LAPATKA ASSOCIATES, INC.

12 Route 17 North, Suite 230 Paramus, NJ 07652 Phone 201-587-1600

	Phone 201-	-587-1600	Attention: Linda Garofalo
	Fax 201-5	87-0063	Re: Park & Ivy Properties LLC
			Block 1709, Lot 7
BOROUGH (OF ALLENDA	LE	Allendale, Bergen County, NJ
500 West Cre	scent Avenue		
Allendale, NJ	07401	***************************************	
WE ARE SENI	DING YOU x	Attached	Under Separate Cover via, THE FOLLOWING:
x Prints		Plans	Specifications Change Order
Other:			
VIA:		Regular Mai	X Overnight FedEx Hand Delivery
Messenger		Pick Up	
# of Copies	Date	Sheet #	Description
17	06/01/2021	1/5	Site Plan (sealed)
17	03/16/2020	2/5	Existing Conditions (sealed)
17	06/01/2021	3/5	Grading & Drainage Plan/Erosion Control Plan/Details (sealed)
17	06/01/2021	4/5	Landscape Plan & Site Lighting Plan (sealed)
17	04/15/2021	5/5	Details (sealed)
17	06/01/2021	1/1	Summary of Site Plan Revisions Memo
THESE ARE T	RANSMITTED	AS CHECK	ED BELOW:
For approval	x	For your use	For review & comment Prints returned after loaned to us
x As requested		As requested	by:
Other			
REMARKS:			

Commit	M. D.:	′ / ` ` ~	WI'VE DO COLOR
-			Whitaker, Esq. (w/ encs.)
	Al Lapatka (no	enc.)	Sent by: Daniel J. LaMothe, PE/sb

Date:

LETTER OF TRANSMITTAL

Job # 18-110

06/02/2021

IF ENCLOSURES ARE NOT AS NOTED, KINDLY INFORM US AT ONCE.

LAPATKA ASSOCIATES, INC.

12 ROUTE 17 NORTH, SUITE 230 PARAMUS, N.J. 07652 (201) 587-1600 FAX: (201) 587-0063

MEMORANDUM

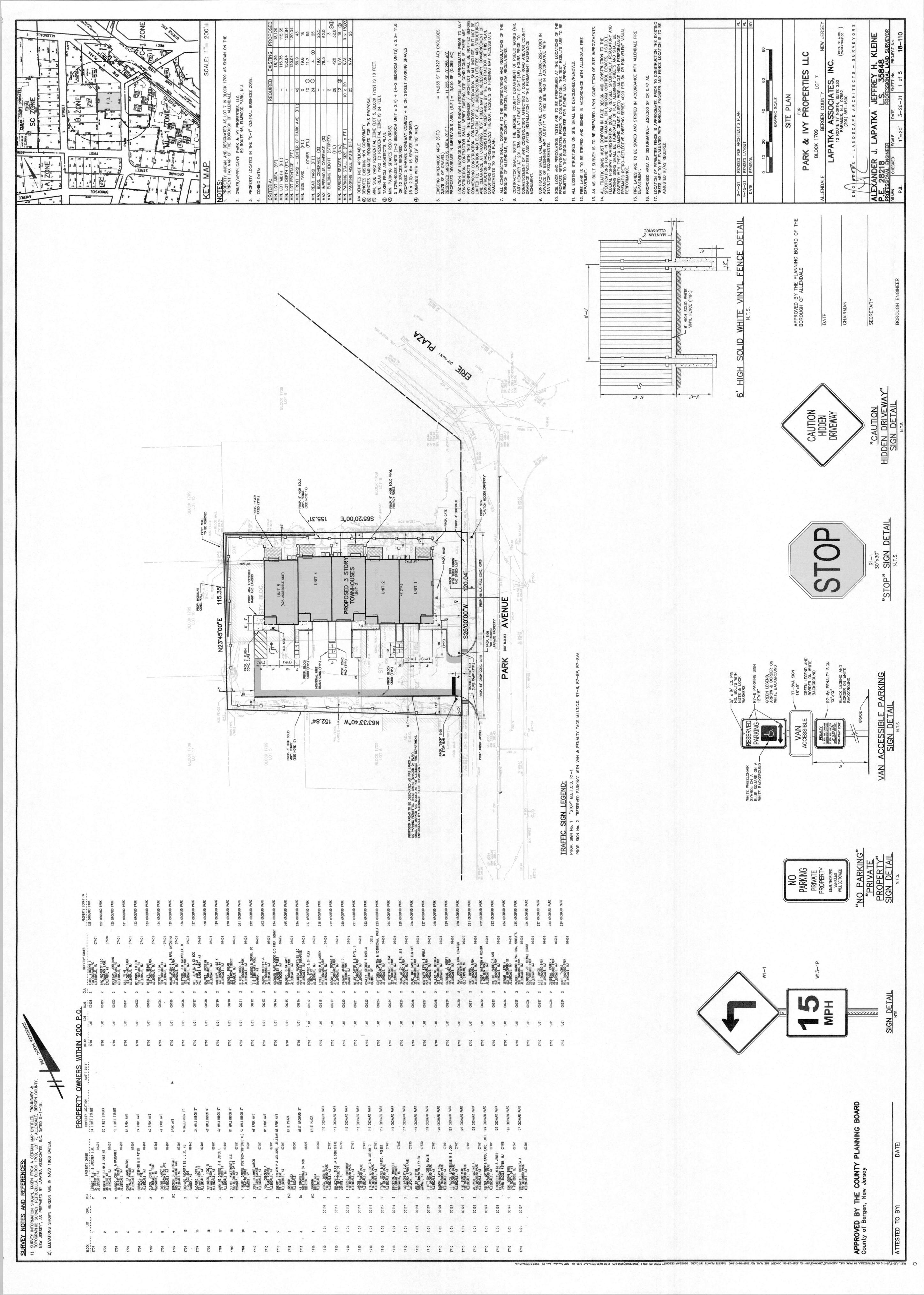
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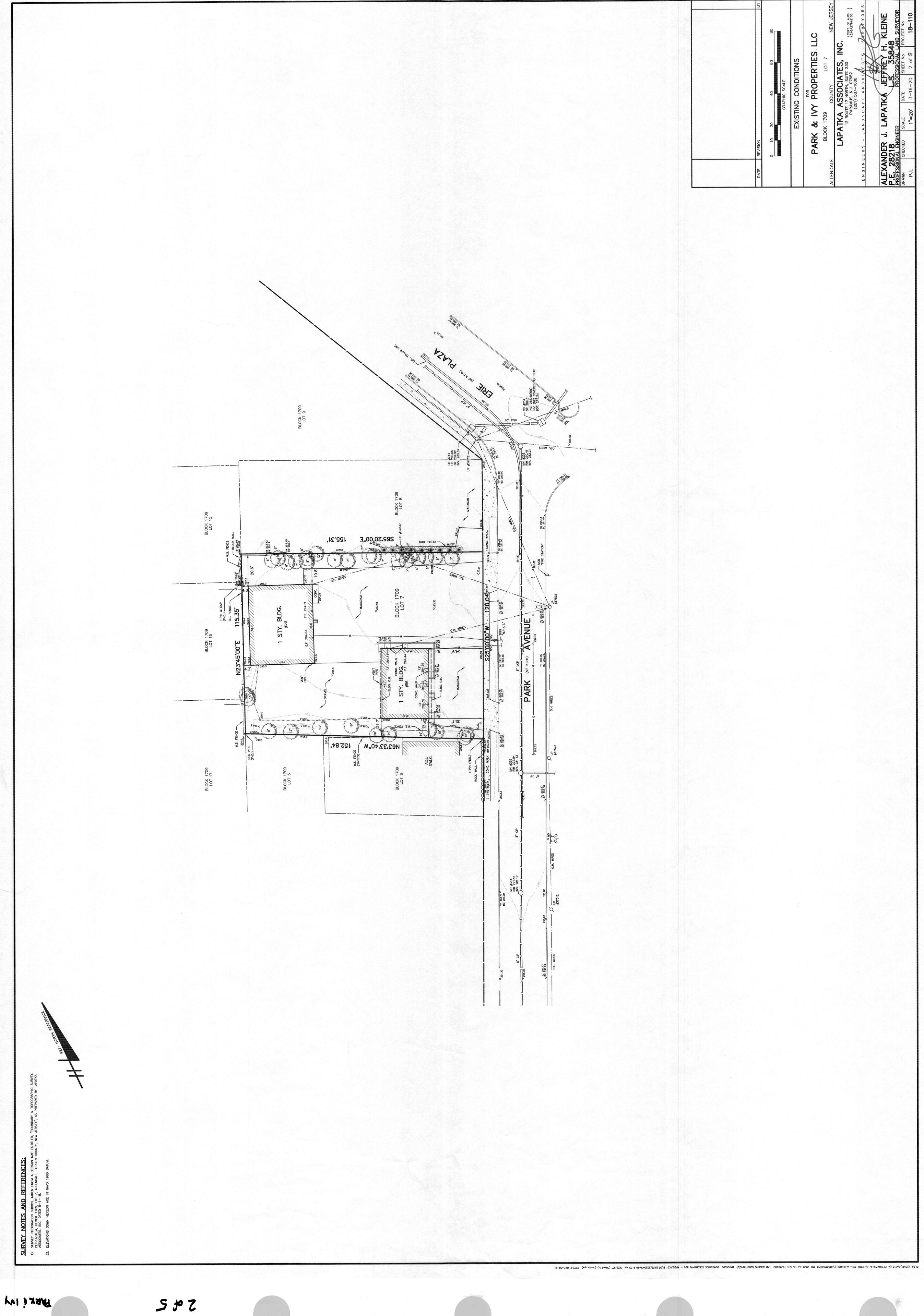
From: Dan LaMothe Date: 6/1/2021

Re: Park and Ivy Block 1709 Lot 7 Allendale, NJ Project # 18-110

Summary of Site Plan Revisions

- 1. The number of Townhouse units were reduced from 6 units to 5 units.
- 2. The width of the individual units were widened fro 18.33 ft. to 22 ft. The overall building length and depth has not changed.
- 3. A new door and walkway was added to the South side of the building.
- 4. The buildings northerly side yard was increased from 15 ft. to 16 ft.
- 5. The proposed height of the building was reduced from 39.5 ft. to 35 ft. (4.5 ft. reduction).
- 6. The size of the proposed patios for the individual units was reduced from 10 ft. wide x 10 ft. deep to 10 ft. wide x 8 ft. deep. Setback from the patio to the property line was increased from 5 ft. to 8 ft.
- 7. A new retaining wall is proposed at the northwest corner of the site. The wall will replace an existing wall that is in disrepair.
- 8. The parking lot layout was modified to increase the width landscaping area along the southerly property line by 2 ft. and the northerly property line by approximately 16 ft.
- 9. The number of parking spaces was reduced from 18 (# of required spaces also reduced)
- 10. An area for individual unit trash cans was added near the garage of each unit to better facilitate trash collection that will be done by a private hauler.
- 11. Overall imperious coverage was reduced from 66.2 % to 62% coverage.
- 12. The drainage system designed was revised.
 - * New lawn inlets are proposed along the site perimeter of the site to ensure no runoff flows to adjacent properties.
 - * A new manhole and catch basin added in Park Avenue to provide a piped connection to the
 - * A new catch basin was added to collect runoff from the proposed driveway.
- 13. The landscaping design was revised to add additional trees added to increase buffering to adjacent lots.
- 14. The lighting design was modified to eliminate one of the site poles and to provide lights on the garages to minimize light levels near adjacent properties. The light fixture was also modified to propose a LED fixture that has better light control.
- 15. Details of the ADA sidewalk ramps have also been added to the plans.

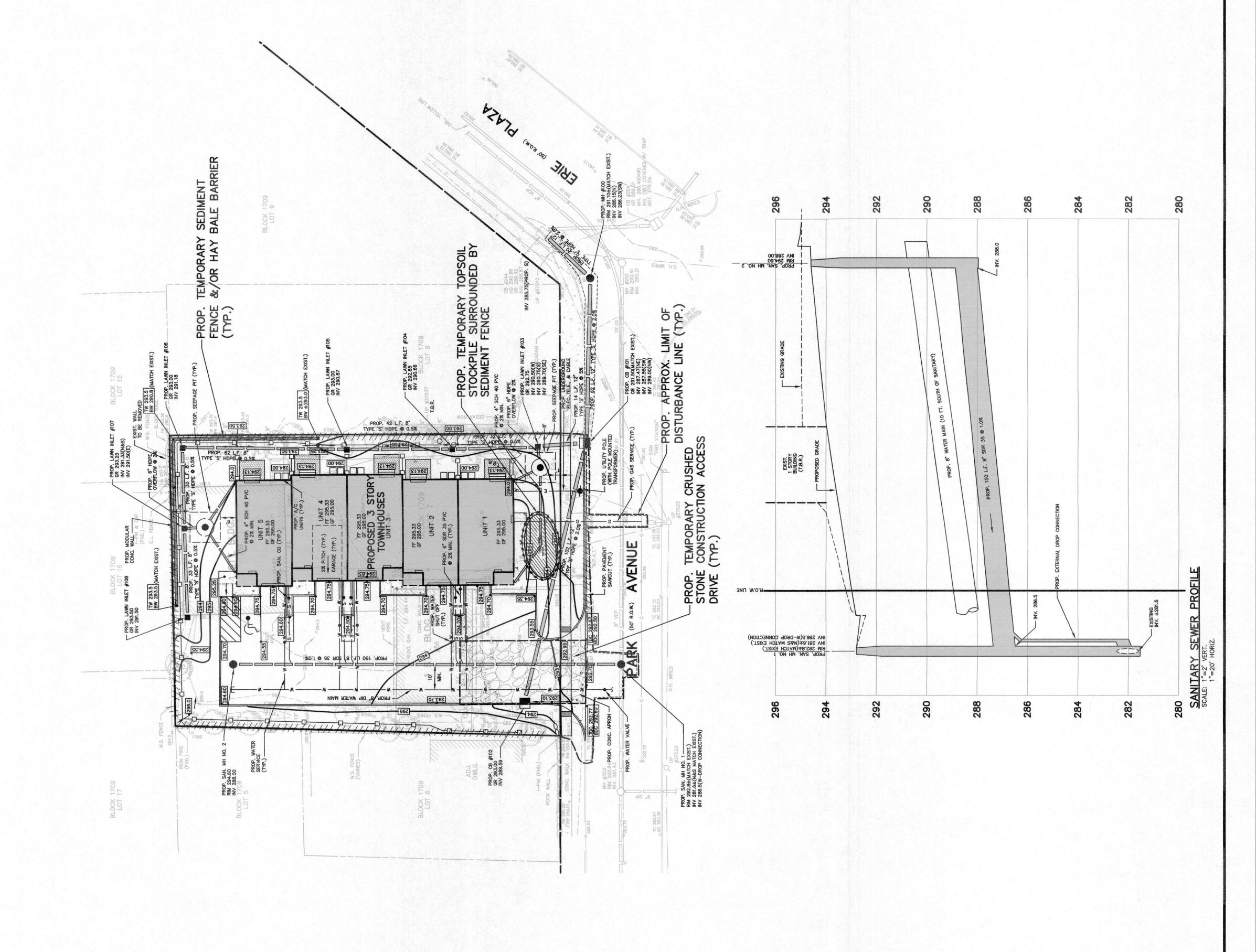




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EXISTING COUDITIONS 3:1620





BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

4. LOCATION OF UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS. IF THERE ARE ANY CONFLICTS WITH THIS PLAN, THE ENGINEER/ARCHITECT SHALL BE NOTIFIED BEFORE COMMENCING CONSTRUCTION. CONTRACTOR'S INVESTIGATION SHALL INCLUDE, BUT NOT BE LIMITED TO, LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND CLEARANCES AT CROSSING. TEST HOLES MAY BE NECESSARY. COMMENCEMENT OF CONSTRUCTION SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR OF THIS PLAN, CONDITIONS AND CONSEQUENCES THEREOF. RESULTS OF FINDINGS MAY NECESSITATE ADJUSTMENTS TO THIS PLAN. ALL CONSTRUCTION ON SITE TO CONFORM TO THE STANDARDS AND SPECIFICATION OF THE BOROUGH OF ALLENDALE AND 2007 NJDOT SPECIFICATIONS.

ALL SANITARY SEWER PIPE SHALL BE SDR 35 PVC PIPE.

ALL WATER MAIN PIPE SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE. PRESSURE CLASS 350 AND SHALL BE EITHER MECHANICAL JOINT OR BOLTLESS RESTRAINED JOINT DUCTILE IRON CEMENT LINED PIPE. NOTES: 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.

2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTTED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.

10. 7. œ A. TEMPORARY SEEDING AND MULCHING:
GROUND LIMESTONE — APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER — APPLY 11LBS/1,000 SF OF 10—20—10 OR EQUIVALENT WITH 50%
WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED
INTO THE SOIL A MINIMUM OF 4".
SEED — PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER
APPROVED SEED; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND
OCTOBER 1.
MULCH — UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF
APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED
BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH
BINDER).

CONTRACTOR TO COORDINATE WITH ALLENDALE WATER DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS FOR EXISTING AND PROPOSED MAIN LOCATIONS, WET TAPS, SERVICE ALTERATIONS AND SHUTOFFS, ETC.

CONTRACTOR SHALL CALL GARDEN STATE LOCATOR SERVICE (1-800-262-1000) IN ADVANCE OF BEGINNING ANY ACTIVITY ON THIS SITE AND IN ACCORDANCE WITH STATUTORY REQUIREMENTS.

ALL UTILITIES AND THEIR SERVICE LINES, INCLUDING ELECTRIC, TELEPHONE AND CABLE SHALL BE INSTALLED UNDERGROUND, UNLESS OTHERWISE NOTED AND PRIOR TO THE PLACEMENT OF ANY PAVEMENT COURSE.

LOCATION OF ROOF DRAINS AND LEADERS SHOWN HEREON ARE APPROXIMATE. EXACT NUMBER, LOCATION AND SIZE OF ROOF DRAINS AND LEADERS TO BE DETERMINED ON FINAL BUILDING PLANS FOR INDIVIDUAL HOUSES.

ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION 1978 AS REVISED.

B. PERMANENT SEEDING AND MULCHING:

TOPSOIL — A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5°, MINIMUM OF 4°

FIRMED IN PLACE IS REQUIRED.

GROUND LIMESTONE — APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER — APPLY 11LBS/1,000 SF OF 10—10—10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4″.

SEED — TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8

LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1.

(SUMMER SEEDING REQUIRES IRRIGATION).

MULCH — UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (i.e. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

17. THE MINIMUM COVER FOR ALL WATER MAINS SHALL BE 4 FEET. THE MAXIMUM COVER FOR ALL WATER MAINS SHALL BE 5 FEET, EXCEPT WHERE CROSSING NECESSITATES MORE DEPTH. 16. AFTER THE MAINS HAVE BEEN SATISFACTORILY DISINFECTED, NEUTRALIZED AND FLUSHED CLEAN, BACTERIOLOGICAL SAMPLES OF WATER SHALL BE COLLECTED BY DEVELOPER. SAMPLES ARE TO BE COLLECTED 24 HOURS AFTER FLUSHING. <u>ක</u> වූ 12 13. 4 5. 20. 7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE. 11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT—OF—WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. 5. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUN-OFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT. 8. A CRUSHED STONE, VEHICLE WHEEL—CLEANING BLANKET WILL BE INSTALLED WHEREVER CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1"—2 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30'x100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED. CES SHALL NOT EXCEED 3:1 UNLESS 10. DRIVEWAYS MUST BE STABILIZED WITH 1"-2 1/2" CRUSHED STONE OR SUBBASE PF TO INDIVIDUAL LOT CONSTRUCTION. MAXIMUM SIDE SLOPES OF ALL EXPOSED SUI THERWISE APPROVED BY THE DISTRICT.

ALL MATERIALS, INSTALLATION, TESTING AND DISINFECTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF NUDEP, CURRENT AWWA STANDARDS AND THE REQUIREMENTS OF THE BOROUGH OF ALLENDALE.

ALL WATER SERVICE LINES TO INDIVIDUAL TOWNHOUSES ARE TO BE 1" COF SERVICE LINES AND TO BE A DIRECT TAP TO THE MAIN. THE EXISTING WATER SERVICE IS TO BE TURNED OFF AT THE WATER MAIN CONNECTION.

A PRESSURE REDUCING VALVE (PRV) SHALL BE INSTALLED ON THE WATER SERVICE LINE AFTER THE WATER METER FOR EACH DWELLING. PRV'S TO BE WATTS REGULATO CO. SERVICES U5B WITH THERMAL EXPANSION BYPASS, OR APPROVED EQUAL. THE PRV SHALL BE DIAPHRAGM OPERATED, SPRING LOADED, ADJUSTABLE OVER A RANGE OF NOT LESS THAN 25-PSI AND CAPABLE OF REDUCING THE MAXIMUM INLET PRESSURE TO A NO-FLOW PRESSURE AT THE OUTLET OF 50-PSI.

AS-BUILT DRAWINGS OF THE INSTALLED WATER AND SEWER FACILITIES SHOWING THE LOCATION OF CORPORATIONS. CURB STOPS, SEWER CONNECTIONS AND CLEAN-OUTS SHALL BE PROVIDED TO THE BOROUGH OF ALLENDALE. AS-BUILT DRAWINGS SHALL CONFORM TO BOROUGH STANDARDS.

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PRIOR TO DEMOLITION OF EXISTING BUILDINGS, THE STRUCTURES SHALL BE INSPECTED BY AN INDEPENDENT ENVIRONMENTAL CONSULTANT WHO SHALL CERTIFY IN WRITING TO THE BOARD OF HEALTH THAT THE BUILDINGS ARE FREE OF ASBESTOS—CONTAINING MATERIALS. IF ASBESTOS IS PRESENT, IT MUST BE REMOVED PRIOR TO DEMOLITION BY A LICENSED ASBESTOS REMOVAL CONTRACTOR.

ALL BRASS FITTINGS MUST BE LEAD FREE.

THE BOROUGH OF ALLENDALE DPW IS TO BE CONTACTED 48 HOURS PRIOR TO CONSTRUCTION OF CONNECTION TO THEIR EXISTING SEWER.

LOCATION OF ROOF DRAINS AND SEEPAGE PITS ARE ONLY APPROXIMATE. FINAL LOCATION TO BE DETERMINED AT TIME OF CONSTRUCTION. WHEN SEEPAGE PIT LOCATIONS ARE DETERMINED, SOIL TEST HOLES ARE TO BE DUG AT EXACT LOCATION OF EACH SYSTEM. 21. PRIOR TO DEMOLITION, THE EXISTING BUILDINGS MUST BE SERVICED BY A LICENSED PROFESSIONAL EXTERMINATOR WHO SHALL CERTIFY IN WRITING TO THE BOARD OF HEALTH THAT THE BUILDINGS ARE FREE OF RODENT INFESTATION. SIX (6) INCH DIAMETER SANITARY CLEANOUTS ARE TO BE PROVIDED AT THE TOWNHOUSE FOR ALL UNITS, THE MATERIAL OF THE 6" SANITARY SEWER LATERAL FROM THE CLEANOUT TO THE SEWER MAIN IS TO BE SDR 35 PVC PIPE. ANY EXISTING UNDERGROUND STORAGE TANKS MUST BE REMOVED UNDER THE SUPERVISION OF THE FIRE PREVENTION BUREAU IN ACCORDANCE WITH APPROVED PROCEDURES. 27. PROPOSED BUILDING ROOF DRAIN SYSTEM IS TO DEBRIS FROM ENTERING DRAINAGE SYSTEM. ONGOING PROFESSIONAL RODENT CONTROL APPLICANT DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE SUMP PUI 24. 23. 25. 22. 26. 18. <u>any</u> revision to the certified soil erosion and sediment control plan must be submitted to the district for review and approval prior to implementation in the FIELD. 13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL. 14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAGOR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS 15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS. 16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS. 17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT. 19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.

20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE: BERGEN COUNTY SCD, 700 KINDERKAMACK ROAD, SUITE 106 ORADELL, NJ 07649 TEL: 201—261—4407; FAX 201—261—7573. 12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28-1 OF THE NJ STANDARDS.

AINS AS REQ

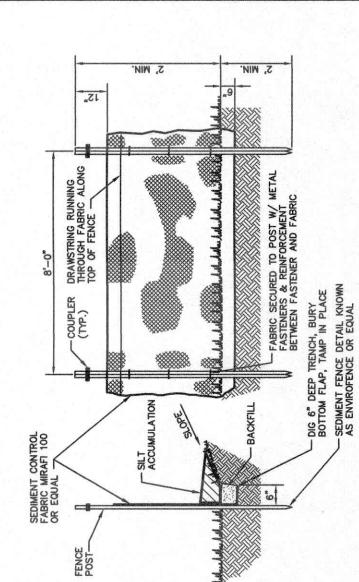
21. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL TO MINIMIZE ON OR OFF—SITE EROSION PROBLEMS DURING CONSTRUCTION.

1. INSTALL HAY BALE BARRIER AND/OR SEDIMENT FENCE.
2. INSTALL CONSTRUCTION ACCESS DRIVE.
3. CLEAR LAND IN AREA OF CONSTRUCTION.
4. STRIP TOPSOIL IN AREA OF CONSTRUCTION, STOCKPILE AND STABILIZE.
5. REMOVE/DEMOLISH EXISTING BUILDING.
6. EXCAVATE FOR AND CONSTRUCT FOUNDATION AND BUILDING.
7. INSTALL UTILITY CONNECTIONS AND SEPAGE PIT. PROTECT INLETS AS PER DETAIL.
8. GRADE SITE TO ELEVATIONS SPECIFIED ON SITE PLAN.
9. CONSTRUCT / INSTALL WALKS, RAMPS, PADS, ETC. AS SPECIFIED ON SITE PLAN.
10. CONSTRUCT PARKING LOT.
11. INSTALL LANDSCAPING, LAWN AREAS, ETC. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM 4" FIRMED IN PLACE, SEED AND STABILIZE ALL DISTURBED AREAS WHICH ARE NOT PROPOSED FOR LAWN OR LANDSCAPING.
12. UPON COMPLETION OF ALL CONSTRUCTION AND STABILIZATION, REMOVE EROSION CONTROL DEVICES. CONSTRUCTION SEQUENCE:

1. INSTALL HAY BALE BARRIER AND OR SEDIMENT FENCE.
2. INSTALL CONSTRUCTION ACCESS DRIVE.
3. CLEAR LAND IN AREA OF CONSTRUCTION.
4. STRIP TOPSOIL IN AREA OF CONSTRUCTION, STOCKPILE AND STABILIZE.
5. REMOVE/DEMOLISH EXISTING BUILDING.
6. EXCAVATE FOR AND CONSTRUCT FOUNDATION AND BUILDING.
7. INSTALL UTILITY CONNECTIONS AND SEEPAGE PIT. PROTECT INLETS AS PER DETAIL.
8. GRADE SITE TO ELEVATIONS SPECIFIED ON SITE PLAN.
10. CONSTRUCT / INSTALL WALKS, RAMPS, PADS, ETC. AS SPECIFIED ON SITE PLAN.
11. INSTALL LANDSCAPING, LAWN ADEAS.

GRADING SECTION Control of the first of the control ACCESS DRIVE SYNTHETIC SEDIMENT FILTER FABRIC CONSTRUCTION " TO 2½" CRUSHED STONF

PILE:L:\2018\18-110 (M. PETRUZZELLA, 54 PARK AVE., ALENPORE)\DRAWINGS\18-110, 2021-6-28, CONCEPT SITE PLAN, REV 2021-06-01.DWG TAB: EROSION CONTROL(3) BY:CADD2 DEVICE:HP DESIGNAET 12530 PS HPGL2 (TEMPORENTY)1289-PC3 PLOT DATE:2021-6-2 7:45 AM SIZE:Overlain: A STATE: 2015-4-20.cdb



SEDIMENT FENCE DETAIL

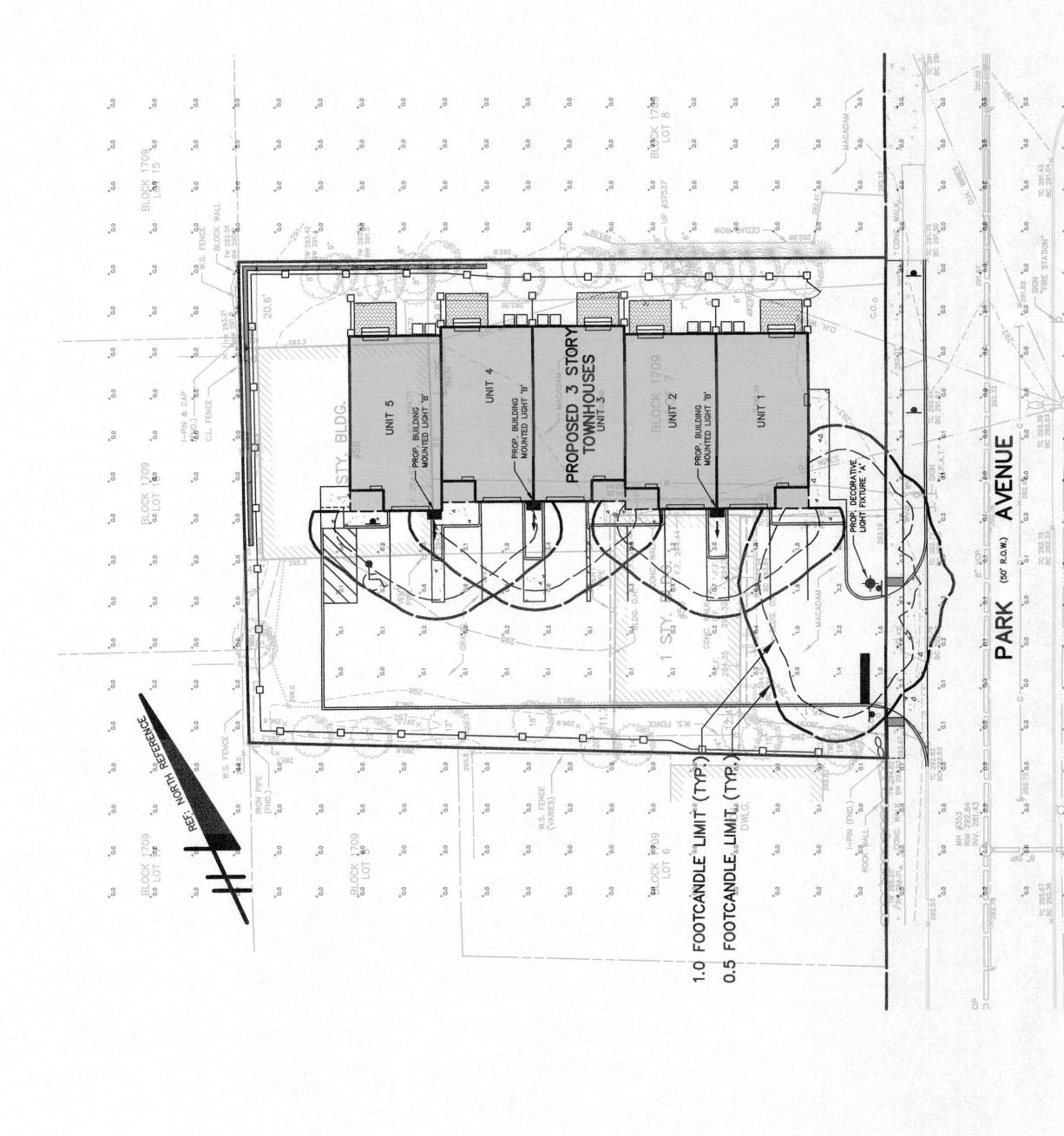
PLAN/DETAILS (CERT. OF AUTH.) L.S. 35848
PROFESSIONAL LAND SURVEYOR PARK & IVY PROPERTIES LLC S PLAN/EROSION CONTROL ASSOCIATES,
JTE 17 NORTH, SUITE 230
ARAMUS, N.J. 07652
ARAMUS, N.J. 07652 LAPATKA AS.

12 ROUTE 17 NORTH, PARAMUS, N.J. 0 (201) 587-16(LAPATKA **BLOCK 1709** & DRAINAGE ALEXANDER P.E. 28218 PROFESSIONAL ENG

SURVEY NOTES AND REFERENCES:

1). SURVEY INFORMATION SHOWN, TAKEN FROM A

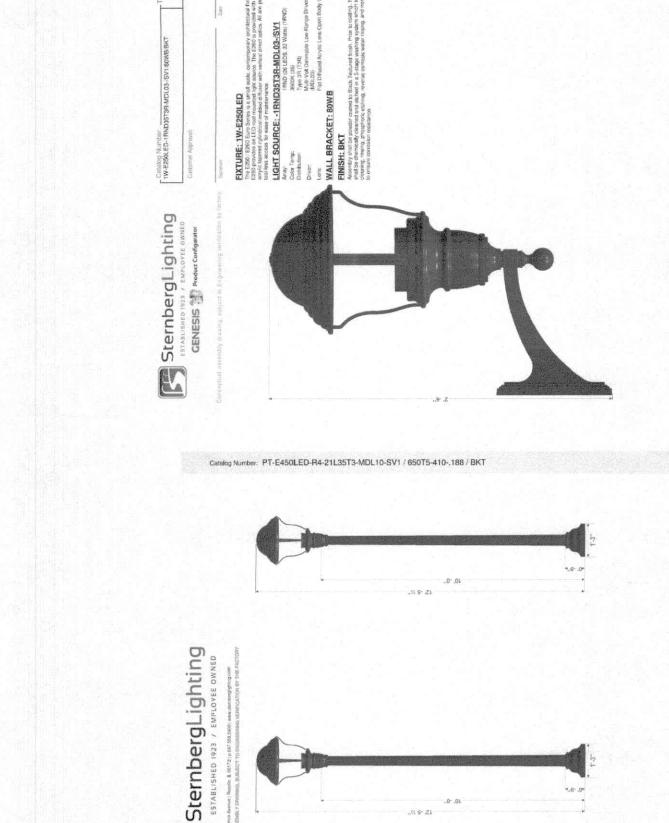
TAIN MAP ENTITLED, "BOUNDARY & LOT 7, ALLENDALE, BERGEN COUNTY, TES, INC. DATED 5-1-18.

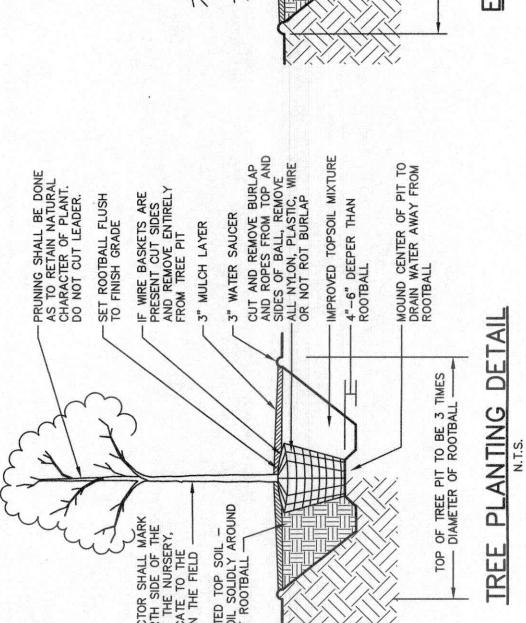


LIGHTING SCALE: 1"=20'

Notes											
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	PRUNE ALL BROKEN AND DAMAGED BRANCHES. DO NOT PRUNE CENTRAL LEADER	FINISH GRADE FINISH GRADE	AND REMOVE ENTRELY FROM TREE PIT	CUT AND REMOVE BURLAP AND ROPES FROM TOP AND SIDES OF BALL. REMOVE ALL NYLON, PLASTIC, WIRE OR NOT ROT BURLAP	MUCH LAYER - 3° MULCH LAYER	IMPROVED TOPSOIL MIXTURE	F A"-6" DEEPER THAN ROOTBALL	TOP OF TREE PIT TO BE 3 TIMES SOLIDLY AROUND BASE OF ROOTBALL DIAMETER OF ROOTBALL	EVERGREEN TREE PLANTING DETAIL

CURB PAVEMENT 8"-12"	TYPICAL PARKING LOT ISLAND BERM DETAIL	SET TOP OF ROOT THE PLUSH WITH FINISH GRADE FINISH GRADE TOPSOIL BACKFIL TOPSOIL BACKFIL TOPSOIL BACKFIL TOPSOIL BACKFIL TOPSOIL BACKFIL THAN ROOT BALL TOPSOIL BALL THAN ROOT BALL THAN ROOT BALL	SHRUB PLANTING DETAIL N.T.S.
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6-1-21	REVISED PER ARCHITECT'S PLAN
4-15-21	REVISED LAYOUT
3-27-20	REVISED LAYOUT
DATE	REVISION
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PLAN &	9 BERGEN COUNTY
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LANDSC	BLOCK 1709

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	JEFFREY H. KLEINE L.S. 35848 PROFESSIONAL LAND SURVEYOR	PROJECT No.	18-110
	FREY H 3584 ESSIONAL L	SHEET No.	4 of 5
		DATE	3-16-20
	J. LAPATKA	SCALE	1"=20"
1	J. L		

	ANDSCAPE NOIES:
÷	 ALL EXISTING VEGETATION TO REMAIN TO BE ADEQUATELY PROTECTED PRI COMMENCEMENT OF CONSTRUCTION WITH SNOWFENCING INSTALLED AT THE LINE.
6	 ALL EXISTING VEGETATION TO REMAIN TO BE LIMBED UP/PRUNED BACK AS NEEDED TO REMOVE ANY DEAD, DAMAGED, DISEASED, DYING, OR HAZARDC LIMBS.

ALL EXISTING VEGETATION TO REMAIN TO BE LIMBED OF FRONED BACK. NEEDED TO REMOVE ANY DEAD, DAMAGED, DISEASED, DYING, OR HAZARI LIMBS.	EVERY EFFORT TO BE MADE BY THE CONTRACTOR TO PREVENT/MINIMIZE COMPACTION OF SOIL IMMEDIATELY OVER THE TREE'S ROOT SYSTEM WITH DRIP LINE.	IF ROOT DAMAGE OCCURS TO AN EXISTING PLANT THAT IS TO REMAIN,
NEEDED TO RELIMBS.	EVERY EFFORT COMPACTION COMPACTIO	IF ROOT DAMA

	DISPOSED OF IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF ENVI PROTECTION REGULATIONS, NO TREE STUMPS, PORTIONS OF TREE TRUN LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE.
9	PRIOR TO ANY EXCAVATION FOR THE INSTALLATION OF PLANT MATERIA CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION AND ALL UNDERGROUND UTILITIES.
7.	7. THE CONTRACTOR SHALL INSPECT ALL PLANTING AREAS BEFORE ANY 1

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7.	7. THE CONTRACTOR SHALL INSPECT ALL PLANTING AREAS BEFORE ANY OR PLANTING IS BEGUN TO ENSURE ADEQUATE DRAINAGE EXISTS. IF TO BE LANDSCAPED SHOW EVIDENCE OF POOR DRAINAGE, THE CONTRIBUTELY FOR CORRECTIVE ACTION. AN MATERIAL THAT DIES DUE TO POOR OR INADEQUATE DRAINAGE SHALL BESTONS IN THE OWNER INADECADE.
ထဲ	8. TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE
	REDISTRIBUTED SO AS TO PROVIDE AT LEAST FIVE (5) INCHES OF CO
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AND SOM	ANDSCAPE NOTES: ALL EXISTING VEGETATION TO REMAIN TO BE ADEQUATELY PROTECTED PRIOR TO COMMENCEMENT OF CONSTRUCTION WITH SNOWFENCING INSTALLED AT THE DRIPLINE.
E B E	ALL EXISTING VEGETATION TO REMAIN TO BE LIMBED UP/PRUNED BACK AS NEEDED TO REMOVE ANY DEAD, DAMAGED, DISEASED, DYING, OR HAZARDOUS LIMBS.
EVER COMF DRIP	EVERY EFFORT TO BE MADE BY THE CONTRACTOR TO PREVENT/MINIMIZE COMPACTION OF SOIL IMMEDIATELY OVER THE TREE'S ROOT SYSTEM WITHIN THE DRIP LINE.
CRO T MAI	IF ROOT DAMAGE OCCURS TO AN EXISTING PLANT THAT IS TO REMAIN, THE CROWN OF THE TREE IS TO BE REDUCED THRU SELECTIVE PRUNING DONE IN A MANNER TO MAINTAIN THE NATURAL CHARACTER OF THE PLANT PROPORTIONAL TO THE AMOUNT/DEGREE/PERCENTAGE OF ROOT LOSS.
A B B R F	ALL STUMPS AND OTHER TREE PARTS, LITTER, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE.
PRIO CONT AND	PRIOR TO ANY EXCAVATION FOR THE INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF ANY AND ALL UNDERGROUND UTILITIES.
도유당요요품	THE CONTRACTOR SHALL INSPECT ALL PLANTING AREAS BEFORE ANY TOPSOILING OR PLANTING IS BEGUN TO ENSURE ADEQUATE DRAINAGE EXISTS. IF ANY AREAS TO BE LANDSCAPED SHOW EVIDENCE OF POOR DRAINAGE, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY FOR CORRECTIVE ACTION. ANY PLANT MATERIAL THAT DIES DUE TO POOR OR INADEQUATE DRAINAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
5 A A R	TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE AT LEAST FIVE (5) INCHES OF COVER TO ALL AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING, SODDING, OR PLANTING.
40	ALL LANDSCAPED PARKING AREA ISLANDS AND PARKING/AISLE END PLANTERS TO CONTAIN A TOPSOIL BERM AS DELINEATED ON THE DETAIL.
DRA AH	TOPSOIL SHALL BE IN A NATURAL, FRIABLE TOPSOIL, REPRESENTATIVE OF PRODUCTIVE SOILS IN THE VICINITY. IT SHALL BE OBTAINED FROM WELL—DRAINED AREAS, FREE OF SUBSOIL, FOREIGN MATTER, TOXIC SUBSTANCES AND ANY HARMFUL MATERIAL.
AR EN FIRE	BACKFILL MATERIAL FOR BACKFILLING AROUND TREE/SHRUB BALLS SHALL BE A MIXTURE BY VOLUME OF THE FOLLOWNG MATERIALS IN QUANTITIES SPECIFIED: 1/5 PEAT MOSS, 4/5 TOPSOIL, ADD 15 LBS. OF 20-10-5 FERTILIZER PER CUBIC YARD OF BACKFILL. BACKFILL MATERIAL BY ANALYSIS SHALL HAVE AT LEAST 15% ORGANIC MATTER.
4 ± E Z	ALL PLANT MATERIAL THAT IS TO BE INSTALLED TO BE IN FULL COMPLIANCE WITH THE SPECIFICATIONS CITED IN THE "PLANT LIST". ANY DEVIATION/SUBSTITUTION FROM THE PLANT LIST TO BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO THE PURCHASE OF THE MATERIAL.
A A	ALL LANDSCAPE MATERIALS TO BE OF NURSERY STOCK AND FREE OF INSECTS AND DISEASE.
. ALL OF SPE	ALL TREES, SHRUBS, AND GROUND COVERS TO COMPLY WITH THE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK" AND AS FURTHER SPECIFIED.
. ALL	L TREES TO BE STRAIGHT TRUNKED WITH LEADER(S) INTACT.
. ALL PAR TOP	ALL SHADE AND FLOWERING TREES IMMEDIATELY ADJACENT TO DRIVES AND PARKING AREAS SHALL BE LIMBED UP TO A HEIGHT OF SIX (6) FEET FROM THE TOP OF THE ROOT BALL.
A A	ALL LANDSCAPE BEDS, PLANTED AREAS, AND TREE SAUCERS TO CONTAIN 3" SHREDDED CEDAR BARK MULCH.
목표절	PLANTING BEDS RECEIVING MULCH SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
٦ -	ALL LAWN AREAS TO BE SEEDED.
SRI BRI	PRIOR TO SEEDING, ALL VEGETATION WHICH MIGHT INTERFERE SHALL BE MOWED, GRUBBED, RAKED AND THE DEBRIS REMOVED FROM THE SITE. SEED BEDS SHALL BE THOROUGHLY TILLED TO A DEPTH OF AT LEAST SIX (6) INCHES.
9	PLANT ROOT BALLS AND CONTAINERS TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO INSTALLATION.
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	SHREDDED CEDAR BARK MULCH.	
8	18. PLANTING BEDS RECEIVING MULCH SHALL BE TREATED WITH A PRE-EMER UEBBICINE BEICE TO BLANTING AND MILLOU BLACEMENT ADDITY IN ACCOUNT	15 6
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6	19. ALL LAWN AREAS TO BE SEEDED.	

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9.	19. ALL LAWN AREAS TO BE SEEDED.
20.	20. PRIOR TO SEEDING, ALL VEGETATION WHICH MIGHT INTERFERE SHALL BE MOGRUBBED, RAKED AND THE DEBRIS REMOVED FROM THE SITE. SEED BEDS SEE THOROUGHLY TILLED TO A DEPTH OF AT LEAST SIX (6) INCHES.
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	22. LANDSCAPE TO BE MAINTAINED TO MEET OR EXCEED CURRENT MUNICIPAL MAINTENANCE CODES AND ORDINANCES.	
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(50' R.O.W.) AVENUE

PARK

LANDSCAPE SCALE: 1"=20'

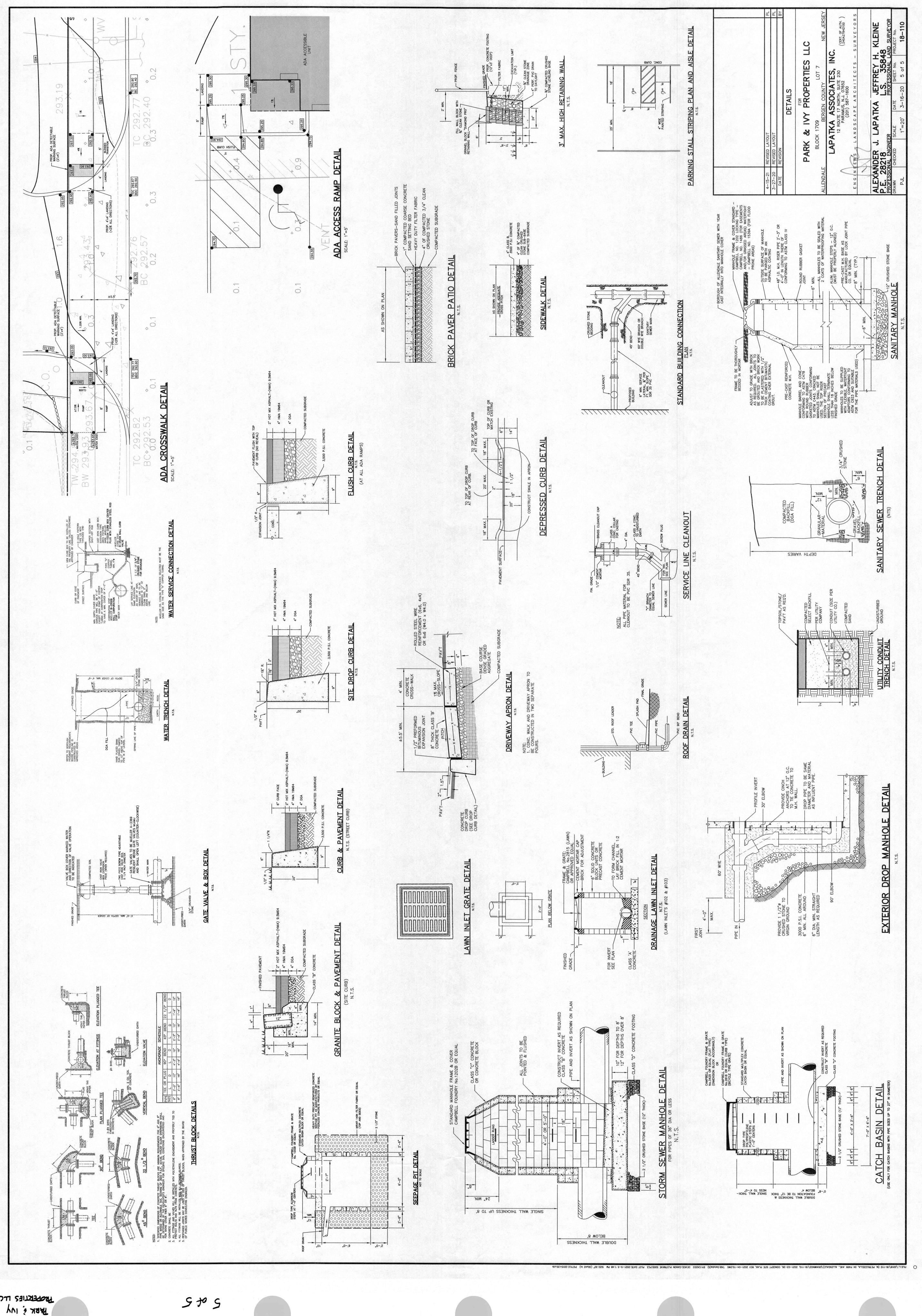
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DETAILS Rev. 4.15.21