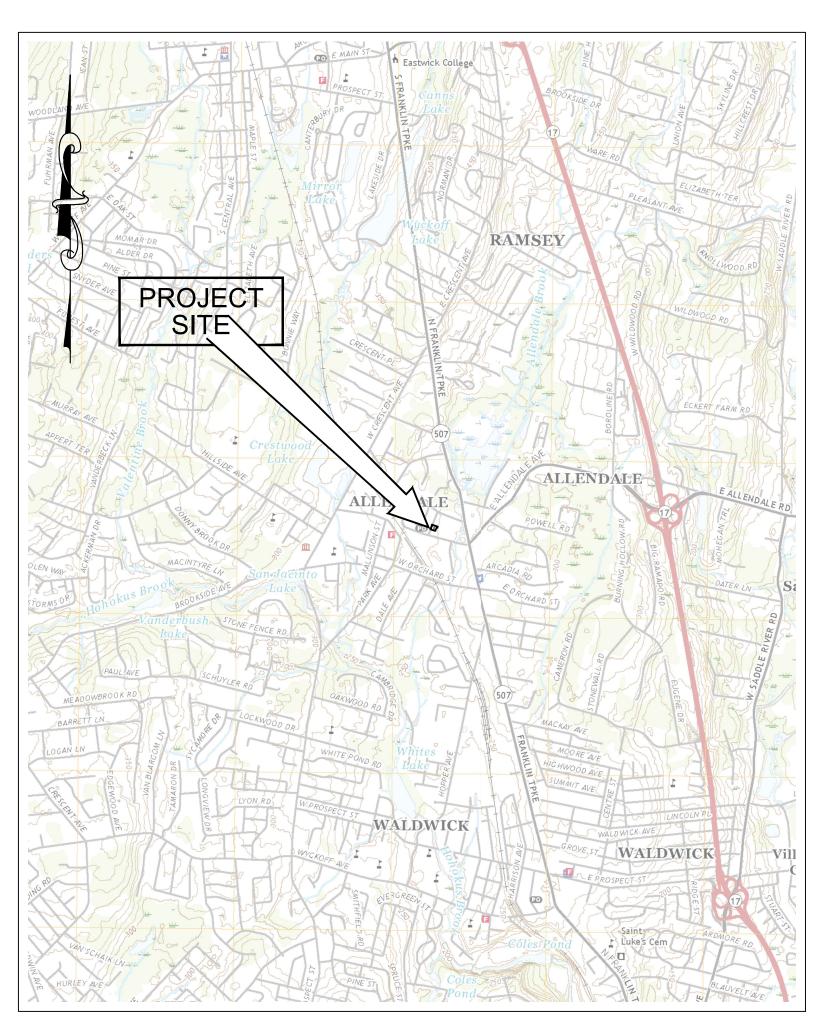
PRELIMINARY AND FINAL SITE PLAN FOR

22 MAPLE STREET

TAX MAP BLOCK 1808, LOT 2 - ZONE C-1 (CENTRAL BUSINESS)

BOROUGH OF ALLENDALE BERGEN COUNTY, NEW JERSEY

INDEX OF SHEETS				
SHEET	DESCRIPTION			
1	COVER SHEET \ LOCATION MAP			
2	ZONING MAP/GENERAL NOTES			
3	SITE PREPARATION PLAN/ LAYOUT & DIMENSIONING PLAN			
4	GRADING & UTILITY PLAN/ SOIL EROSION & SEDIMENT CONTROL PLAN			
5	LANDSCAPE & LIGHTING PLAN			
6-7	CONSTRUCTION DETAILS			



LOCATION MAP SCALE: 1"= 2,000'

OWNER/APPLICANT:

ABC VAULT PARTNERS, LLC PO BOX 342 ORADELL, NJ 07649

APPROVALS:

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT COMPLIES WITH ALL APPROVALS GRANTED BY THE APPROVING AUTHORITY

DATE **BOROUGH ENGINEER**

APPROVED BY BOARD OF ADJUSTMENT OF THE BOROUGH OF ALLENDALE.

CHAIRMAN DATE DATE **SECRETARY** DATE **HEALTH OFFICER**

EXPIRATION OF APPROVAL (PRELIMINARY - 3 YRS; FINAL - 2 YRS)

DATE (WITHOUT EXTENSIONS)

BOND/TAXES CERTIFICATION:

VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR ASSESSMENTS IS CURRENT.

DATE TAX COLLECTOR

I HEREBY CERTIFY THAT A BOND HAS BEEN POSTED FOR ALL THE REQUIRED IMPROVEMENTS IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

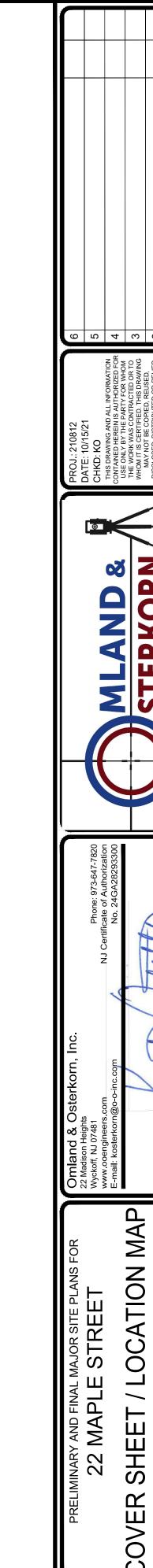
BOROUGH CLERK DATE

OWNERS CERTIFICATION:

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE BOARD OF ADJUSTMENT OF THE BOROUGH OF ALLENDALE.

NAME	DATE

SEE SHEET 2 OF THIS SET FOR **GENERAL NOTES** AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION



GENERAL NOTES

- 1. Boundary and topographic information shown hereon taken from property survey prepared by Omland & Osterkorn, Inc. dated 827/21. Elevations on assumed datum.
- 2. The engineer signing this plan is not qualified to make a determination as to the presence or absence of wetlands. Therefore, no statement is being made or implied by the fact that no evidence of wetlands or wetland transition areas (buffers) are shown on this plan.
- 3. Underground utilities shown hereon are approximate and based solely upon above ground observations. mark-outs and/or plans provided by utility companies. The accuracy or completeness of the information shown regarding underground utilities is not guaranteed by the engineer. Connections between structures, if and where shown, may not represent actual below ground conditions. Contractor and subcontractors are responsible for ordering mark-outs, coordination with the various utility companies and for making their own determination as to the location and depth of all underground utilities prior to any construction to assure disturbance and/or disruption of existing utilities is avoided where possible and minimized in all cases. As the exact elevation of existing utilities may be unknown to engineer, contractor is advised that the potential for conflicts with proposed work may exist. Exploratory excavations, contract contingencies or exclusions with Owner should be made to accommodate such an event. In the event the Contractor identifies a conflict Osterkorn, Inc. and the Owner prior to any work being performed.
- a. The Contractor shall determine the location and depth of the existing utility to which connection is being made before laying any pipe, conduit, etc. Discrepancies shall be reported to Omland & Osterkorn, Inc. a. Any temporary interruption of service to the site and/or adjacent properties shall be pre-approved in writing (email) by the respective utility.
- b. Electric, telephone, cable television and all other utility services shall be installed underground at c. All doorways shall have an exterior landing at least four feet wide and five feet long, sloped for positive locations determined by each respective utility entity, subject to any required municipal approval, regardless of whether or not the utilities are shown on the plans. The Contractor shall coordinate the d. Each barrier free route shall provide for a minimum four foot unobstructed (car overhangs at curbs construction of all utility mains and services with each utility entity and provide whatever construction support is required for achieving utility service. The Contractor is advised to contact each respective utility company prior to construction to identify and coordinate any scheduling requirements.
- c. Should it be required to excavate one or more trenches in existing roadways, backfilling and pavement replacement/repair shall be in accordance with the specifications of the municipality or county, as applicable. Verification of backfill requirements shall be made prior to bid.
- . Contractors and subcontractors are responsible for making their own determinations regarding subsurface conditions, including but not limited to soil characteristics, as well as depth to rock and groundwater. Omland & Osterkorn, Inc. was not contracted to make any such determinations.
- 6. The proposed buildings shown hereon are as taken from plans/CADD files prepared by Z+ Architects, dated
- 7. The Owner shall provide a copy of all permits and approvals issued for the project to the Contractor. The Contractor shall be responsible for reading and complying with the terms and conditions of all permits, approvals and authorizations issued by the various regulatory authorities for the project. The Contractor is also responsible for confirming with the Engineer that the permits and approvals provided by the Owner is
- 8. Responsibility for any additional permits required as construction progresses, such as building permits (including building permits for retaining walls) and road opening permits shall be coordinated between the 33. The details shown on these plans for retaining walls have been prepared for the purpose of Contractor and Owner.
- 9. Prior to any construction or site preparation activity, the Contractor shall complete the following: • Verify the plans contain the raised seal of the engineer and display the latest revision as "Issued for
- Construction." The use of any other plans is at the Contractor's risk. • Verify the information shown on these plans is consistent with the information shown on all other plans (architectural, landscaping, etc.) being used for construction of the project. Also, verify the plans are
- consistent with all conditions and requirements set forth in the permits. Report any discrepancies/inconsistencies to the Owner and Omland & Osterkorn, Inc. prior to any construction. • Determine all applicable specifications, as well as all requirements for shop drawings, inspections and testing applicable to project by contacting the local building official, municipal engineer and each affected utility company (or agency). In the event of a conflict between any specifications and the
- information shown on these plans, Omland & Osterkorn, Inc. and the Owner shall be notified in order to resolve the conflict prior to any construction. • Contact the local police department relevant to any work to be performed in or near public streets, as well as ingress and egress requirements during construction. Traffic control requirements shall be
- established between the Contractor and police department at this time 10. These plans are intended specifically and solely for the construction of the subject project and shall not be used for any other purpose. The copying or modification of these plans or any portion thereof is a violation
- of copyright law. 11. Contractor shall consider the information provided on the full set of plans for the construction of all project elements. Notes and information provided on one drawing may also be relevant to information or details
- 12. Relevant documentation pertaining to any product proposed by the Contractor on the basis of an "approved" 41. Contractor shall complete all work in a workmanlike manner to the full satisfaction of the Owner. advance of ordering product. The product must be approved for incorporation into the project by both the
- written form(s) of communication.

municipal engineer and Omland & Osterkorn, Inc.

- preparation or construction activities.
- 15. Contractor to call the New Jersey One Call System (800-272-1000) to have all underground utilities located prior to any site disturbance.
- 16. The Contractor shall provide the Owner and Omland & Osterkorn, Inc. with a list of all shop drawings, inspections, testing, certifications, as-built plans and similar post-construction approval requirements pertaining to the project. The list shall also identify the specific individual responsible for performing each test and/or providing each certification and/or as-built map. In particular, should NJDEP permits apply to any

 47. The frame and grates of all inlets, manholes and sewer cleanout boxes shall be adjusted as necessary to shall determine the individual responsible for providing the certification. The Contractor shall then be responsible for coordinating with each individual identified on the list and scheduling his work to assure each individual has sufficient opportunity to conduct the required tests, obtain required measurements and/or 48.All on-site water main shall have a minimum cover of 4 feet.

perform any services or work required to prepare the required post-construction approval documents.

- 17. Contractor to coordinate all work with all utility companies and/or public agencies providing utility service, as 18-inches vertically, if horizontal separation is not possible. applicable, and abide by all of their requirements relevant to the performance and inspection of all work

 50. All storm and sanitary sewer pipe lengths shown hereon are from center of structure, affecting their utilities, including complying with any and all testing requirements. In the event requirements or specifications of the utility company or public authority conflict with the plans, the municipal requirements shall govern. In such case, the Contractor shall advise the Owner and Engineer prior to proceeding with 51.All materials and construction shall conform to the requirements specified in the Residential Site any work.
- (such as maintaining operations at the site or ingress/egress restrictions, etc.). Any requirements for
- 19.It is the Contractor's responsibility to protect all property markers and monuments from disturbance throughout construction. Notify the Owner immediately should any property markers or monuments be 54.All PVC sanitary sewer pipe shall be 8-inches. Service connections shall be 6-inches. inadvertently disturbed or damaged.
- 20.Prior to any construction, the horizontal limits of the work (Limits of Disturbance LOD) shall be established and delineated on-site. Disturbance beyond these permitted limits exposes the contractor to fines and penalties by regulatory agencies.
- 21. The exact location of all work shall be established from the control points and all stakeout shall be referenced from baselines established from the control points. All dimensions and distances, both horizontal and vertical, shall be verified for consistency with the plans by the entity responsible for layout 58.All pipe shall be installed in accordance to applicable manufacturers' specifications. prior to the construction of each project element. In the event of any discrepancies between the layout and 59. Fire lanes shall be provided in accordance with fire official's requirements. dimensions/distances shown on the plans, the layout entity shall notify Omland & Osterkorn, Inc. for
- resolution of the discrepancy prior to any construction for the specific element. 22.Information for field layout shall be taken from the plans. Graphical information as may also be provided via electronic files is intended as drawing data only and is not to serve as basis for survey layout. Standard practice requires the layout entity check dimensional data for consistency and to make survey calculations 61. All excavated material shall be removed from the site unless approved for backfill by the Borough. Any soil as customary for layout.
- 23. The location and inverts of all existing storm and sanitary sewers shown hereon shall be verified by the Contractor prior to any construction. Any discrepancies shall be reported to Omland & Osterkorn, Inc. immediately and no construction shall commence until any such discrepancies are resolved. Storm and
- 24. The intent of the plans is to provide a smooth transition, maintaining effective positive drainage, at all locations where the proposed construction is to connect to existing infrastructure, such as for curb, pavement, and sidewalk. The entity responsible for stakeout shall--prior to any construction---verify the intended smooth connections will be achieved. Unless otherwise noted on the plans or directed by the inspecting authority, smooth transitions shall be considered to meet the following minimum criteria:
- No low points or "bird baths" will be created, except at locations where drainage inlets exist or will be constructed.
- All final grades will have a minimum slope of 0.5%.
- Abrupt changes in grade are avoided. Slope changes exceeding 2.0% shall be considered abrupt for the purpose of this requirement
- In the event the entity responsible for layout should determine a smooth transition cannot be achieved at one or more locations, Omland & Osterkorn, Inc. shall be notified for resolution prior to any construction.
- 25. Contractor is responsible for their own verification of existing topographic information, should there be any suspected discrepancies with the topography depicted on the plans and actual physical conditions. Any confirmed discrepancy identified by the Contractor's verification shall be reported to the Engineer for resolution prior to any site disturbance. Once any site disturbance occurs, the Contractor shall have no

claim for extra work based upon suspected or confirmed topographic discrepancies.

26. The Contractor is solely responsible for construction site safety and for determining the means and methods for all construction activities. All safety precautions must be undertaken and maintained as required by

local, State and Federal codes.

27. Contractor to comply with the traffic control plan, if provided. If a traffic control plan is not provided, the Contractor shall determine and comply with any and all traffic control requirements of the local police department and any public agency hiving jurisdiction relevant to any construction in or near public streets as well as for ingress and egress during construction.

28. The Contractor shall provide necessary barricades, sufficient lights, signs, and other traffic control measures as may be necessary within the project for the protection and safety of the public. All such traffic control devices shall be maintained in satisfactory condition throughout the construction period.

29.The plan has been designed with the intent to comply with all applicable requirements for barrier free access, including the satisfying all requirements of Subchapter 7 of the New Jersey Uniform Construction Code for Barrier Free Access (NJAC 5:23-7), as well as the Americans with Disabilities Act (ADA). In general, barrier free access for site construction is to be provided (between all parking spaces designated as ADA and the front door of adjacent buildings). However, prior to construction, the Contractor shall verify the routes required to be barrier free with the local building code official. Should any identified routes conflict with the grading shown on the plans, the Contractor shall notify Omland & Osterkorn, Inc. for resolution prior to any construction.

between the proposed work and existing utilities, the conflict shall be brought to the attention of Omland & 30. The Contractor is responsible for the completed construction along barrier free routes complying with all applicable requirements at NJAC 5:23-7, whether specifically stated on the plans or not. In particular, the

- following requirements are noted a. Slopes within accessible parking spaces and adjacent access aisles shall not exceed two percent
- b. Slopes for curb ramps shall not exceed 1:12 (8.3%)

(2.0%) in any direction.

- drainage at two percent (2.0%), unless otherwise specified on the plans.
- must be considered) width with a longitudinal (direction of route) slope no greater than 1:20 (5%). Cross slope shall not exceed two percent (2.0%). In turning areas, cross slope must be less than 2.0 % in all directions. Where shown on the plans and/or where the grading along the path of travel exceeds 5%, a ramp with a maximum slope of 1:12 (8.3%) shall be constructed, having a maximum rise of 30 inches. Hand rails complying with the Subchapter 7 requirements shall be installed for all such ramps, except curb ramps at pavement edges.
- e. Refer to the detail sheets for landings at curb ramps. All other ramps shall be provided with landings at each end and each landing shall be at least five feet long with a width matching the width of the ramp. Landings shall slope no more than two percent (2.0%) in any direction.

The Contractor is responsible for assuring all construction along barrier free routes complies with all

31.Prior to the actual pouring of concrete along barrier free routes, the Contractor shall check all formwork to verify compliance with the applicable barrier free requirements and request confirmation of same by the

32.Unless indicated otherwise in the plan, all sidewalk shall be a minimum of four feet wide, except adjacent to the end of parking stalls where sidewalk shall be a minimum of six and a half feet in width.

Preliminary/Final Municipal agency review and approval. Structural designs for all walls must be procured by the Contractor (or Owner) and prepared by an engineer licensed in New Jersey. The wall design must abide by any specifications relevant to type of wall, color and/or texture. A building permit is required for any wall exceeding four feet in height.

34.A building permit is required for all walls four or more feet in height. Contractor (Owner) is responsible for securing said permit(s).

35.Bottom of wall elevations (BW) shown on the plans indicate ground elevation at toe of wall upon completion of construction. Footing elevations to be taken from the structural plans procured by the Contractor

36.It is not the intent of these plans to provide structural design for any pre-cast or cast in place concrete structure. All structural design of pre-cast and/or cast-in-place concrete structures shall be prepared by a Professional Engineer retained by the Contractor.

37.Post-construction certification as to the construction of a retaining wall or other structural components to be provided by a professional engineer engaged by the Contractor (Owner).

38. Where shop drawings are specified on the plans or required by an inspecting authority, at least three copies of the drawings shall be provided to Omland & Osterkorn, Inc. for approval. Contractor to determine the number of copies required by the inspecting authority. All shop drawings are to be prepared by a New

39.All construction shall conform to the requirements of any applicable Federal, State or Local law, regulation

40.Unless otherwise noted, all materials and workmanship shall conform to the New Jersey Department of Transportation Standard Specifications for Road and Bridge Construction, latest edition.

equal" shall be submitted to the municipal engineer and Omland & Osterkorn, Inc. at least two weeks in 42.Contractor shall be responsible for site clean-up following completion of construction. All disposal of debris shall be in accordance with applicable local, county, state and federal regulations.

> 43. Any damage to existing infrastructure, including but not limited to, pavement, sidewalks, curb, lighting facilities, utilities, or landscaping, due to the actions of the Contractor shall be repaired by the Contractor (at his sole expense) to the satisfaction of the owner of the damaged item.

14. Contractor to notify the applicable Soil Conservation District in writing at least 72 hours prior to any site 44. All equipment, materials, etc. shall be confined to the project site. No encroachment onto public right-of-ways or adjacent properties is permitted unless specified on the plans or granted to the Contractor in

> 45. Any omissions in the standard details or lack of information must be brought to the attention of Omland & Osterkorn prior to construction.

46.Existing pavement shall be saw cut in straight lines to the full depth of the existing asphalt (except at the

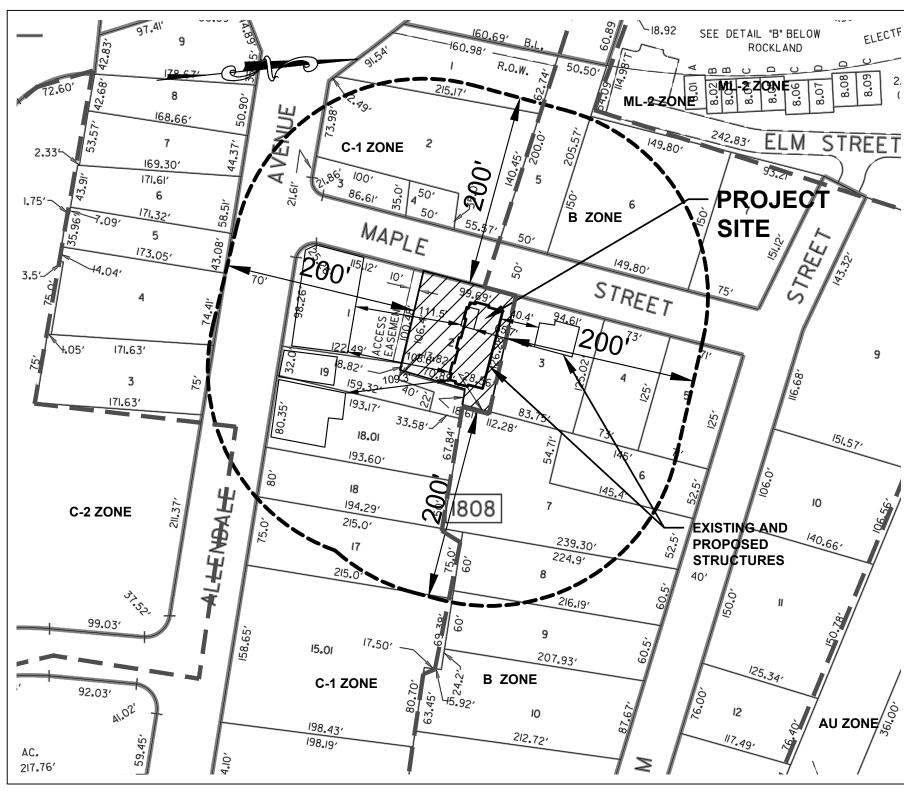
match proposed grades. All such elevation adjustments shall be performed in accordance with all applicable specifications and regulations.

49. Sanitary sewer shall be separated from water mains by a distance of at least 10 feet horizontally or

- unless otherwise indicated.
- Improvement Standards (NJAC 7:21-5), latest edition. 18. Contractor to coordinate with the Owner relevant to the scheduling of all work and any restrictions thereto, 52. All RCP to be reinforced concrete pipe conforming to ASTM D-76, Class III, Wall B, unless otherwise
- phasing and/or multiple mobilizations shall be identified and resolved prior to commencement of the work. 53.All HDPE to be N-12 double walled, (soil tight, water tight) corrugated pipe as manufactured by Advanced
 - Drainage Systems, or approved equal. 55.All water main pipe shall be cement lined ductile iron pipe, Class 52, unless otherwise noted on the plan or
 - required by the water purveyor. 56.All roof leader drains to be 6-inch Schedule 40 PVC, unless otherwise noted on the plans. All leader drains to be installed with two foot minimum cover.
 - 57. All roof drains shall be connected to the northeast underground stormwater system on-site.

 - 60.If stormwater runoff drainage problems occur as a result of the site improvements that are detrimental to the property and/or neighboring properties as a result of this construction, it shall be the responsibility of the occupant of the property to remedy the drainage issue.
 - disturbance shall be done as set forth by Borough Ordinance. 62. The applicant/contractor is responsible to repair any damage to improvements within the Right-Of-Way,
 - including but not limited to , sidewalk, driveway apron, curb, and asphalt pavement as required by

sanitary sewer layout and construction shall proceed from downstream to upstream throughout the entire 63. The applicant/contractor shall call to coordinate inspections within the Borough at least 24-hours prior to start of construction as related to grading and drainage improvements on site.



ZONING MAP SCALE: 1"= 100'

200' PROPERTY OWNERS LIST

OWNER & ADDRESS REPORT 10/21/21 Page 1 of 2 200 FOOT LIST - 1808/22 PROPERTY LOCATION PROPERTY OWNER Add'I Lots

1807	4		4A			75-77 W ALLENDALE AVE	
1807	5		4A	ROCK EM LLC 81 W ALLENDALE AVE ALLENDALE, NJ	07401	81 W ALLENDALE AVE	
1807	6		4A	83-89 W ALLENDALE LLC 83 W ALLENDALE ALLENDALE, NJ	07401	83-89 W ALLENDALE AVE	
1809	1		4A	ALLENDALE, L.L.C. 8 FORESTER AVE PO BOX 60 WARWICK, NY	00 10990	2 MYRTLE AVE	
1809	2		4A	DEEPER LIFE A N J CORPOR 80 GREENWOOD AVENUE MIDLAND PARK, NJ	07432	96 W ALLENDALE AVE	
1809	3		4A	ABC VAULT PARTNERS LLC 152 JOHN ST RIDGEWOOD, NJ	07450	90 W ALLENDALE AVE	4
1809	5		2	GROSMAN JACK R & GALE M 126 HILLSIDE AVE. ALLENDALE NJ	07401	23 MAPLE ST	
1809	6		2	DAVIS, RICHARD J. 14 BROOK CT MAHWAH, NJ	07430	33 MAPLE ST	
1809	7		2	ROACH, SPENCER G& COURTNE 45 MAPLE ST ALLENDALE, NJ	Y W 07401	45 MAPLE ST	
1808	17		4A	54 W ALLENDALE AVE LLC C/O 54 W ALLENDALE AVE ALLENDALE, NJ	07401	54 W ALLENDALE AVE	
1808	18		4A	L.A.K. REALTY LLC 64 W ALLENDALE AVE ALLENDALE, NJ	07401	64 W ALLENDALE AVE	
1808	18.01		4A	LKO1, LLC 558 CAMPGAW ROAD MAHWAH, NJ	07430	70 W ALLENDALE AVE	
1808	19		4A	72 W ALLENDALE AVENUE LL 43 DAIRY ST MIDLAND PARK, NJ	C NJ 07432	72 W ALLENDALE AVE	
1808	3		2	BONACORTE, MICHELE 30 MAPLE ST ALLENDALE, NJ	07401	30 MAPLE ST	
1808	6		2	PARSHIN,DMITRY & PARSHIN, 45 ELM STREET ALLENDALE, NJ	A,NADEZDA S 07401	45 ELM ST	
1808	7		2	ROCCO, MATTHEW A 37 ELM ST ALLENDALE, NJ	07401	37 ELM ST	
1808	5		2	MCMASTER, MICHAEL R & MON 46 MAPLE ST ALLENDALE, NJ	11NA J 07401	46 MAPLE ST	
1808	8		2	ORTIZ, ROBYN 35 ELM ST ALLENDALE, NJ	07401	35 ELM ST	
1808	9		2	PFEIFER,CHRISTOPHER & GAP 25 ELM STREET ALLENDALE, NJ	RGTULO, ANNA 07401	25 ELM ST	
LOCK	LOT	QUAL	CLA	PROPERTY OWNER		PROPERTY LOCATION	Add'I Lots
808	1			SAFIL CORPORATION 175 COLUMBIA AVENUE HARTSDALE, NY	7/	4-86 W ALLENDALE AV	
307	3			M C K INC 67 W ALLENDALE AVE ALLENDALE N J	67 07401	7 W ALLENDALE AVE	

CARIDDI ANTHONY J & GARCIA CAROL 34 MAPLE ST

ZONING TABLE			
BLOCK 1808, LOT 2			
BOROUGH OF ALLENDALE, BERGEN C	OUNTY, NEW JERSEY		
TOTAL LOT AREA = 11,301 S.F. (0.2594	ACRES)		
ZONE: RESIDENCE C-1			
PERMITTED USE: TWO-FAMILY DWELLI	ING, PROVIDED NO RESIDENTIAL BELOW 2N	D FLOOR	
EXISTING USE: BANK DRIVE-THRU			
PROPOSED USE: APARTMENTS (USE V	/ARIANCE)		
ITEM	PERMITTED	EXISTING	PROPOSED
Lot Area	N/A*	11,301 SF	11,301 SF
Building Coverage	N/A*	1,022 SF	3,047 SF
Other Impervious Coverage	N/A*	5,280 SF	4,744 SF
Total Coverage	N/A*	6,302 SF	7,791 SF
Gross Building Area	N/A*	285 SF	6,000 SF
Floor Area Ratio	N/A*	0.025	0.531
Minimum Side Yard Setback (right)	10 Ft. when adjoining a residential zone 0 Ft. otherwise	50.7 Ft.	50.6 Ft.
Minimum Side Yard Setback (left)	10 Ft. when adjoining a residential zone 0 Ft. otherwise	34.4 Ft.	10 Ft.
Minimum Rear Yard Setback	24 Ft. when abuts a residential zone	> 24 Ft.	3.6 Ft. (VARIANCE)
Minimum Front Yard Setback	42 Ft. from Street Centerline	43.8 Ft.	42 Ft.
Minimum Lot Width	N/A*	99.69 Ft.	99.69 Ft.
Maximum Building Height	Lesser of 2 Stories or 28 Ft.	1 Story	27.6 Ft.
Parking	Residential Site Improvements Standards 1-BR Apt Unit = 1.8 spaces/unit Six 1-BR Units = 1.8 x 6 = 11 Spaces	N/A	7 Spaces Proposed (VARIANCE)
*requirement not given for this zone in ordi	nance		

BLOCK 1808, LOT 2

COVERAGE TABLE - ZONE C-1

Total Impervious Coverage

11.301 SF TOTAL LOT AREA

	- · · · · ·			Lo		
	Existing Coverages		Proposed Coverages			
Description	Area (SF)	Percentage	Description	Area (SF)	Percentage	
Building / Awning	1,0	22	Apartment Building	3,047		
Driveway / Concrete	5,2	5,280		588	588	
			Driveway & Parking Lot	3,743		
			Garbage area	413		

UTILITY COMPANY LIST

Total Impervious Coverage

Increase in Impervious Coverage

200' BAND PERIMETER PROPERTIES

BOROUGH OF ALLENDALE, NEW JERSEY 07401

BEFORE YOU DIG YOU MUST CONTACT "UNDERGROUND ALERT"

AT 1-800-272-1000 AND PROVIDE THEM WITH

THE LOCATION OF THE SUBJECT PROPERTY

IN ORDER TO DETERMINE IF ANY OF THE

FOLLOWING UTILITIES MUST BE NOTIFIED:

PERIMTER PROPERTIES:

BLOCK/LOT UTILITIES WITHIN THE BOROUGH OF ALLENDALE

Rockland Electric Company - 1 Blue Hill Plaza, Pearl River, NY 10965

New Jersey Department of Transportation, Box 600, Trenton, NJ 08625

PSE&G Company, 20 Van Vooreen Drive, Oakland, NJ 07436

Cablevision of New Jersey, 40 Potash Road, Oakland, NJ 07436

Verizon New Jersey, 114 Paterson Street, Paterson, NJ 07501 Bergen County Planning Board, 1 Bergen County Plaza, Hackensack, NJ 07601

> SEE SHEET 2 OF THIS SET FOR **GENERAL NOTES** AND REFERENCES THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

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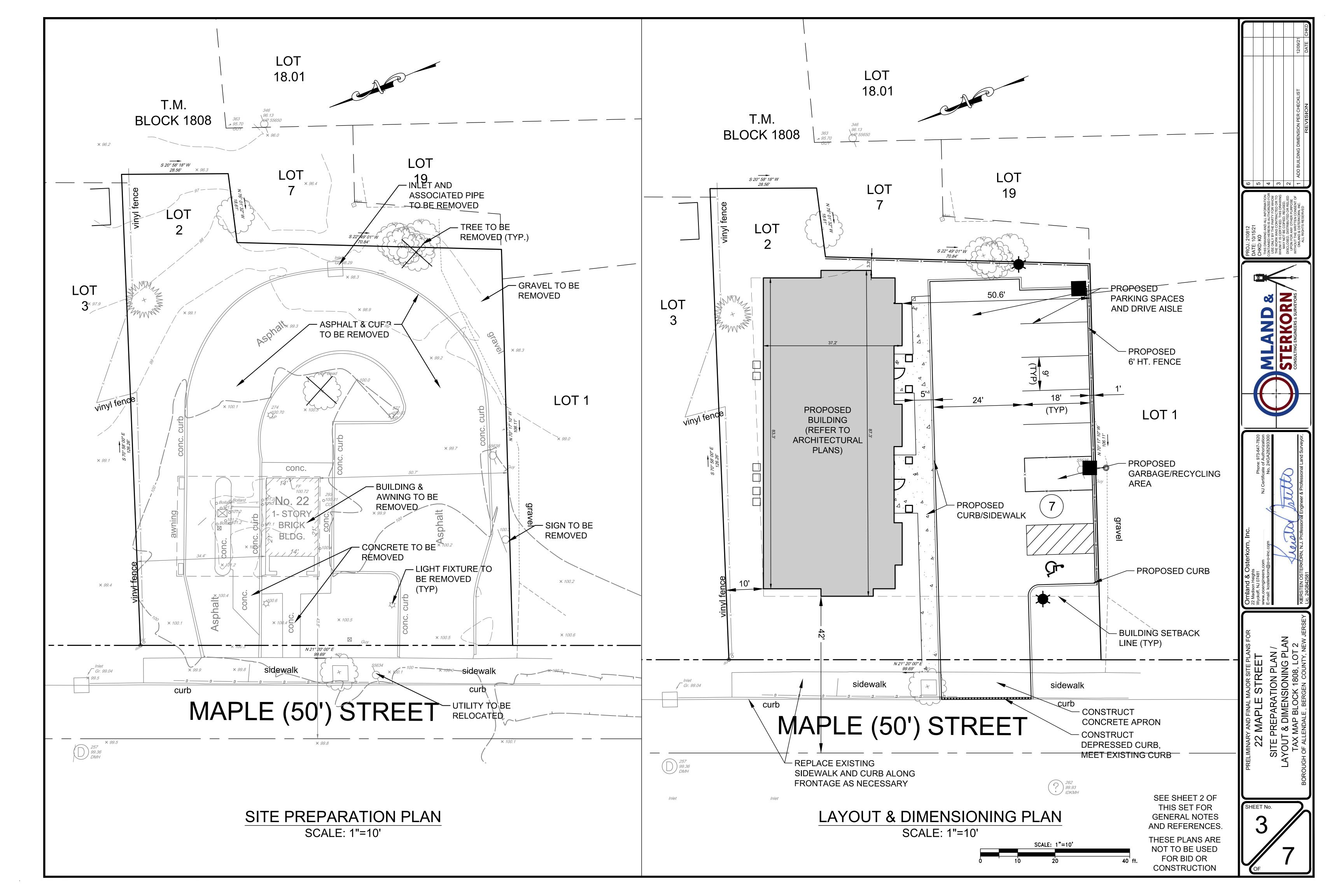
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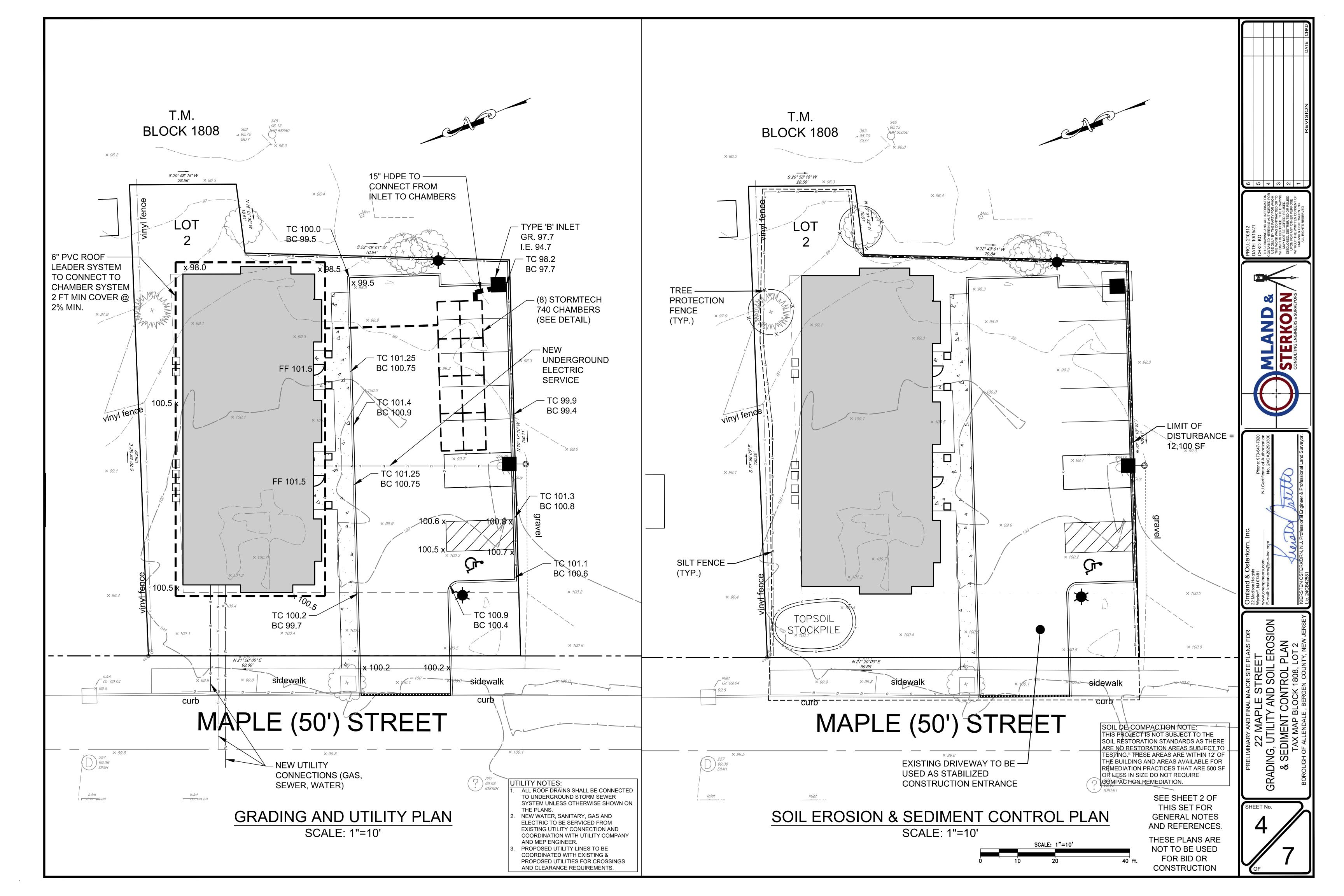


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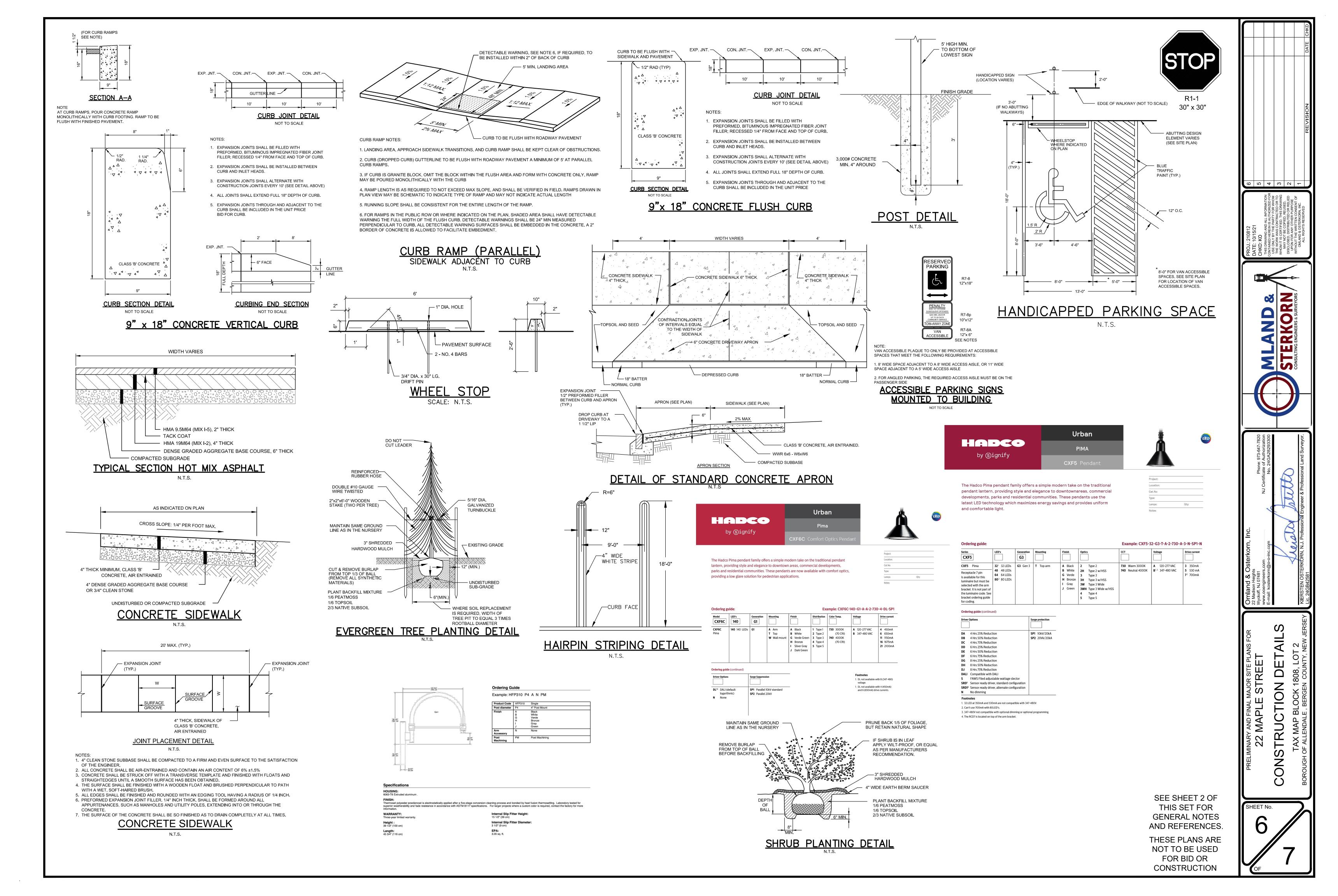
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GENERAL LANDSCAPE NOTES THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING AND LIGHTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. AND NOTIFY THE LANDSCAPE ARCHITECT IN REFERENCE TO ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION. THE CONTRACTOR SHALL ENSURE THAT WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS. IN THE EVENT OF VARIATION BETWEEN WRITTEN QUANTITIES AND QUANTITIES SHOWN ON THE PLAN. **BLOCK 1808** THE PLANS SHALL TAKE PRECEDENCE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD AND SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE BLOCK 1808 363 395.70 LANDSCAPE ARCHITECT OR ENGINEER FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST. PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD. × 96.2 ALL PLANT MATERIAL SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). TREES SHALL BE NURSERY-GROWN, FREE OF DISEASE, SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS. o. ,**§** 20° 58′ 18″ W o. 6. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY *28.56*′. ∗°× *96.3* PLANTS BY SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE S 20° 58′ 18" W LANDSCAPE ARCHITECT OR ENGINEER ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER IF IT × 96.4 DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. × 96.4 PLANT SUBSTITUTIONS SHALL BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT RELATIVE TO SIZE, SPECIES AND VARIETY. ALL PLANT MATERIAL SHALL BE TO TRUE SPECIES, VARIETY, AND SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. WRITTEN PROOF OF UNAVAILABLE PLANT MATERIAL MUST BE DOCUMENTED ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH A 3 INCH LAYER OF SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS. 10. TRANSPLANTING: A. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30. S 22° 49' 01" W B. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE C. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND. D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED F. IF TRANSPLANTS DIE, SHRUBS LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. 11. BULBS SHALL BE PLANTED IN ACCORDANCE WITH SECTION 11 OF THE ANLA STANDARDS. 12. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE AS INDICATED ON THE DOCUMENTS. 13. ALL TREE STAKES AND WIRES WILL BE REMOVED BY THE APPLICANT AFTER ONE (1) YEAR FROM THE DATE OF INSTALLATION. 14. VEGETATION PROPOSED AMONG EXISTING VEGETATION IS TO BE PLANTED TO AVOID DAMAGE TO THE EXISTING VEGETATION. 15. ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7' ABOVE GRADE. 16. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE × 98.3 CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, ENGINEER, OR OWNER. × 99.2 17. ALL PLANTING BEDS SHALL RECEIVE 3 INCHES OF SHREDDED HARDWOOD MULCH WITH WEED INHIBITING FABRIC BENEATH. 18. PLANT MATERIALS SHALL NOT BE INSTALLED UNTIL FINISHED GRADING HAS BEEN COMPLETED. 19. UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE MEETING OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR ENGINEER OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION 20. ALL TREES SHALL BE GUARANTEED FOR 24 MONTHS FROM TO DATE OF ACCEPTANCE. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR 24 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS. 21. PLANTING DATES: AUGUST 15 - DECEMBER 15: EVERGREEN TREES OCTOBER 15 - DECEMBER 15: DECIDUOUS TREES ALL PLANTS MARCH 1 - MAY 15: × 99.1 × 99.1 22. ALL DISTURBED AREA OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED OR SODDED. 23. ALL SOD SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILIAR TO AREAS TO BE COVERED. AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, BUTTED WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE). 24. ALL PLANTING BEDS ADJACENT TO LAWN AREAS (SOD OR SEEDED) SHALL BE SPADE EDGED. 25. CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL TEST OF EXISTING ON SITE SOILS TO BE USED AS PART OF PLANTING BACKFILL MIXTURE. 26. PLANT BACKFILL MIXTURE: BACKFILL PLANT PITS WITH A MIXTURE OF TOPSOIL AND SOIL AMENDMENTS. AMENDMENTS SHALL BE ADDED AS RECOMMENDED BY CERTIFIED SOIL TEST. 27. CONTRACTOR SHALL PROVIDE PLANTING BACKFILL MIXTURE TO PROPOSED DEPTHS AS FOLLOWS: TREES (24 INCH MINIMUM OF PLANTING BACKFILL MIXTURE), SHRUBS (18 INCH MINIMUM OF PLANTING BACKFILL MIXTURE), PERENNIALS AND GROUNDCOVER (12 INCH MINIMUM OF PLANTING BACKFILL 28. IF WET SOIL CONDITIONS EXIST THEN PLANT PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND THE ADDITIONAL AREA FILLED WITH SAND. 29. IMPORTED OR ON-SITE TOPSOIL MAY BE USED TO REFILL THE EXCAVATED AREA. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR × 99.4 TO CONSTRUCTION. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. CONTRACTOR TO × 99.4 MODIFY THE SOIL AS NEEDED TO MEET REQUIRED PH AND NUTRIENT LEVELS. 30. LAWN/LANDSCAPE RESTORATION AREAS: CONTRACTOR TO COMPLETELY REMOVE ALL UNDERLYING CONSTRUCTION MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24", INCLUDING A MINIMUM OF 6" THICK TOPSOIL. 1. ALL AREAS, WHICH ARE TO BE SEEDED, SHALL RECEIVE 5" OF TOPSOIL PRIOR TO SEEDING. PRIOR TO TOPSOIL PLACEMENT THE EXISTING SOIL SHALL BE RAKED CLEAN OF WEEDS, VEGETATION AND EXTRANEOUS MATERIALS SUCH AS WOOD, STONES, ROCKS, CONSTRUCTION DEBRIS, ETC. LARGER THAN TWO (2) INCHES IN ANY DIMENSION. TOPSOIL SHALL BE SANDY LOAM FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL: CONTAIN 5% ORGANIC MATTER, 6.0 TO 6.5 PH. TOPSOIL SHALL NOT BE WORKED IN MUDDY OR WET CONDITIONS. 32. TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION 99.69' DISTURBANCES AND STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS N 21° 20' 00" L 99.69' OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND SOD PRIOR TO SUBMITTING A BID. 33. THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE ∍sidewalk Gr. 99.04 A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE Gr. 99.04 CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF LIGHTING PLAN LANDSCAPE PLAN 34. ALL PLANTING AREAS WITHIN EXISTING ASPHALT PAVEMENT AREAS SHALL BE DECOMPACTED A LIGH. MINIMUM DEPTH OF 24 INCHES. CONTRACTOR TO REMOVE ASPHALT/BASE MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24". TAKE CARE TO NOT RIP SOIL WITHIN THE DRIP LINE SCALE: 1"=10' SCALE: 1"=10' OF EXISTING TREES. COORDINATION: AND 35. THE CONTRACTOR SHALL COORDINATE WITH LIGHTING CONTRACTOR (WHEN / WHERE APPLICABLE) REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL. **PLANT SCHEDULE** 36. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE THREE (3) DAYS PRIOR TO ANY EXCAVATION. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE Key Qty **Scientific Name Common Name** | Caliper | Height | Root OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. **Evergreen Trees** IN THE EVENT UTILITIES ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO THE UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO - | 7' | B&B AP 3 Picea abies Norway Spruce THE OWNER. ANY DAMAGE OF UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE - | 7' | B&B Columnar Norway Spruce 6 Picea abies 'Cupressina' 0.950 CXF48-G3-4-730-3-H 0.950 CXF48-G3-3-730-3 0.950 RFS-30W16LED3K-G2-37. IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES TOTAL 9 SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER. 1 Acer rubrum 'October Glory' October Glory Maple 3" | 12-14' | B&B 38. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN 1 Acer rubrum 'Armstrong' 3" | 12-14' | B&B Armstrong Red Maple AND VEHICULAR TRAFFIC FLOW. 39. DURING PLANTING OPERATIONS EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY 1. ELECTRICAL CONTRACTOR TO COORDINATE CONNECTION TO EXISTING CONDUIT AND ANY UTILITY 2 Cornus florida 'Cherokee Chief' Cherokee Chief Flowering Dogwood SEE SHEET 2 OF TOTAL 4 40. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND 2. ELECTRICAL CONTRACTOR TO COORDINATE LIGHTING CONTROLS WITH OWNER. THIS SET FOR FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK. **GENERAL NOTES LIGHTING CONTACT:** 17 Itea virginica 'Henry's Garnet' 24-30" #3 Conf Henry's Garnet Sweetspire MICHAEL MCEVOY AND REFERENCES 41. MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 24-30" #3 Cont 12 | Itea virginica 'Merlot' Merlot Sweetspire ILA LIGHTING LIGHTING & CONTROLS DAYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE. 253 STATE ROUTE 79 NORTH, MORGANVILLE, NJ 07751-2001 THESE PLANS ARE 36-42" #5 Cont 8 Juniperus x pfitzeriana 'Sea Green' Sea Green Juniper MAINTENANCE INCLUDES: WATERING. PRUNING, FERTILIZING, WEEDING, MULCHING, REPLACEMENT OF DISEASED OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PHONE: 201.819.6682 Gold Flame Spirea 24-30" #3 Cont 24 Spiraea x bumalda 'Gold Flame' NOT TO BE USED PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF MMCEVOY@ILALIGHTING.COM 6 Viburnum rhtidophyllum 'Green Trump' | Green Trump Leatherleaf Viburnum 36-42" #5 Conf REQUESTED BY THE OWNER. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF FOR BID OR INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH TOTAL 67 AND SURVIVAL OF PLANTS. CONSTRUCTION



6" MINIMUM OF

3/4" CLEAN STONE

SUITABLE BACKFILL COMPACTED IN 12" LIFTS TO OPTIMUM DENSITY AROUND ENTIRE CIRCUMFERENCE

NOTE: CONCRETE FOOTINGS SHALL BE ALIGNED WITH

AND LOCATED A MINIMUM OF

#4 BARS @ 6" O.C. (2 THUS) CONT. @

PERIMETER OF SLAB

COMPACTED -

PARKING STALL STRIPING

2'-9" FROM THE EDGE OF

PAVED AREAS

OR WITHIN TOWNSHIP R.O.W.

, SEE TYPICAL PAVEMENT SECTION

SELECT FILL SHALL BE

AGGREGATE COMPACT

COMPACT IN 1 FT. LIFTS

— NUMBER 57 PROCESSED COARSE AGGREGATE

3/4 DENSE GRADED

IN 1 FT. LIFTS

RAISED

NON PAVED AREAS

OUTSIDE TOWNSHIP R.O.W.

GROUND LEVEL —

GRASSED AREA:

PIPE EMBEDMENT

1'-0" MIN.

ABOVE TOP OF PIPE

SALT HAY, 2" LAYER

IF TRENCH IS TO

BE STONE-FILLED

4" TOPSOIL, FERTILIZING.

SEEDING & MULCHING

CONCRETE FOOTING

APPROVED

BACKFILL

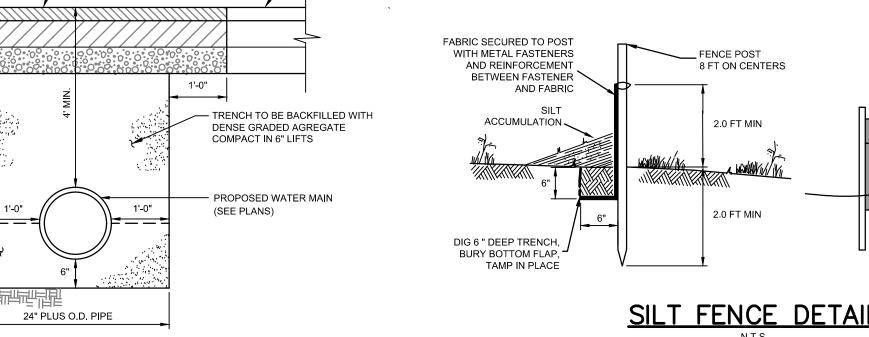
1 FT. LIFTS

PIPE O.D. PLUS 2'

SMOOTH WALL CORRUGATED

HDPE PIPE TRENCH

ALL INSTALLATION PROCEDURES, BEDDING, BACKFILL, AND EMBEDMENT COMPACTION SHALL
BE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
 COMPACTED BACKFILL TO BE FREE OF EXCESSIVE CLAY. ORGANIC MATERIAL AND BOULDERS.
 RECYCLED CONCRETE IS NOT TO BE USED AS BACKFILL.



WATER TRENCH

TOPSOIL STOCK PILE DETAIL

SEDIMENT CONTROL IN NEW JERSEY - 8-1

SEE PLAN FOR SIZE

CAST-IN-PLACE

AIR ENTRAINED

3/4" CRUSHED STONE

CONCRETE PAD DETAIL

CLASS B CONCRETE

24" PLUS O.D. PIPE

SANITARY SEWER TRENCH DETAIL

1\2" THICK PREMOLDED FIBER

- 6x6/10X10 W.W.F.

PAVEMENT AREA: SEE TYP. SECTIONS

- BACKFILL WITH SUITABLE

ONSITE MATERIAL

PROPOSED SAN. SEWER

- 3/4" CLEAN CRUSHED STONE

BOND EXPANSION JOINT -

SILT FENCE PROTECTION

(TYP.) 2' HIGH MIN

NEW 6" THICK 3500# CONC...

SEEDING & MULCHING

SLAB ON GRADE

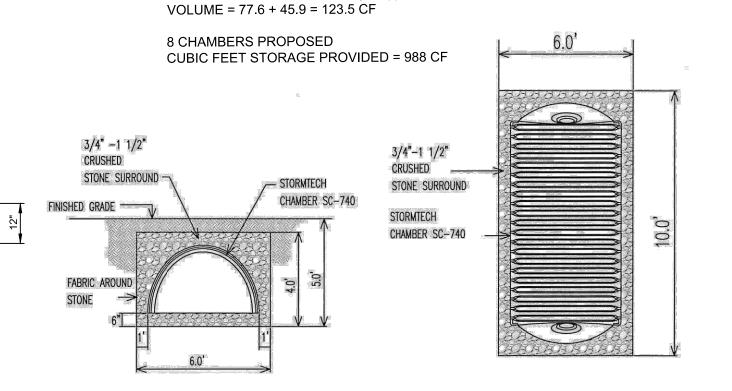
FENCE POST 8 FT ON CENTERS DRAWSTRING RUNNING THROUGH ALONG TOP OF FENCE

DRAINAGE CALCULATION

IMPERVIOUS AREA = 5,440 SF (ROOF, PARTIAL PAVEMENT)

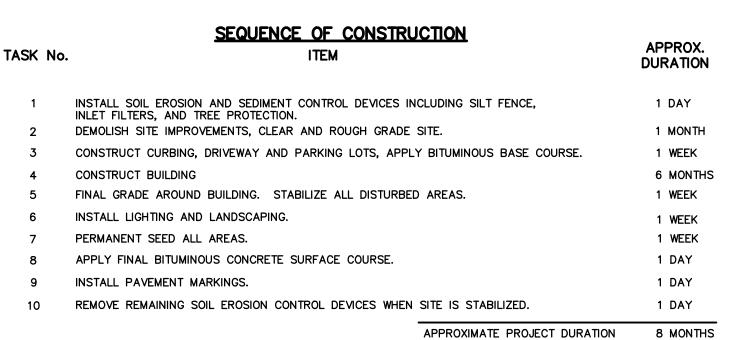
2 IN. OVER IMPERVIOUS AREA CUBIC FEET STORAGE REQUIRED = 907 CF

STORMTECH SC-740 CHAMBER OR EQUAL CHAMBER SPEC: 85.4" LONG, 51" WIDE, 30" HIGH CHAMBER CAPACITY = 45.9 CF HOLE VOLUME = L X W X H = (10)(6)(4) = 240 CF STONE VOLUME = 240-45.9 = 194.1 CF USE 40% VOID FOR STONE = (0.40)(194.1) = 77.6 CF



STORMTECH_SC-740 CHAMBER DETAIL N.T.S.

PLAN VIEW



NOTES: THIS SEQUENCE OF CONSTRUCTION IS GENERAL AND TASKS MAY OVERLAP.

BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

1. All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established. 2. Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with salt hay or equivalent and

bound in accordance with the NJ Standards (i.e., peg and twine, mulch netting, or liquid mulch binder). 3. Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.

4. Stabilization Specifications: A. Temporary Seeding and Mulching:

-Lime - 90 lbs./1,000 sf ground limestone; Fertilizer - 11 lbs./1,000 sf, 10-20-10 or equivalent worked into the soil a minimum of 4".

-Seed - perennial ryegrass 40 lbs /acre (1 lb /1,000sf) or other approved seeds; plant between March 1 and May 15 or between August 15 and October 1.

-Mulch - salt hay or small grain straw at a rate of 70 to 90 lbs./1,000 sf to be applied according to the NJ Standards. Mulch shall be secured by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).

B. Permanent Seeding and Mulching:

-Topsoil - uniform application to a depth of 6". -Lime - 90 lbs./1,000 sf ground limestone; Fertilizer - 11 lbs./1,000 sf, 10-20-10 or equivalent worked into the soil a minimum of 4".

-Seed - Turf type tall fescue (blend of 3 cultivars) 150 lbs./acre (3.5 lbs./1,000 sf) or other approved seeds: plant between March 1 and October 15.

-Mulch - salt hav or small grain straw at a rate of 70 to 90 lbs./1000 sf to be applied according to the NJ Standards. Mulch shall be secured by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).

5. The site shall at all times be graded and maintained such that all stormwater running is diverted to soil erosion and sediment control facilities. 6. Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.

7. Stockpiles are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a haybale sediment barrier or silt fence.

8. A crushed stone, vehicle wheel-cleaning blanket will be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1" - 2 1/2" crushed stone, 6" thick, will be at least 30' x 100' and should be underlain with a suitable synthetic sediment filter fabric and maintained.

9. Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.

10. Driveways must be stabilized with 1" - 2 1/2" crushed stone or subbase prior to individual lot construction. 11. All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right of ways, will be removed immediately. Paved

roadways must be kept clean at all times. 12. Catch basin inlets will be protected with an inlet filter designed in accordance with Section 30-1 of the NJ Standards.

13. Storm drainage outlets will be stabilized, as required, before the discharge points become operational.

14. Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ

15. Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ

16. Trees to remain after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 9-1 of the NJ Standards.

17. The project owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or off-site as a result of

18. Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the district for review and approval prior to

19. A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.

20. The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance: Bergen County SCD,

700 Kinderkamack Road, Suite 106, Oradell, NJ 07649 Tel: 201-261-4407; Fax 201-261-7573. 21. The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.

22. The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the scheduling of all report of compliance inspection. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

1" REBAR FOR BAG REMOVAL FROM INLET -FOAM CURB SILTSACK DEFLECTOR (OMIT IF NO CURB) DUMP LOOPS . (REBAR NOT INCLUDED)

<u>PLAN</u>

INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR

Topsoil Stockpile Protection

EXIST, GROUN

STONE SIZE 1 1/2" - 2 1/2" CRUSHED STONE

ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY

WIDTH NOT LESS THAN FULL WIDTH AT POINTS OF EGRESS AND INGRESS.

WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT

TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R.O.W., THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF

ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRAPPED

WHEN THE CONSTRUCTION ACCESS EXITS ONTO A MAJOR ROADWAY, A PAVED TRANSITION AREA MAY BE INSTALLED BETWEEN THE MAJOR ROADWAY AND THE STONED ENTRANCE TO PREVENT LOOSE STONES

FROM BEING TRANSPORTED OUT ONTO THE ROADWAY BY HEAVY EQUIPMENT ENTERING OR LEAVING THE SITE.

STABILIZED CONSTRUCTION ENTRANCE

FINE GRAINED SOILS

STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.

ENTRANCE ONTO PUBLIC R.O.W., WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA

a) Apply Ground Limestone at a rate of 90 lbs per 1000 sq. ft.

b) Apply fertilizer (10-20-10) at a rate of 11 lbs. per 1000 sq. ft.

c) Apply Perennial Ryegrass seed at 1 lb. per 1000 sq. ft. and Annual Ryegrass at 1 lb. per 1000 sq. ft. d) Mulch stockpile with straw or hay at a rate of 90 lbs. per 1000 sq. ft.

e) Apply a liquid mulch binder or tack to straw or hay mulch.

f) Property entrench a silt fence at the bottom of the stockpile.

Temporary Stabilization Specifications a) Apply ground limestone and fertilizer according to soil test recommendations such as offered by

Rutgers Co-operative Extension. b) Apply fertilizer (10-20-10) at a rate of 11 lbs. per 1000 sq. ft.

c) Apply Perennial Ryegrass seed at 1 lb. per 1000 sq. ft. and Annual Ryegrass at 1 lb. per 1000 sq. ft. d) Mulch stockpile with straw or hay at a rate of 90 lbs. per 1000 sq. ft.

e) Apply a liquid mulch binder or tack to straw or hay mulch.

Permanent Stabilization Specifications

a) Apply topsoil to a depth of 5 inches (unsettled).

b) Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension Soil sample mailers are available from the local Rutgers Cooperative Extension offices c) Apply fertilizer (10-10-10) at a of rate 11 lbs. per 1000 sq. ft.

d) Apply Hard Fescue seed at 3.0 lbs. per 1000 sq. ft., Chewings fescue seed at 1.0 lbs. per 1000 sq. ft., Creeping Red Fescue seed at 1.0 lbs per 1000 sq. ft.,and Perennial Ryegrass seed at 0.25 lbs per

e) Mulch stockpile with straw or hay at a rate of 90 lbs. per 1000 sq. ft. f) Apply a liquid mulch binder or tack to straw or hay mulch.

STANDARD FOR DUST CONTROL (Per Standards... Dust Control 16-1, May 2012) <u>DEFINITION</u>-The control of dust on construction sites and roads.

<u>PURPOSE</u>- To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage and health hazards, and improve traffic safety.

CONDITION WHERE PRACTICE APPLIES- This practice is applicable to areas subject to dust blowing and movement where on- and off-site damage is likely without treatment. Consult with local municipal ordinances on any restrictions.

WATER QUALITY ENHANCEMENT-Sediments deposited as "dust" are often fine colloidal material which is extremely difficult to remove from water once it becomes suspended. Use of this standard will help to control the generation of dust from construction sites and subsequent blowing and deposition into local surface water resources.

 $\underline{\textbf{PLANNING CRITERIA}}\text{-} \ \textbf{The following methods should be considered for controlling dust:}$

Mulches-See Standards for Stabilization with mulches Only (p. 5-1)

<u>Vegetative Cover</u>-See Standards for Temporary Vegetative Cover (p. 7-1), Permanent Vegetative Cover for Soil Stabilization (p. 4-1) and Permanent Stabilization with Sod (p. 6-1)

Spray-on Adhesives-On mineral soils (not effective on muck soils). Keep traffic off these areas.

Table 16-1: Dust Control Materials:

Water Dilution Type of Nozzle Gal./Acre Anionic asphalt emulsion Coarse Spray 1,200 12.5:1 Fine Spray 235 Latex Emulsion Resin in Water 4:1 Fine Spray 300 Polyacrylamide (PAM) - spray on Apply according to manufacturer's instructions. May also Polyacrylamide (PAM) - dry spray be used as an additive to sediment basins to flocculate

and precipitate suspended colloids. See Sediment Basin standard (pg 26-1). Acidulated Soy Bean Soap Stick None Coarse Spray 1,200

<u>Tillage:</u> To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are examples of equipment which may produce the desired effect.

Sprinkling: Site is sprinkled until the surface is wet.

Barriers: Solid board fences, snow fences, burlap fences, crate walls, bales of hay, and similar

material can be used to control air currents and soil blowing. <u>Calcium Chloride:</u> Shall be in the form of loose, dry granules of flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.

Stone: Cover surface with crushed stone or coarse gravel.

SEE SHEET 2 OF THIS SET FOR **GENERAL NOTES** AND REFERENCES

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

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