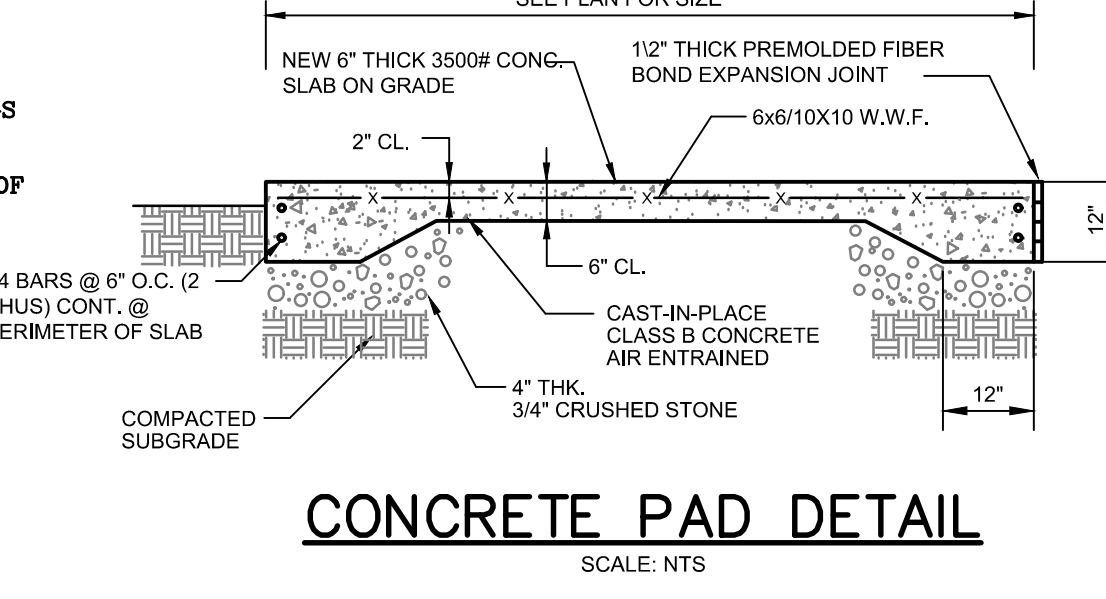
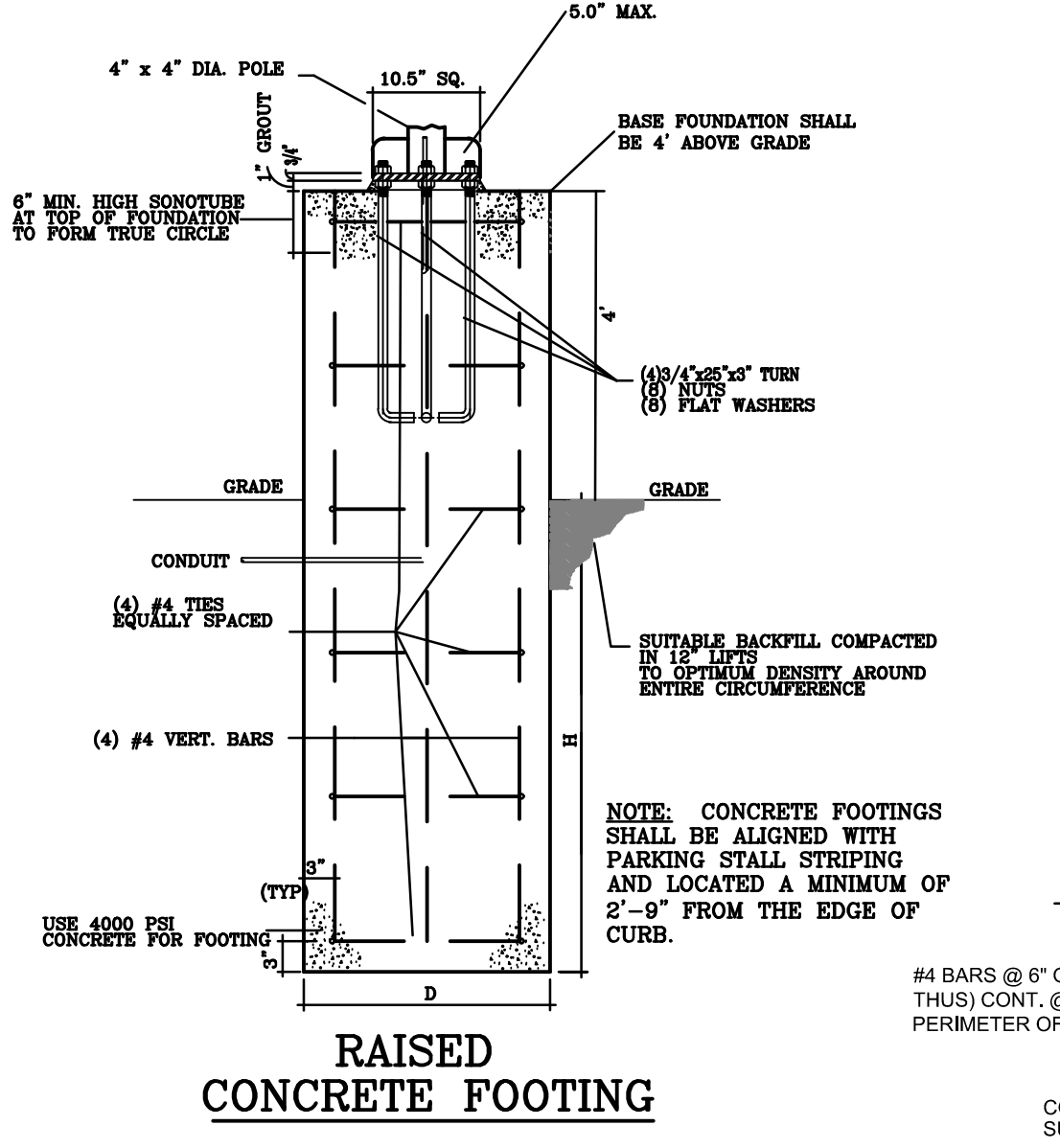
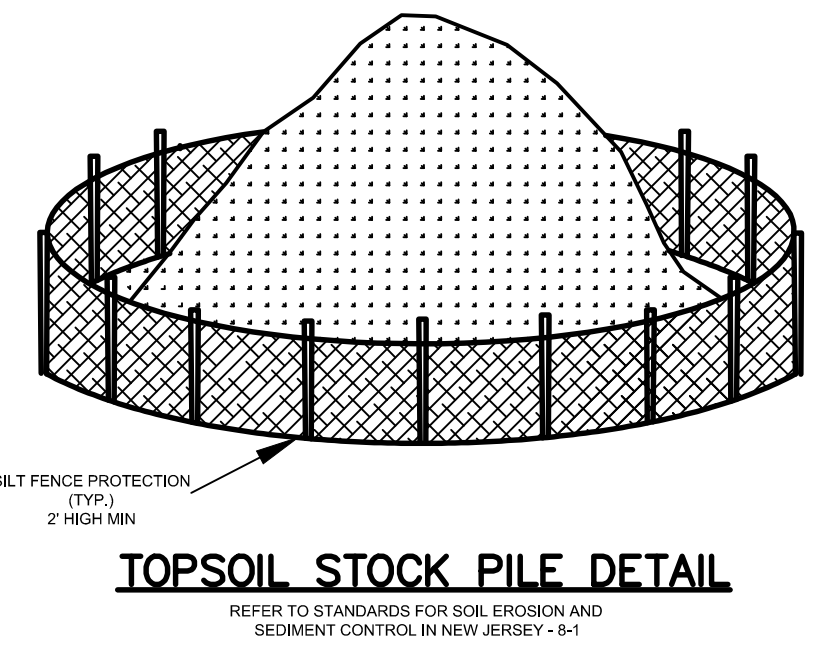
HOLE VOLUME =  $L \times W \times H = (10)(6)(4) = 240$  CF

STONE VOLUME =  $240 - 45.9 = 194.1$  CF

USE 40% VOID FOR STONE =  $(0.40)(194.1) = 77.6$  CF

VOLUME =  $77.6 + 45.9 = 123.5$  CF

8 CHAMBERS PROPOSED  
CUBIC FEET STORAGE PROVIDED = 988 CF



**NOTES**

STONE SIZE 1 1/2" - 2 1/2" CRUSHED STONE

WIDTH NOT LESS THAN FULL WIDTH AT POINTS OF EGRESS AND INGRESS.

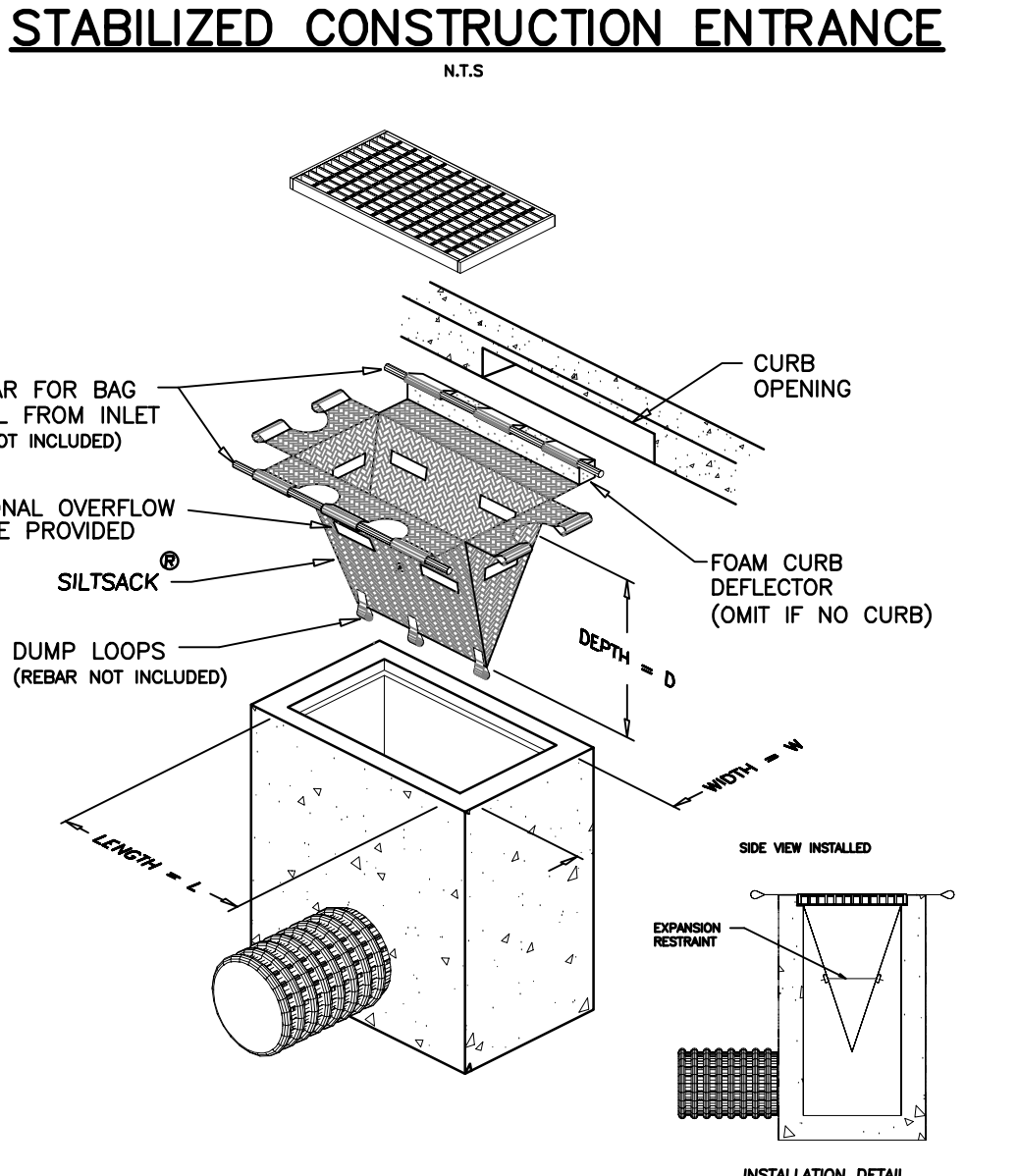
WASHING WHEN NECESSARY. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC R.O.W. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R.O.W. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRAPPED ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.

WHEN THE CONSTRUCTION ACCESS EXITS ONTO A MAJOR ROADWAY, A PAVED TRANSITION AREA MAY BE INSTALLED BETWEEN THE MAJOR ROADWAY AND THE STONED ENTRANCE TO PREVENT LOOSE STONES FROM BEING TRANSPORTED OUT ONTO THE ROADWAY BY HEAVY EQUIPMENT ENTERING OR LEAVING THE SITE.

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 TO 2%	50 FT	4 TO 6%	100 FT
2 TO 3%	100 FT	6 TO 8%	200 FT
3 TO 5%	150 FT	8 TO 10%	250 FT
5 TO 10%	200 FT	10% OR GREATER	250 FT

ENTIRE SURFACE STABILIZED WITH HMA BASE COURSE MK2



**STANDARD FOR DUST CONTROL** (Per Standards... Dust Control 16-1, May 2012)

**DEFINITION:** The control of dust on construction sites and roads.

**PURPOSE:** To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage and health hazards, and improve traffic safety.

**CONDITION WHERE PRACTICE APPLIES:** This practice is applicable to areas subject to dust blowing and movement where on- and off-site damage is likely without treatment. Consult with local municipal ordinances on any restrictions.

**WATER QUALITY ENHANCEMENT:** Sediments deposited as "dust" are often fine colloidal material which is extremely difficult to remove from water once it becomes suspended. Use of this standard will help to control the generation of dust from construction sites and subsequent blowing and deposition into local surface water resources.

**PLANNING CRITERIA:** The following methods should be considered for controlling dust:

- Mulches:** See Standards for Stabilization with Mulches Only (p. 5-1)
- Vegetative Cover:** See Standards for Temporary Vegetative Cover (p. 7-1), Permanent Vegetative Cover for Soil Stabilization (p. 4-1) and Permanent Stabilization with Sod (p. 6-1)
- Spray-on Adhesives:** On mineral soils (not effective on muck soils). Keep traffic off these areas.

Water Dilution	Type of Nozzle	Gal./Acre
Anionic asphalt emulsion	7.1 Coarse Spray	1,200
Latex Emulsion	23.5 Fine Spray	300
Resin in Water	4.1 Fine Spray	300
Polyacrylamide (PAM) - spray on	Apply according to manufacturer's instructions. May also be used as an additive to sediment basins to flocculate and precipitate suspended colloids. See Sediment Basin standard (pg 26-1).	
Acidulated Soy Bean Soap Slick	None Coarse Spray	1,200

**Tillage:** To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are examples of equipment which may produce the desired effect.

**Sprinkling:** Site is sprinkled until the surface is wet.

**Barriers:** Solid board fences, snow fences, burlap fences, crate walls, bales of hay, and similar material can be used to control air currents and soil blowing.

**Calcium Chloride:** Shall be in the form of loose, dry granules of flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.

**Stone:** Cover surface with crushed stone or coarse gravel.

**SEQUENCE OF CONSTRUCTION**

TASK No.	ITEM	APPROX. DURATION
1	INSTALL SOIL EROSION AND SEDIMENT CONTROL DEVICES INCLUDING SILT FENCE, INLET FILTERS, AND TREE PROTECTION.	1 DAY
2	DEMOLISH SITE IMPROVEMENTS, CLEAR AND ROUGH GRADE SITE.	1 MONTH
3	CONSTRUCT CURBING, DRIVEWAY AND PARKING LOTS, APPLY BITUMINOUS BASE COURSE.	1 WEEK
4	CONSTRUCT BUILDING	6 MONTHS
5	FINAL GRADE AROUND BUILDING. STABILIZE ALL DISTURBED AREAS.	1 WEEK
6	INSTALL LIGHTING AND LANDSCAPING.	1 WEEK
7	PERMANENT SEED ALL AREAS.	1 WEEK
8	APPLY FINAL BITUMINOUS CONCRETE SURFACE COURSE.	1 DAY
9	INSTALL PAVEMENT MARKINGS.	1 DAY
10	REMOVE REMAINING SOIL EROSION CONTROL DEVICES WHEN SITE IS STABILIZED.	1 DAY
APPROXIMATE PROJECT DURATION		8 MONTHS

NOTES: THIS SEQUENCE OF CONSTRUCTION IS GENERAL AND TASKS MAY OVERLAP.

**BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES**

- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
- Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with salt hay or equivalent and bound in accordance with the NJ Standards (i.e., peg and twine, mulch netting, or liquid mulch binder).
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
- Stabilization Specifications:
  - Temporary Seeding and Mulching:
    - Lime - 90 lbs./1,000 sq ft of ground limestone; Fertilizer - 11 lbs./1,000 sq ft.
    - 10-20-10 or equivalent worked into the soil a minimum of 4".
    - Seed - perennial ryegrass 40 lbs/acre (1 lb./1,000sq ft) or other approved seeds; plant between March 1 and May 15 or between August 15 and October 1.
    - Mulch - salt hay or small grain straw at a rate of 70 to 90 lbs./1,000 sq ft to be applied according to the NJ Standards. Mulch shall be secured by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).
  - Permanent Seeding and Mulching:
    - Topsoil - uniform application to a depth of 6".
    - Lime - 90 lbs./1,000 sq ft of ground limestone; Fertilizer - 11 lbs./1,000 sq ft.
    - 10-20-10 or equivalent worked into the soil a minimum of 4".
    - Seed - Turf type tall fescue (blend of 3 cultivars) 150 lbs./acre (3.5 lbs./1,000 sq ft) or other approved seeds; plant between March 1 and October 15.
    - Mulch - salt hay or small grain straw at a rate of 70 to 90 lbs./1,000 sq ft to be applied according to the NJ Standards. Mulch shall be secured by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).
- The site shall at all times be graded and maintained such that all stormwater running is diverted to soil erosion and sediment control facilities.
- Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
- Stockpiles are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a haybale sediment barrier or silt fence.
- A crushed stone, vehicle wheel-clearing blanket will be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1" - 2 1/2" crushed stone, 6" thick, will be at least 30' x 100' and secured with a suitable synthetic sediment filter fabric and maintained.
- Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
- Driveways must be stabilized with 1" - 2 1/2" crushed stone or subbase prior to individual lot construction.
- All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right of ways, will be removed immediately. Paved roadways must be kept clean at all times.
- Catch basin inlets will be protected with an inlet filter designed in accordance with Section 30-1 of the NJ Standards.
- Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
- Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
- Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
- Trees to remain after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 9-1 of the NJ Standards.
- The project owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or off-site as a result of construction of the project.
- Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the district for review and approval prior to implementation in the field.
- A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
- The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance: Bergen County SCD, 700 Kinderkamack Road, Suite 106, Oradell, NJ 07649 Tel: 201-261-4407; Fax 201-261-7573.
- The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
- The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the scheduling of all reports of compliance inspection. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR  
22 MAPLE STREET  
CONSTRUCTION DETAILS  
TAX MAP BLOCK 1808, LOT 2  
BOROUGH OF ALLENDALE, BERGEN COUNTY, NEW JERSEY

M.LAND & STERKORN  
CONSULTING ENGINEERS & SURVEYORS

Phone: 978-447-7820  
NJ Certificate of Authorization  
No. 24GAB2820300  
Email: msterkorn@mlandsterkorn.com  
www.mlandsterkorn.com

Professional Engineer & Professional Land Surveyor  
Lic. 24GAB2581

DATE: 10/15/21  
REVISED: 10/15/21  
REVISION

7  
OF 7

SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION