

**LAPATKA ASSOCIATES, INC.**

12 Route 17 North, Suite 230

Paramus, NJ 07652

Phone 201-587-1600

Fax 201-587-0063

**LETTER OF TRANSMITTAL**

Date:	06/02/2021	Job #	18-110
Attention:	Linda Garofalo		
Re:	Park & Ivy Properties LLC		
	Block 1709, Lot 7		
	Allendale, Bergen County, NJ		

BOROUGH OF ALLENDALE
500 West Crescent Avenue
Allendale, NJ 07401

WE ARE SENDING YOU  Attached  Under Separate Cover via \_\_\_\_\_, THE FOLLOWING:

Prints  Plans  Specifications  Change Order

Other: \_\_\_\_\_

VIA:  Regular Mail  Overnight FedEx  Hand Delivery

Messenger  Pick Up

# of Copies	Date	Sheet #	Description
17	06/01/2021	1/5	Site Plan (sealed)
17	03/16/2020	2/5	Existing Conditions (sealed)
17	06/01/2021	3/5	Grading & Drainage Plan/Erosion Control Plan/Details (sealed)
17	06/01/2021	4/5	Landscape Plan & Site Lighting Plan (sealed)
17	04/15/2021	5/5	Details (sealed)
17	06/01/2021	1/1	Summary of Site Plan Revisions Memo

THESE ARE TRANSMITTED AS CHECKED BELOW:

For approval  For your use  For review & comment  Prints returned after loaned to us

As requested  As requested by: \_\_\_\_\_

Other \_\_\_\_\_

REMARKS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Copy to: M. Petruzzella (w/ encs.), B. Whitaker, Esq. (w/ encs.)  
Al Lapatka (no enc.) Sent by: Daniel J. LaMothe, PE/sb

**LAPATKA ASSOCIATES, INC.**

12 ROUTE 17 NORTH, SUITE 230  
PARAMUS, N.J. 07652  
(201) 587-1600 FAX: (201) 587-0063

**MEMORANDUM**

**To :** File  
**From:** Dan LaMothe  
**Date:** 6/1/2021

**Re: Park and Ivy**  
**Block 1709 Lot 7**  
**Allendale, NJ**  
**Project # 18-110**

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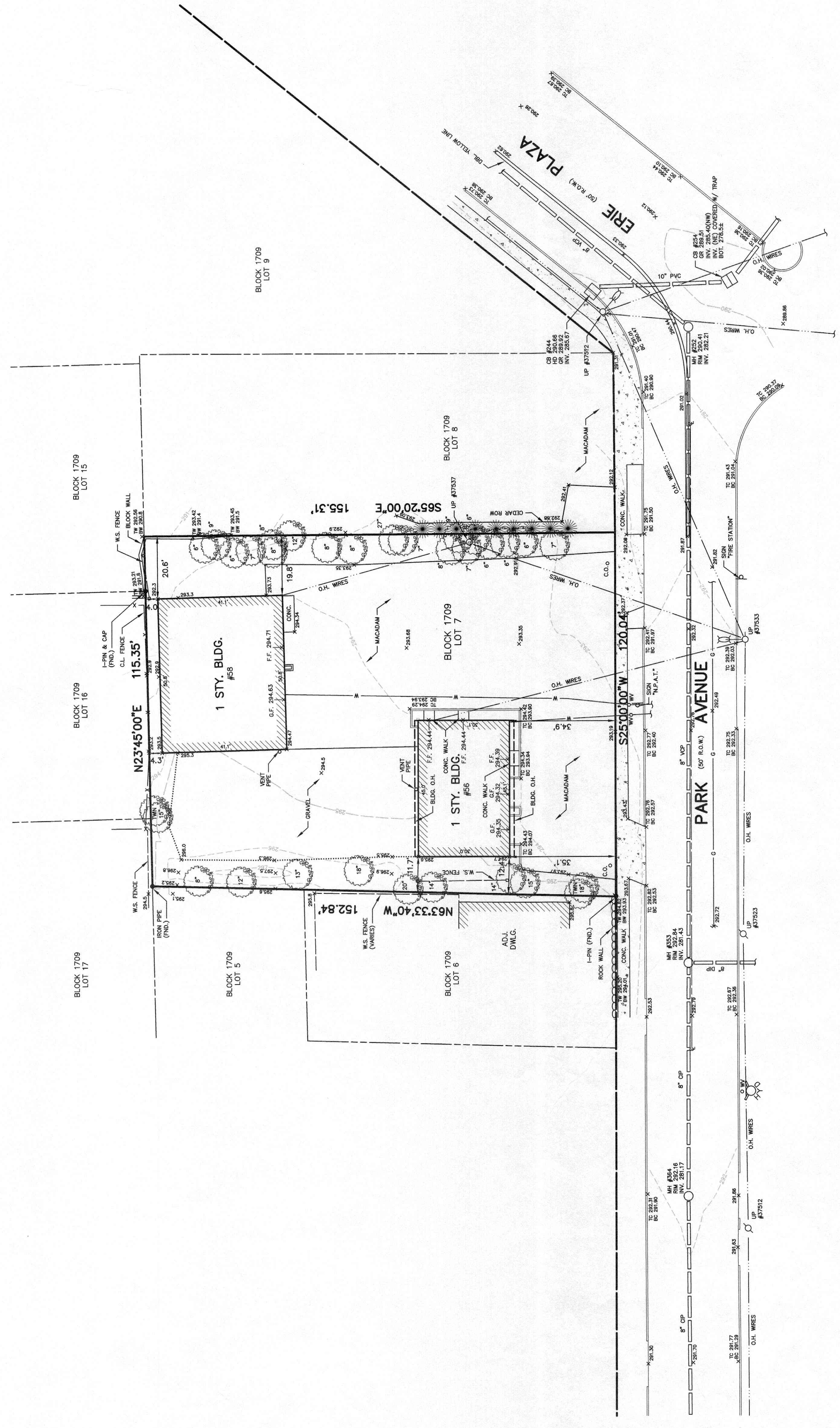
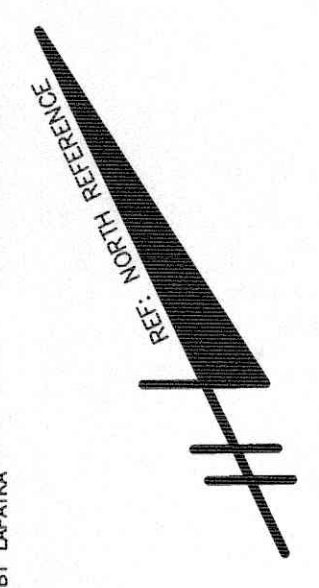
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**Summary of Site Plan Revisions**

1. The number of Townhouse units were reduced from 6 units to 5 units.
2. The width of the individual units were widened from 18.33 ft. to 22 ft. The overall building length and depth has not changed.
3. A new door and walkway was added to the South side of the building.
4. The buildings northerly side yard was increased from 15 ft. to 16 ft.
5. The proposed height of the building was reduced from 39.5 ft. to 35 ft. (4.5 ft. reduction).
6. The size of the proposed patios for the individual units was reduced from 10 ft. wide x 10 ft. deep to 10 ft. wide x 8 ft. deep. Setback from the patio to the property line was increased from 5 ft. to 8 ft.
7. A new retaining wall is proposed at the northwest corner of the site. The wall will replace an existing wall that is in disrepair.
8. The parking lot layout was modified to increase the width landscaping area along the southerly property line by 2 ft. and the northerly property line by approximately 16 ft.
9. The number of parking spaces was reduced from 18 (# of required spaces also reduced)
10. An area for individual unit trash cans was added near the garage of each unit to better facilitate trash collection that will be done by a private hauler.
11. Overall imperious coverage was reduced from 66.2 % to 62% coverage.
12. The drainage system designed was revised.
  - \* New lawn inlets are proposed along the site perimeter of the site to ensure no runoff flows to adjacent properties.
  - \* A new manhole and catch basin added in Park Avenue to provide a piped connection to the
  - \* A new catch basin was added to collect runoff from the proposed driveway.
13. The landscaping design was revised to add additional trees added to increase buffering to adjacent lots.
14. The lighting design was modified to eliminate one of the site poles and to provide lights on the garages to minimize light levels near adjacent properties. The light fixture was also modified to propose a LED fixture that has better light control.
15. Details of the ADA sidewalk ramps have also been added to the plans.



**SURVEY NOTES AND REFERENCES:**  
 1. SURVEY INFORMATION OBTAINED FROM A CERTAIN SOURCE IS SHOWN AS SUCH AND IS NOT GUARANTEED BY LAPATKA ASSOCIATES, INC. DATED 5-1-16.  
 2. ELEVATIONS SHOWN HEREON ARE IN NAVD 1988 DATUM.



DATE	REVISION	BY



**EXISTING CONDITIONS**

FOR  
**PARK & IVY PROPERTIES LLC**  
 BLOCK 1709 LOT 7 NEW JERSEY  
**LAPATKA ASSOCIATES, INC.**  
 12 HIGHLAND DRIVE, SUITE 230  
 HIGHLAND PARK, NJ 07030  
 (201) 587-1600  
 ENGINEERS - LANDSCAPE ARCHITECTS - SURVEYORS  
**ALEXANDER J. LAPATKA** **JEFFREY H. KLEINE**  
**P.E. 28218** **L.S. 35848**  
 PROFESSIONAL LAND SURVEYOR  
 DRAWN: [Signature] CHECKED: [Signature] SCALE: 1"=20' DATE: 3-16-20 SHEET NO.: 2 of 5 PROJECT NO.: 18-110

18-110 EXISTING CONDITIONS 3.16.20 2 of 5 Park & Ivy

**SURVEY NOTES AND REFERENCES:**

1. SURVEY INFORMATION SHOWN HEREON IS BASED ON A CURRENT MAP DATED 5-1-16, "GENERAL SURVEY, NEW JERSEY, TO BE BOUNDARY OF A QUARTER SECTION, TOWNSHIP 4 NORTH, RANGE 2 WEST, COUNTY OF BERGEN, NEW JERSEY," AS SHOWN ON SHEET 3 OF 5.
2. ELEVATIONS SHOWN ARE IN NAVD 1988 DATUM.

**NOTES:**

1. ALL CONSTRUCTION ON SITE TO CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SEWER MAINS AS SET FORTH IN THE BERGEN COUNTY DEPARTMENT OF PUBLIC WORKS AND ENGINEERING DESIGN MANUAL FOR SEWER MAINS.
2. ALL SANITARY SEWER PIPE SHALL BE SDR 35 PVC PIPE.
3. ALL SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BERGEN COUNTY DEPARTMENT OF PUBLIC WORKS AND ENGINEERING DESIGN MANUAL FOR SEWER MAINS, WITH THE FOLLOWING EXCEPTIONS: MANHOLES SHALL BE CONSTRUCTED WITH 18" DIAMETER, 48" HIGH, WITH A MINIMUM OF 18" OF COVER. MANHOLES SHALL BE CONSTRUCTED WITH 18" DIAMETER, 48" HIGH, WITH A MINIMUM OF 18" OF COVER. MANHOLES SHALL BE CONSTRUCTED WITH 18" DIAMETER, 48" HIGH, WITH A MINIMUM OF 18" OF COVER.
4. LOCATION OF UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. PRIOR TO ANY COMMENCING CONSTRUCTION, CONTRACTORS SHALL INVESTIGATE AND LOCATE ALL UTILITIES AND CLEARANCES AT CROSSING. TEST HOLES MAY BE NECESSARY. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
5. LAYOUT FOR THE PROPOSED NEW UTILITIES TO BE COORDINATED WITH THE EXISTING UTILITIES AND TO BE SHOWN ON THE PLAN.
6. CONTRACTOR SHALL CALL GARDEN STATE LOCATOR SERVICE (1-800-362-1450) IN ADVANCE OF BEGINNING ANY ACTIVITY ON THIS SITE AND IN ACCORDANCE WITH STATUTORY REQUIREMENTS.
7. CONTRACTOR TO COORDINATE WITH ALLENDALE WATER DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS AND ENGINEERING REGARDING PROPOSED MAIN LOCATIONS, HET PPS, SERVICE ALTERATIONS AND SHUTTERS, ETC.
8. ALL UTILITIES AND THEIR SERVICE LINES, INCLUDING ELECTRIC, TELEPHONE AND CABLE SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED AND PRIOR TO THE CONSTRUCTION OF THE FOUNDATION AND FOOTING.
9. LOCATION OF ROOF DRAINS AND LEADERS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
11. AS-BUILT DRAWINGS OF THE INSTALLED WATER AND SEWER FACILITIES SHOWING THE EXACT NUMBER, LOCATION AND SIZE OF ROOF DRAINS AND LEADERS TO BE INSTALLED SHALL BE PROVIDED TO THE DEPARTMENT OF ALLENDALE AS-BUILT DRAWINGS SHALL CONFORM TO BERGEN COUNTY STANDARDS.
12. A PRESSURE REDUCING VALVE (PRV) SHALL BE INSTALLED ON THE WATER SERVICE CO. SERVICES USED WITH THERMAL EXPANSION BYPASS, OR APPROVED EQUIVALENT. THE PRV SHALL BE INSTALLED UPSTREAM OF THE WATER METER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE BERGEN COUNTY STANDARDS. THE PRV SHALL BE INSTALLED IN ACCORDANCE WITH THE BERGEN COUNTY STANDARDS.
13. ALL WATER SERVICE LINES TO INDIVIDUAL TOWNHOUSES ARE TO BE 1" COPPER SERVICE LINES AND TO BE A DIRECT TAP TO THE MAIN.
14. THE EXISTING WATER SERVICE IS TO BE TURNED OFF AT THE WATER MAIN CONNECTION.
15. THE INSTALLATION, TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF ADEPT, CURRENT AWWA STANDARDS AND THE REQUIREMENTS OF THE BERGEN COUNTY DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
16. AFTER THE MAINS HAVE BEEN SATISFACTORILY DISINTEGRATED, NEUTRALIZED AND DECONTAMINATED, THE MAINS SHALL BE REINSTALLED AND THE MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE BERGEN COUNTY STANDARDS. THE MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE BERGEN COUNTY STANDARDS.
17. THE MINIMUM COVER FOR ALL WATER MAINS SHALL BE 4 FEET. THE MAXIMUM COVER FOR ALL WATER MAINS SHALL BE 5 FEET, EXCEPT WHERE CROSSING NECESSITIES REQUIRE OTHERWISE.
18. ALL BRASS FITTINGS MUST BE LEAD FREE.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
20. PRIOR TO DEMOLITION OF EXISTING BUILDINGS, THE STRUCTURES SHALL BE INSPECTED BY AN INDEPENDENT ENVIRONMENTAL CONSULTANT WHO SHALL CERTIFY IN WRITING TO THE BOARD OF HEALTH THAT THE BUILDINGS ARE FREE OF ROBOT INFESTATION.
21. PRIOR TO DEMOLITION, THE EXISTING BUILDINGS MUST BE SERVICED BY A LICENSED PROFESSIONAL ROBOT CONTROL SERVICES SHALL BE PROVIDED BY THE CONTRACTOR.
22. ORDERING PROFESSIONAL ROBOT CONTROL SERVICES SHALL BE PROVIDED BY THE CONTRACTOR.
23. ANY ORDERING PROFESSIONAL ROBOT CONTROL SERVICES SHALL BE PROVIDED BY THE CONTRACTOR.
24. CONTRACTOR SHALL PROVIDE SUMP PUMPS AND/OR FOOTING DRAINS AS REQUIRED BY CONDITIONS IN THE FIELD.
25. 3/4" (3/4" DIAMETER) SANITARY MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE BERGEN COUNTY STANDARDS. THE SANITARY MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE BERGEN COUNTY STANDARDS. THE SANITARY MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE BERGEN COUNTY STANDARDS.
26. LOCATION OF ROOF DRAINS AND SEEPAGE PITS ARE ONLY APPROXIMATE. FINAL LOCATIONS ARE TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
27. PROPOSED BUILDING ROOF DRAIN SYSTEM IS TO INCLUDE GUTTER GUARDS TO MINIMIZE DEBRIS FROM ENTERING DRAINAGE SYSTEM.

**BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW CONSTRUCTION, AS SET FORTH IN THE BERGEN COUNTY DEPARTMENT OF PUBLIC WORKS AND ENGINEERING DESIGN MANUAL FOR SOIL EROSION AND SEDIMENT CONTROL.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA SHALL BE SEEDING AND MULCHING. THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA SHALL BE SEEDING AND MULCHING. THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA SHALL BE SEEDING AND MULCHING.
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH TO PROVIDE EROSION CONTROL, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
4. STABILIZATION SPECIFICATIONS:
  - A. TOPSOIL SEEDING AND MULCHING:
    - GROUND LIME/STONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
    - FERTILIZER - APPLY 100 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO TOPSOIL TO A UNIFORM DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED.
    - FERTILIZER - APPLY 100 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO TOPSOIL TO A UNIFORM DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED.
    - SEED - THREE TYPE TALL FESCUE (BLENDED OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDING REQUIRES IRRIGATION). A RATE OF 70 TO 90 LBS./1,000 SF (APPLIED TO ACHIEVE 90% SOIL SURFACE COVERAGE) MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. FEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
    - PERMANENT SEEDING AND MULCHING:
      - SEED - THREE TYPE TALL FESCUE (BLENDED OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDING REQUIRES IRRIGATION). A RATE OF 70 TO 90 LBS./1,000 SF (APPLIED TO ACHIEVE 90% SOIL SURFACE COVERAGE) MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. FEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
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**CONSTRUCTION SEQUENCE:**

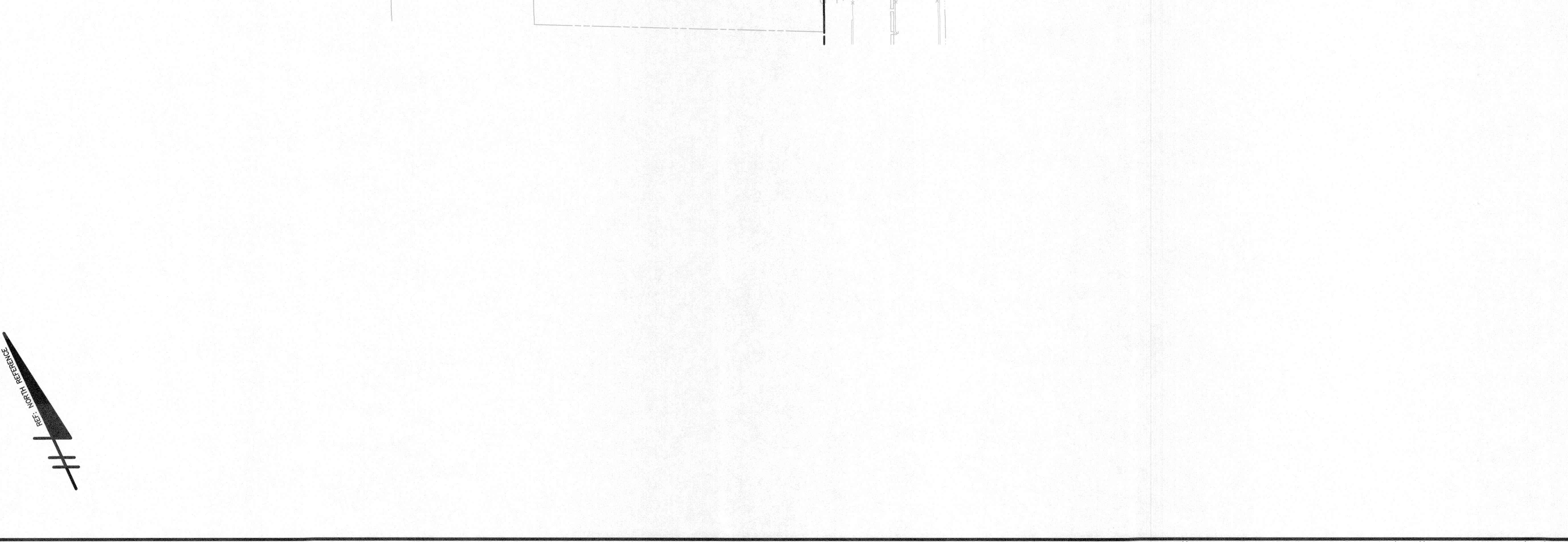
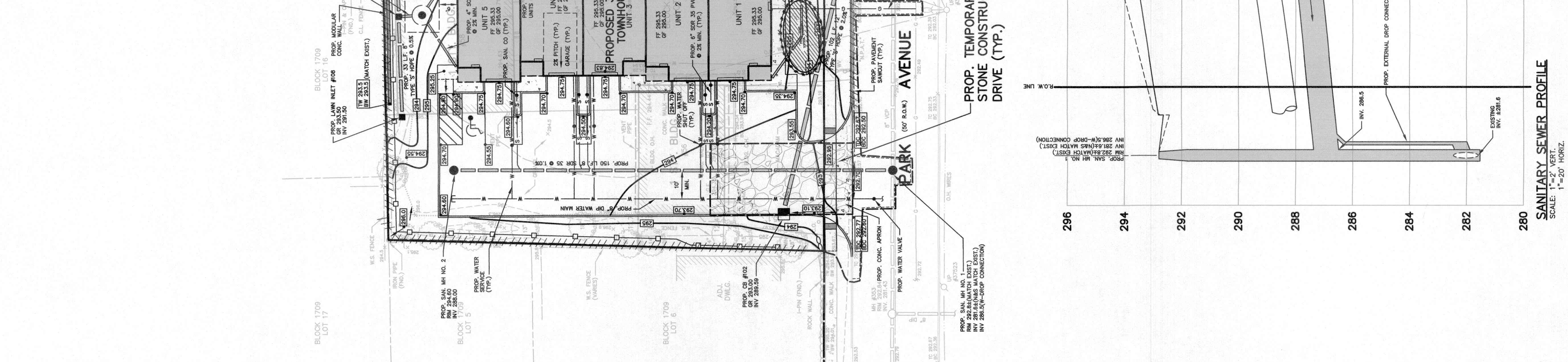
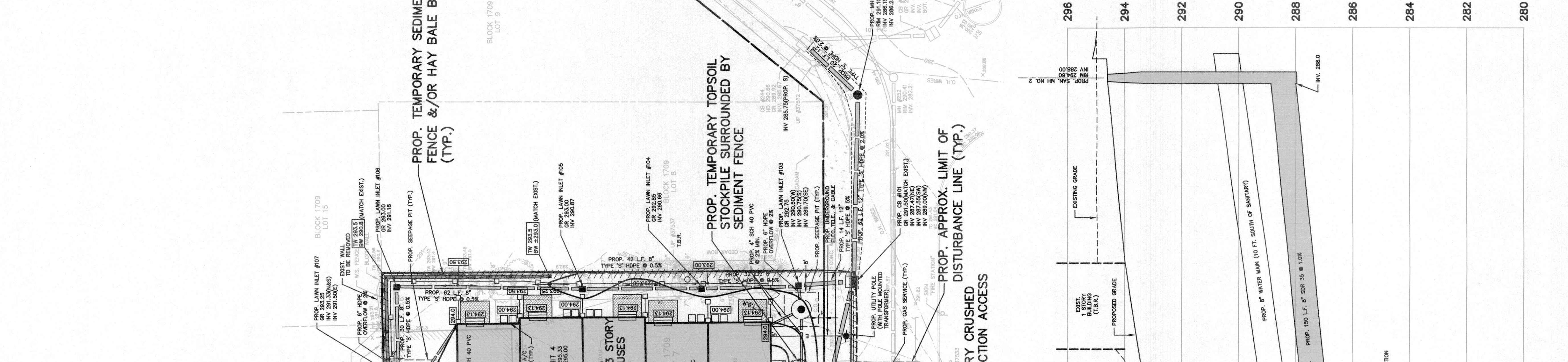
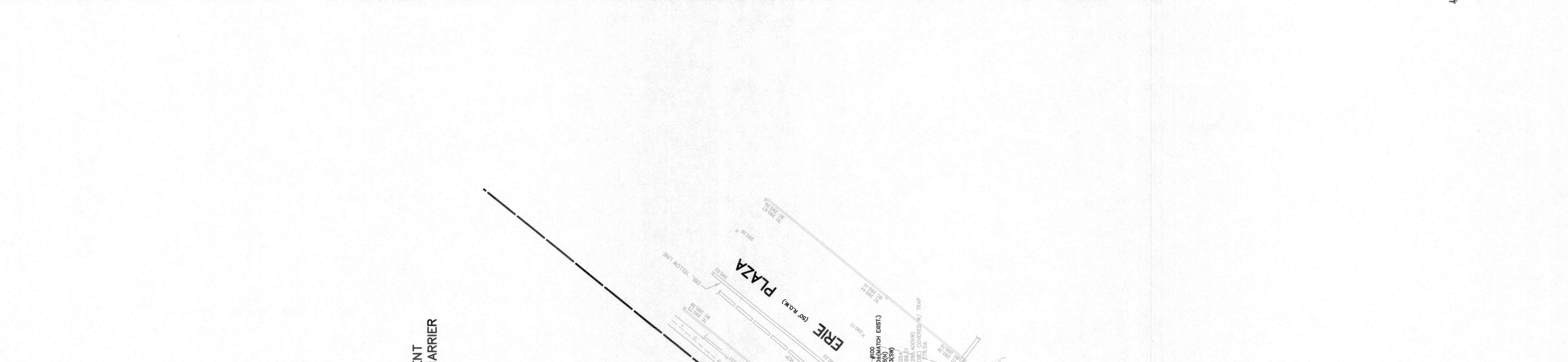
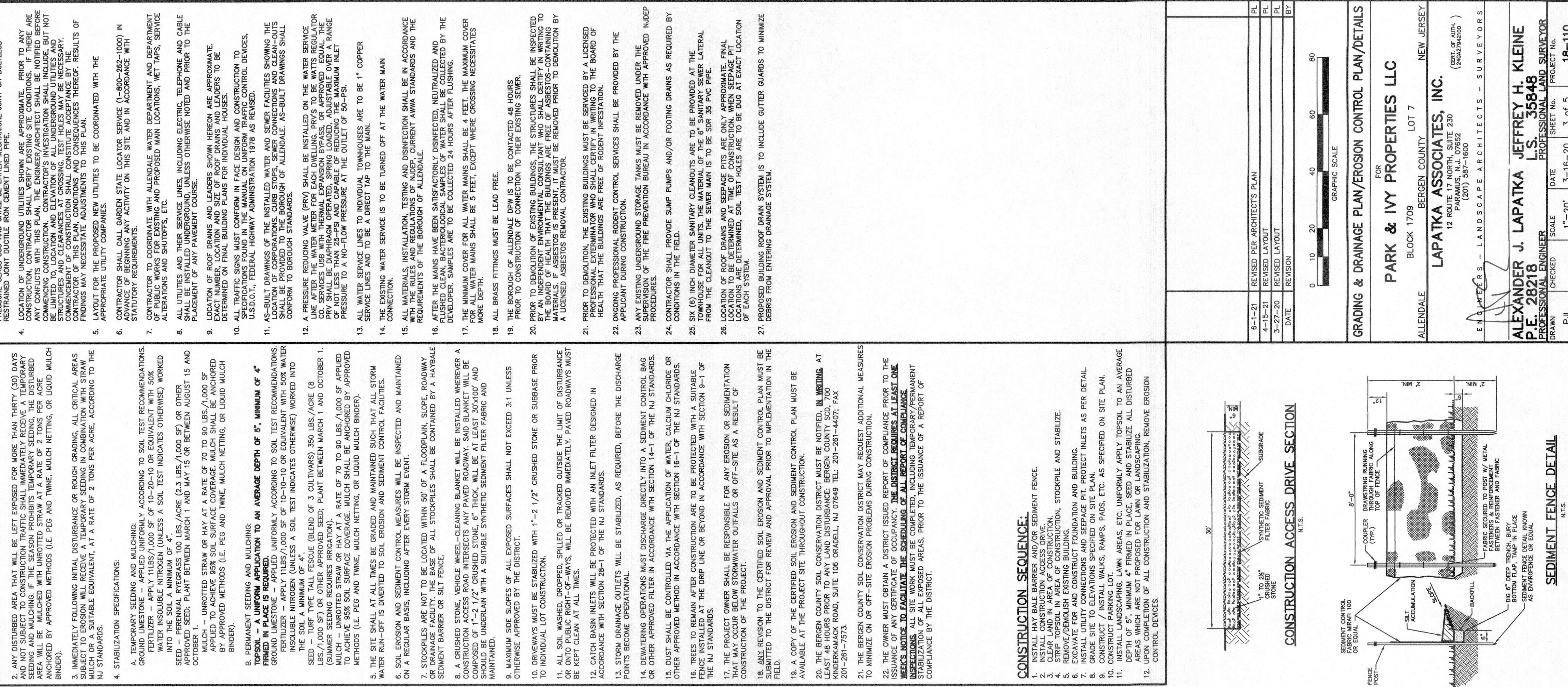
1. INSTALL HAY BALE BARRIER AND/OR SEDIMENT FENCE.
2. CLEAR AND GRASS EXPOSED AREAS.
3. STRIP TOPSOIL IN AREA OF CONSTRUCTION, STOCKPILE AND STABILIZE.
4. EXCAVATE FOR AND CONSTRUCT FOUNDATION AND BUILDING.
5. EXCAVATE FOR AND CONSTRUCT FOUNDATION AND BUILDING.
6. EXCAVATE FOR AND CONSTRUCT FOUNDATION AND BUILDING.
7. INSTALL UTILITY CONNECTIONS AND SEWAGE PITS. PROTECT INLETS AS PER DETAIL.
8. CONSTRUCT / INSTALL WALKS, RAMPS, PATHS, ETC. AS SPECIFIED ON SITE PLAN.
9. CONSTRUCT / INSTALL WALKS, RAMPS, PATHS, ETC. AS SPECIFIED ON SITE PLAN.
10. CONSTRUCT PAVING LOT, DRIVEWAYS, ETC. UNLESS OTHERWISE SPECIFIED ON SITE PLAN.
11. CONSTRUCT PAVING LOT, DRIVEWAYS, ETC. UNLESS OTHERWISE SPECIFIED ON SITE PLAN.
12. UPON COMPLETION OF ALL CONSTRUCTION AND STABILIZATION, REMOVE EROSION CONTROL DEVICES.

**CONSTRUCTION ACCESS DRIVE SECTION**

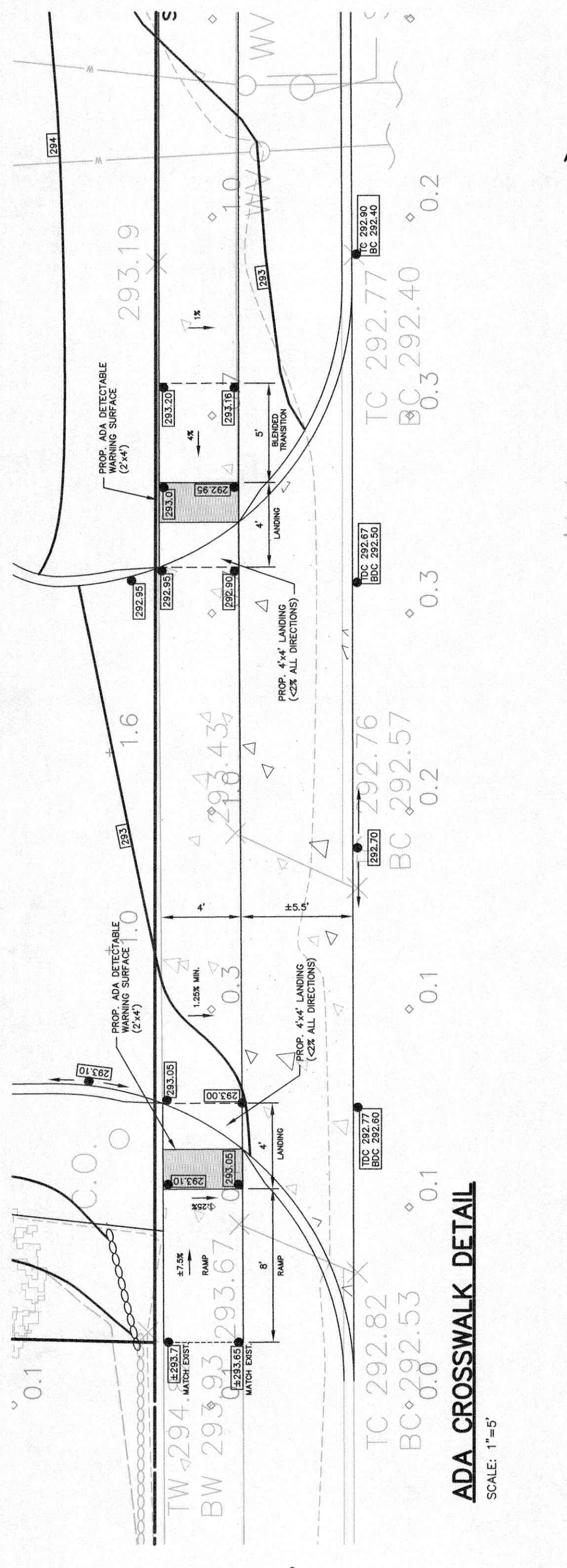
**SEDIMENT FENCE DETAIL**

**CONSTRUCTION SEQUENCE:**

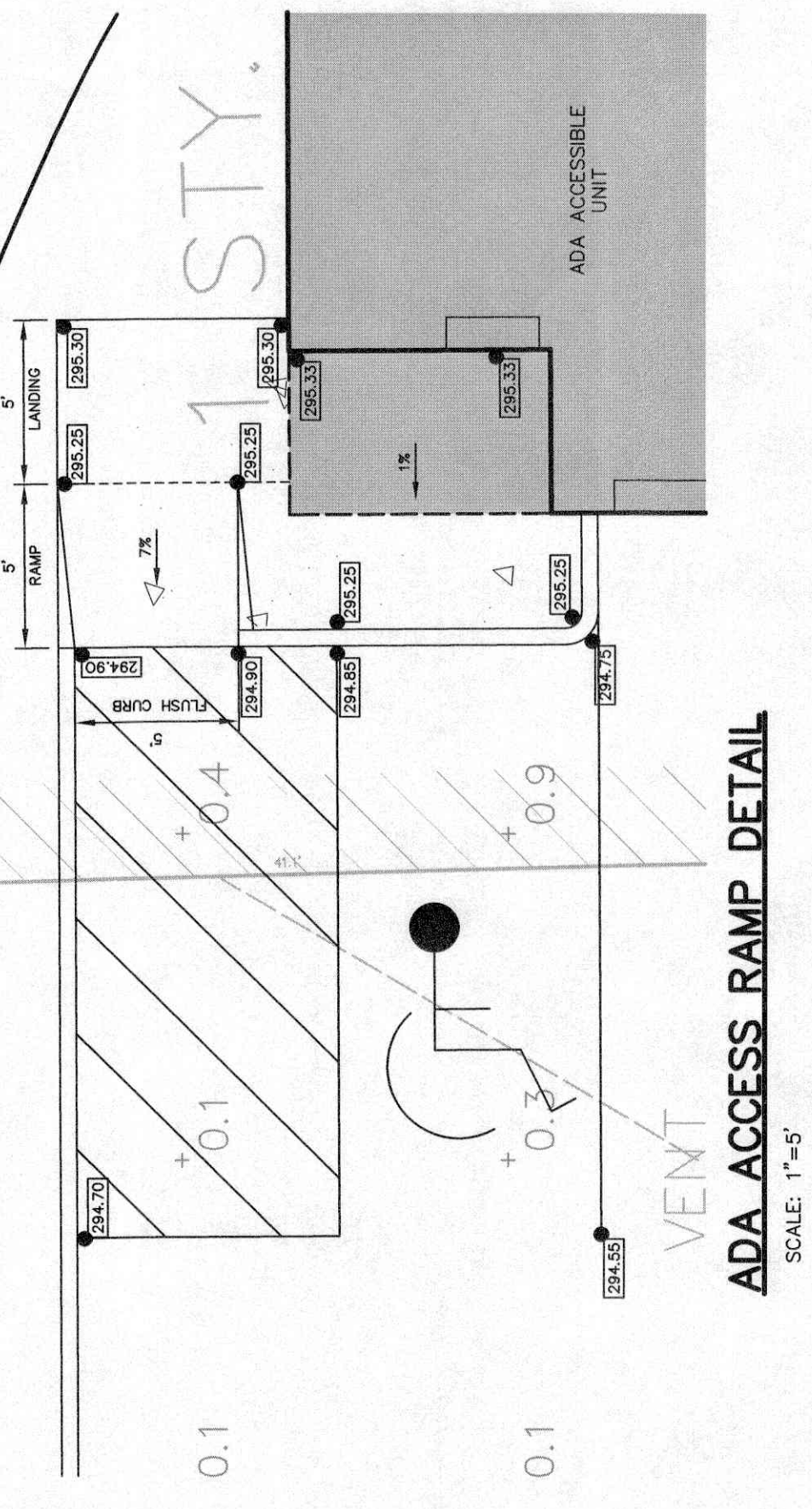
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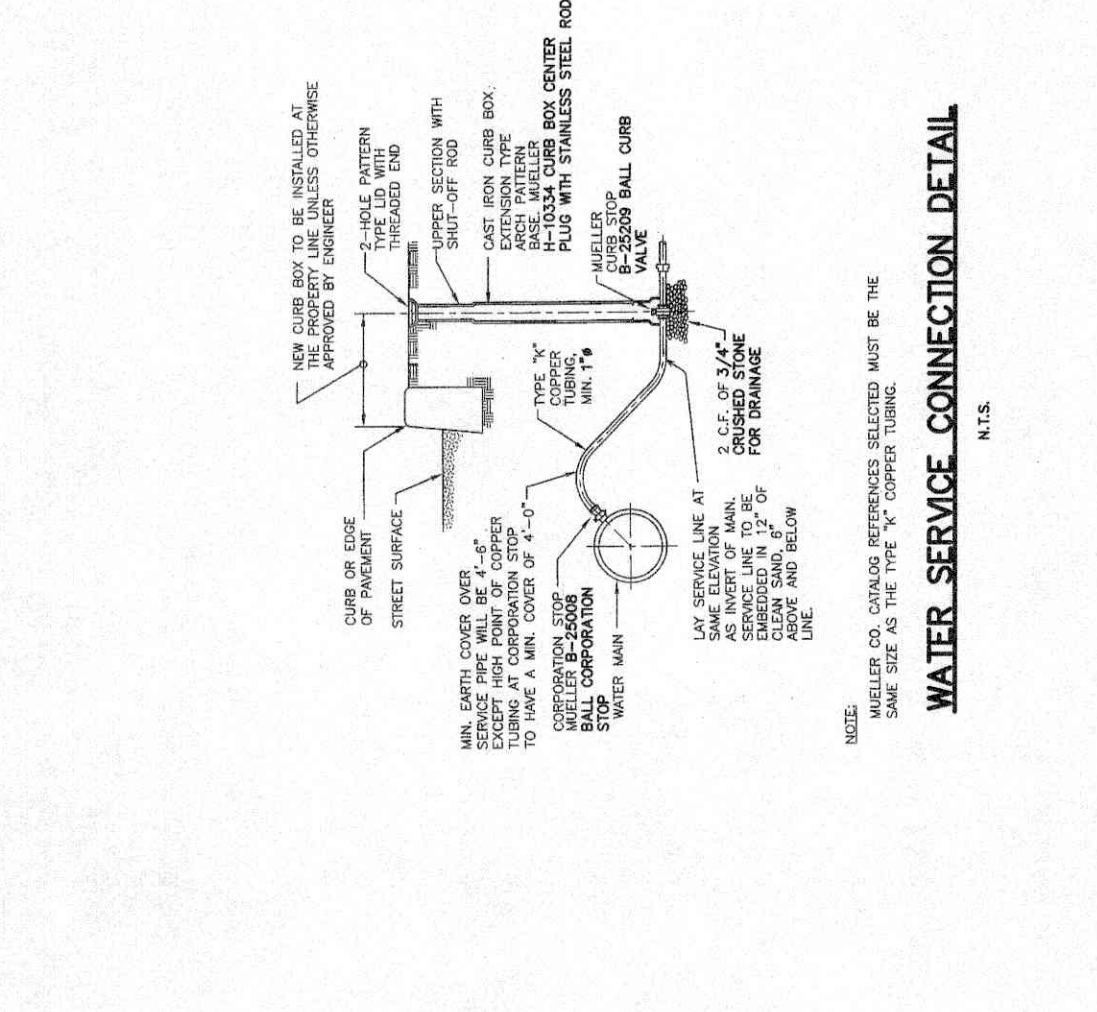




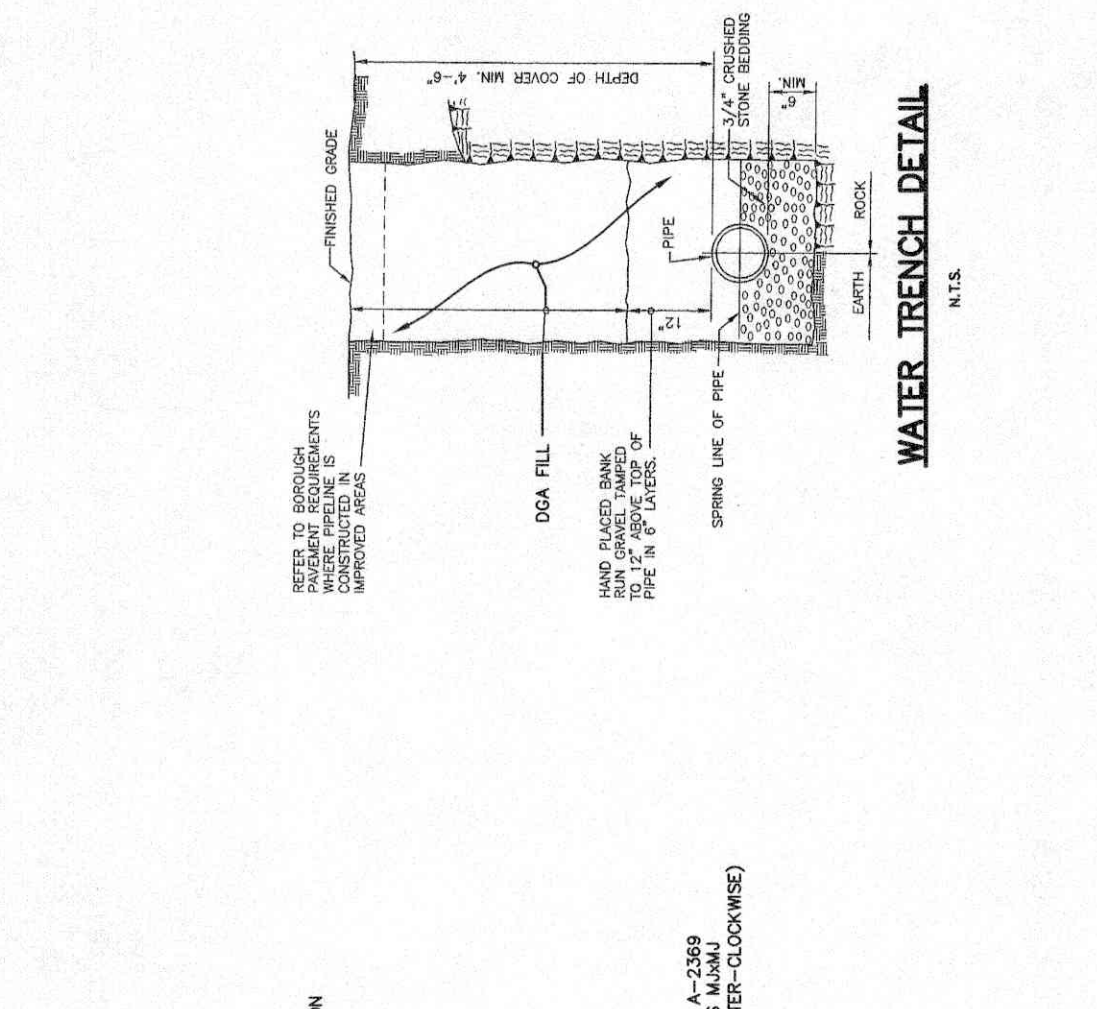
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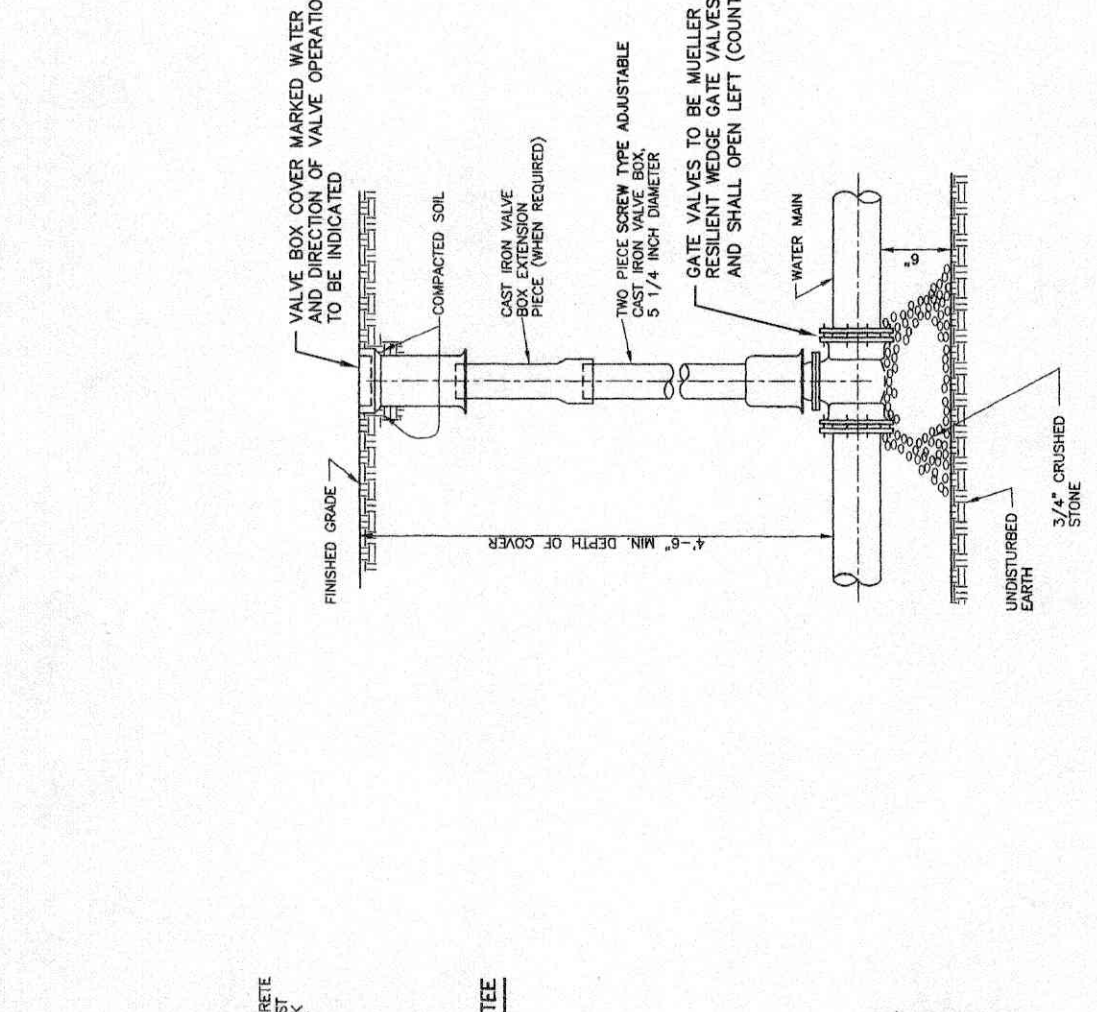
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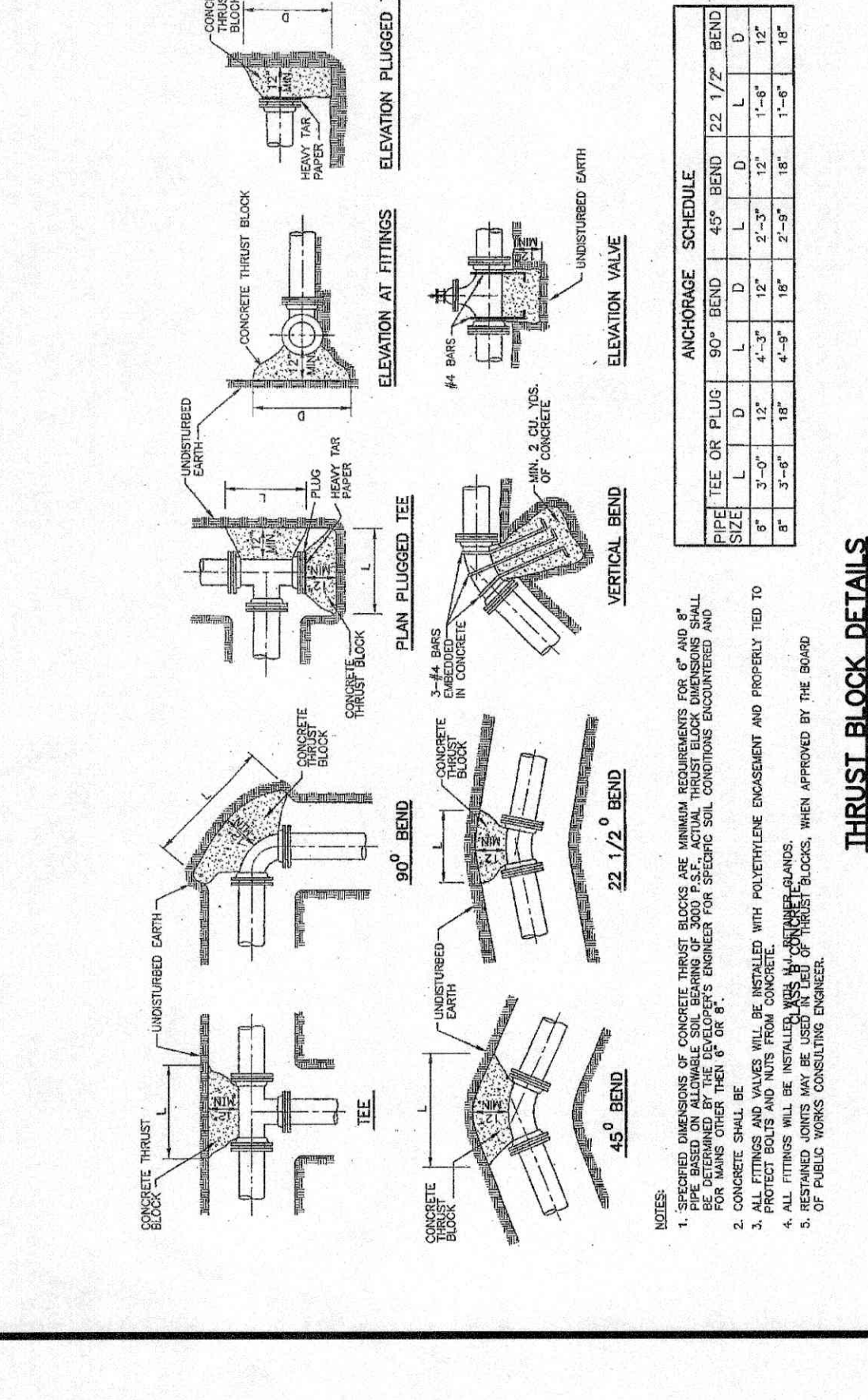
WATER SERVICE CONNECTION DETAIL  
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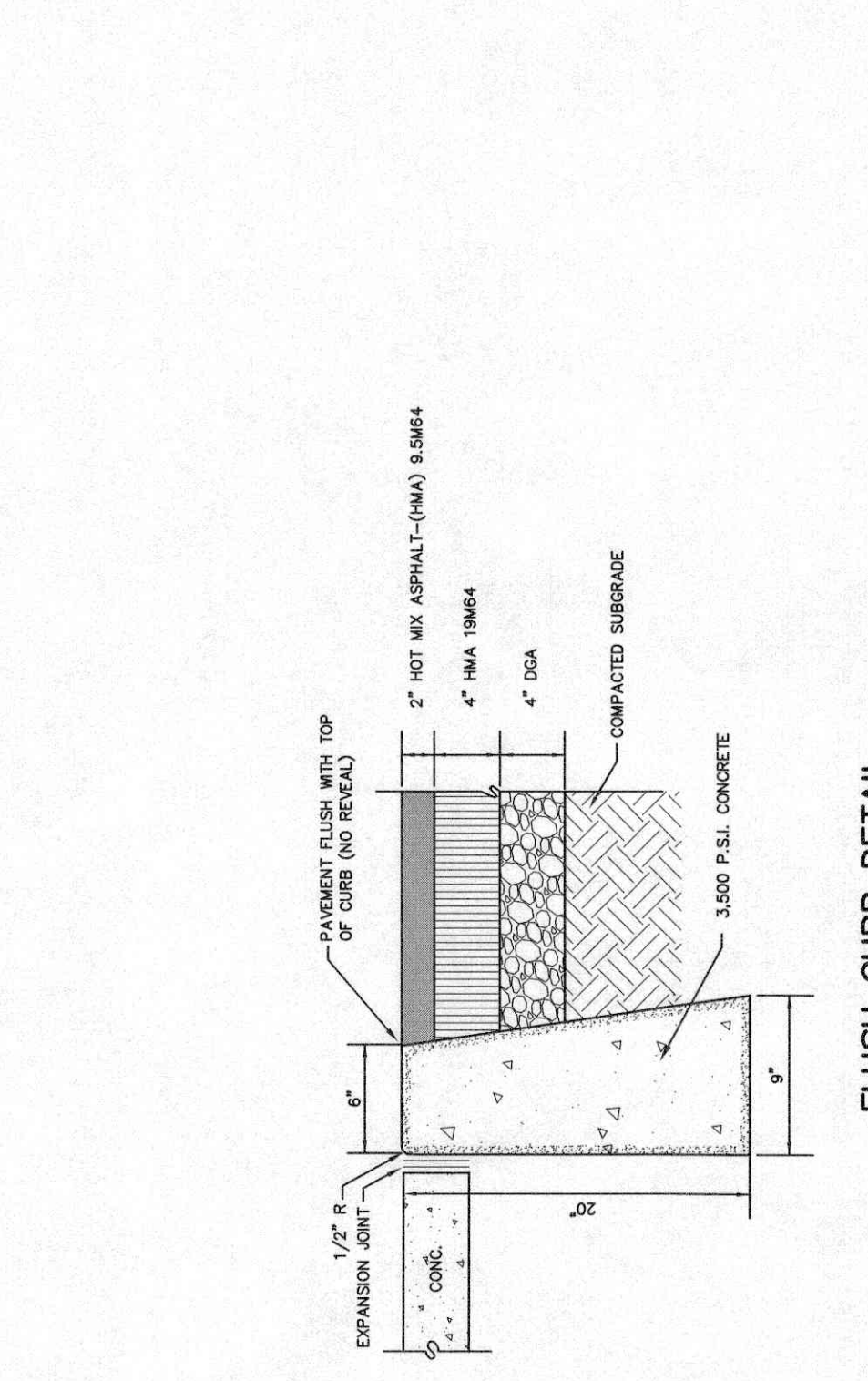
WATER TRENCH DETAIL  
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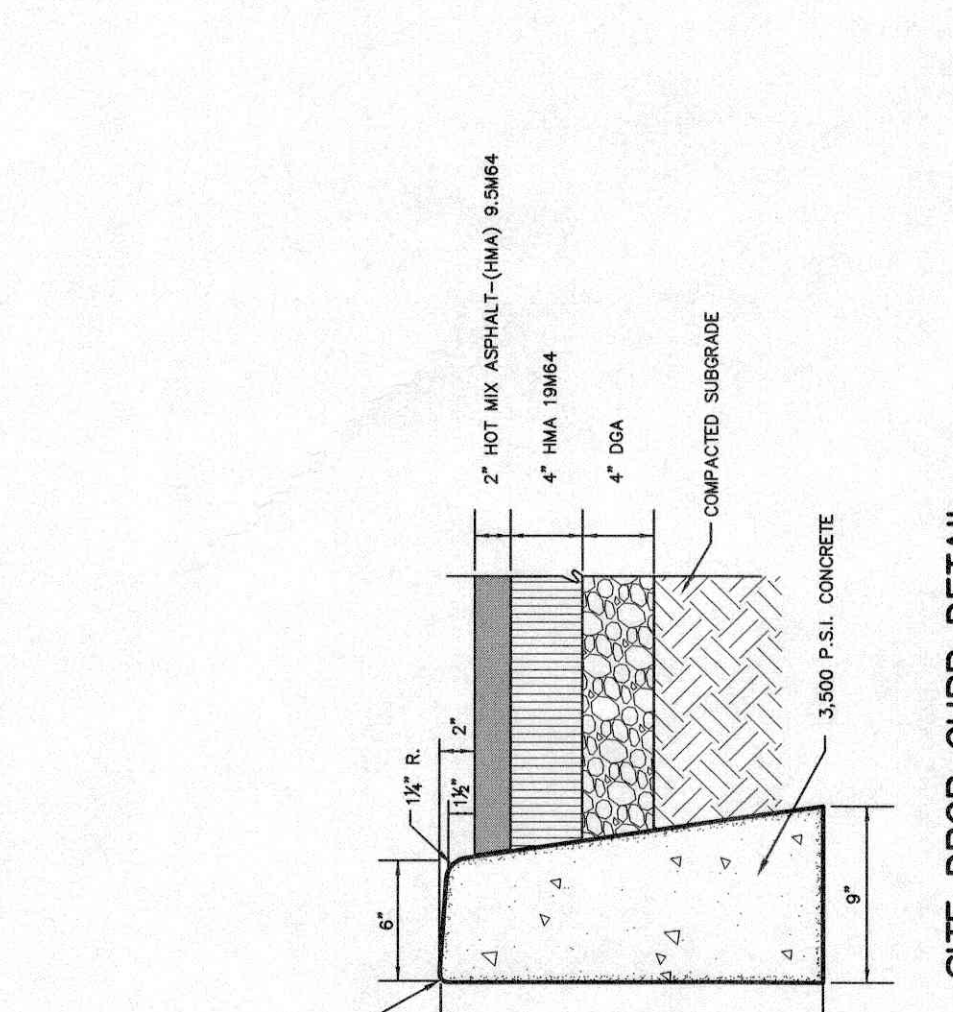
GATE VALVE & BOX DETAIL  
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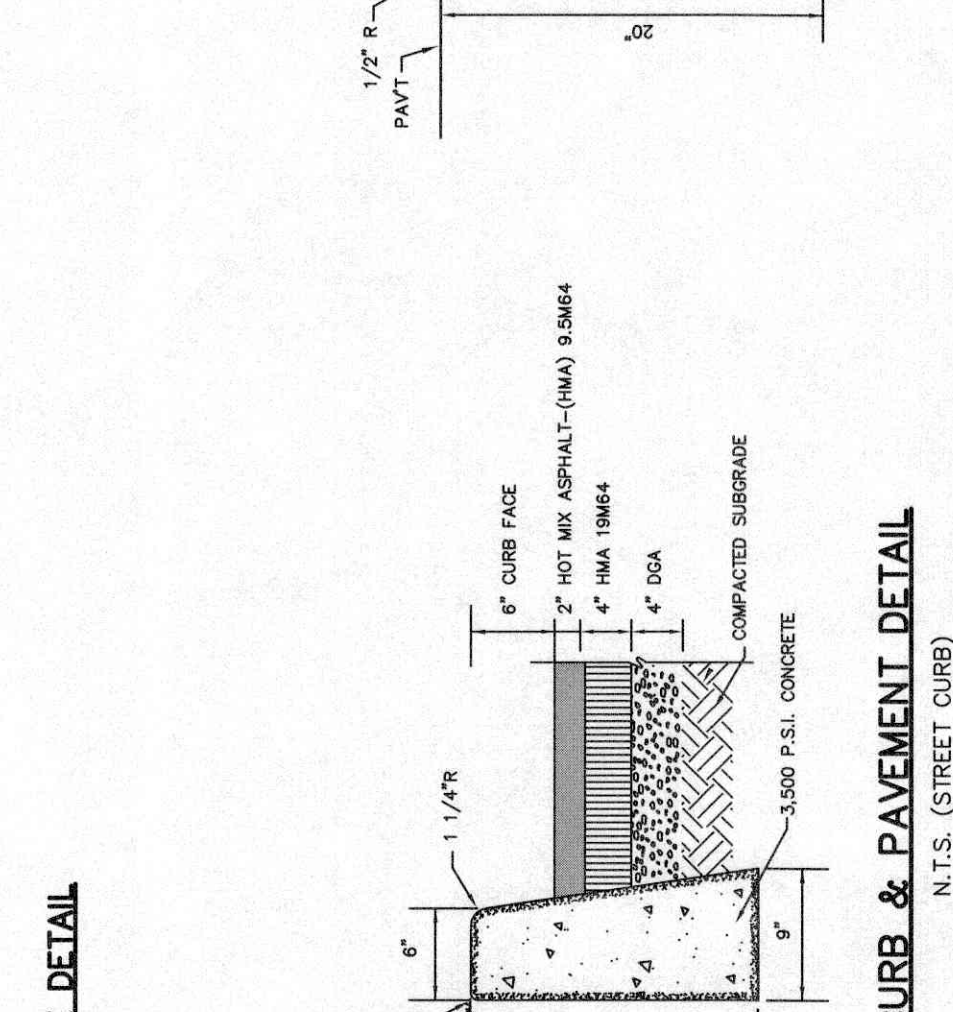
THRUST BLOCK DETAILS  
N.T.S.



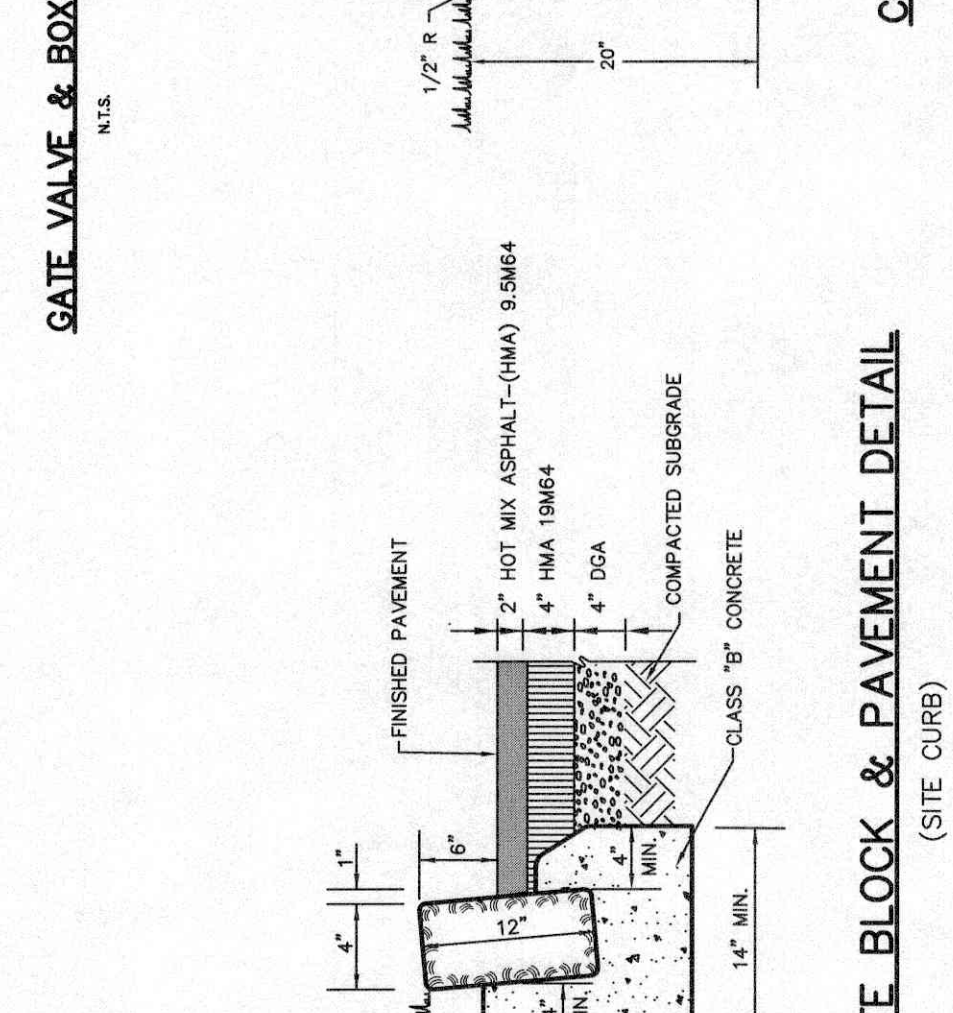
BRICK PAVER PATIO DETAIL  
N.T.S.



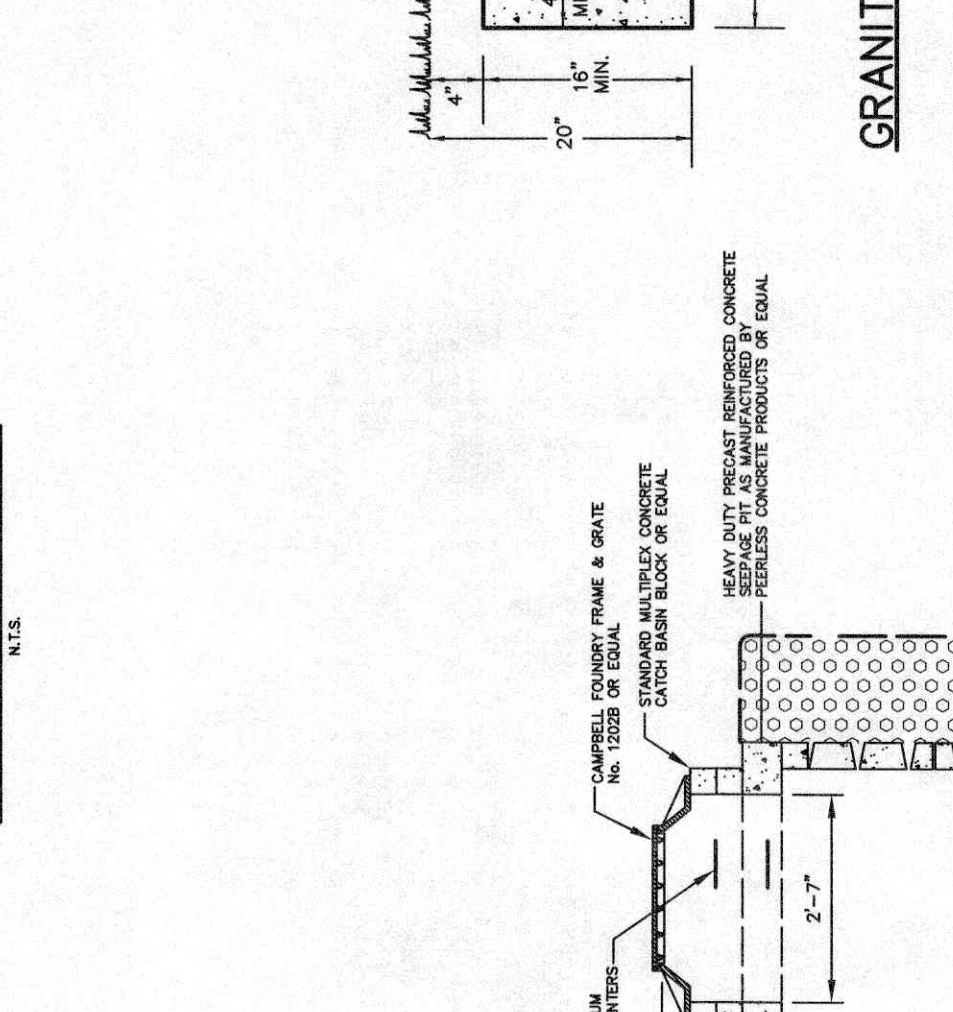
ELUSH CURB DETAIL  
(AT ALL ADA RAMP)



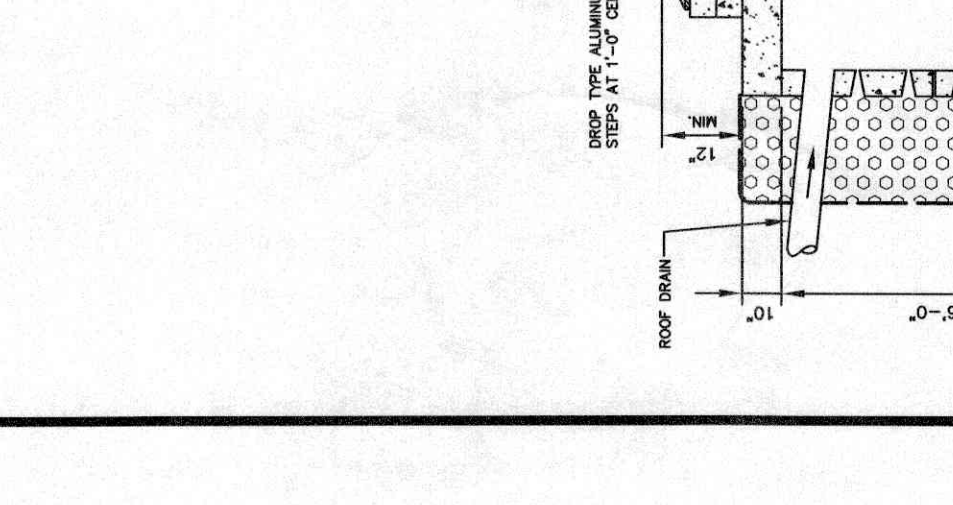
SITE DROP CURB DETAIL  
N.T.S.



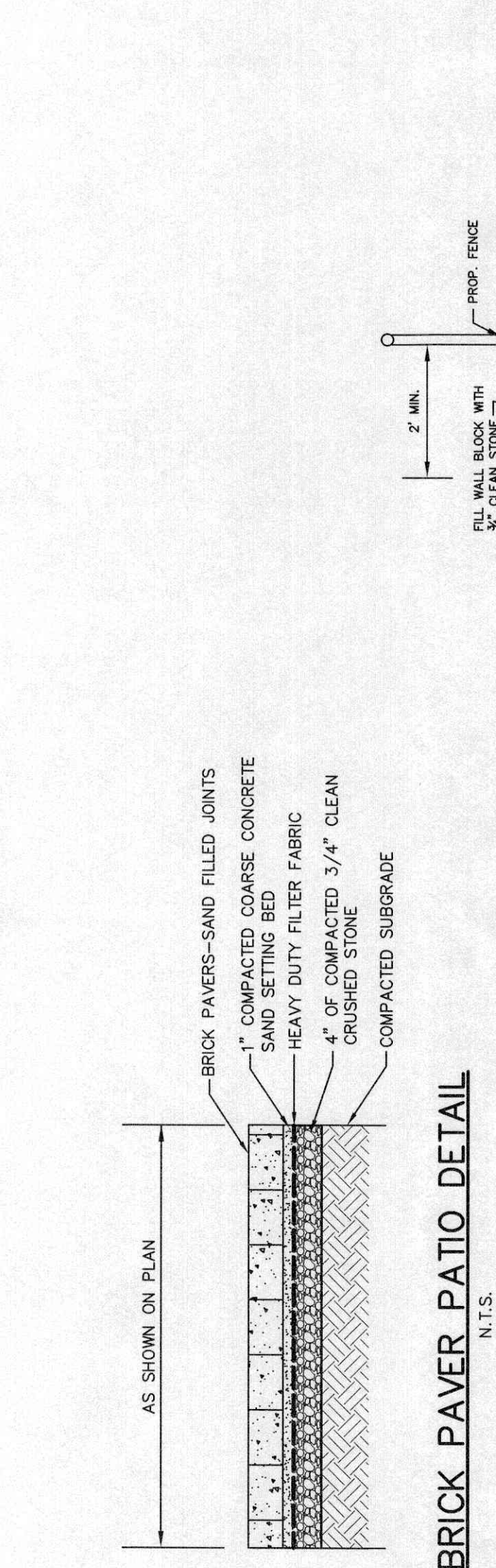
CURB & PAVEMENT DETAIL  
N.T.S. (SHEET CURB)



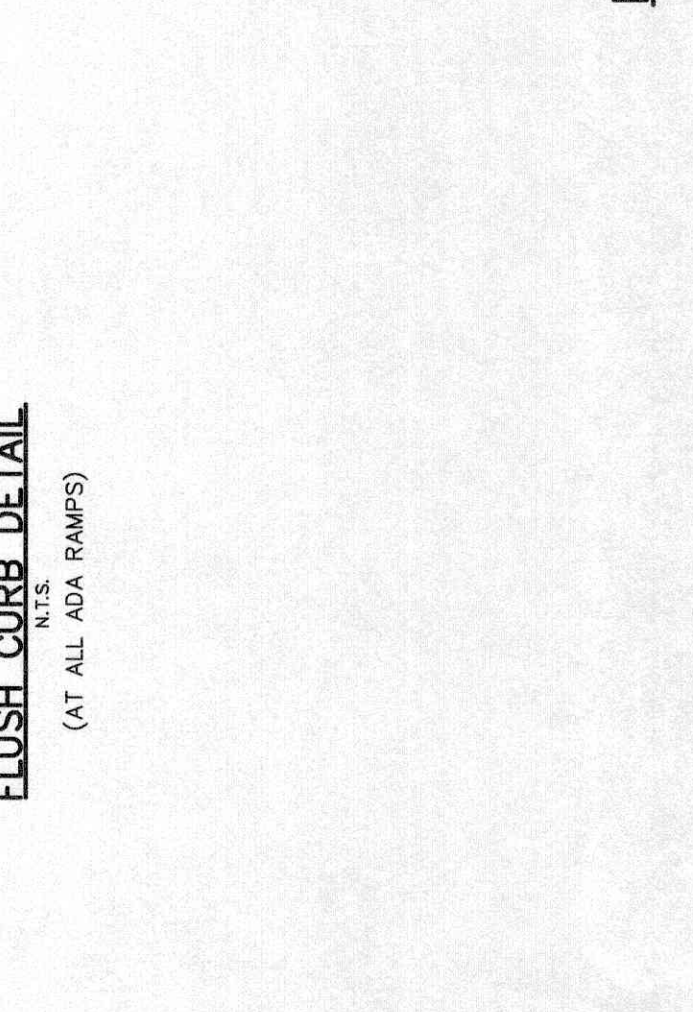
GRANITE BLOCK & PAVEMENT DETAIL  
N.T.S. (SITE CURB)



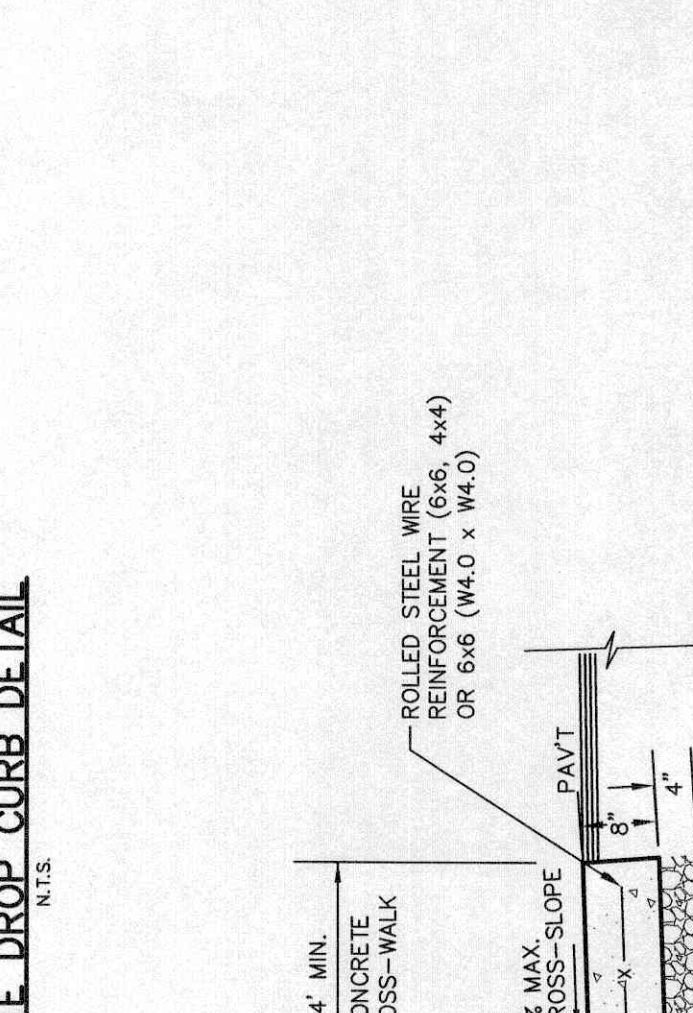
SEEPAGE PIT DETAIL  
NOT TO SCALE



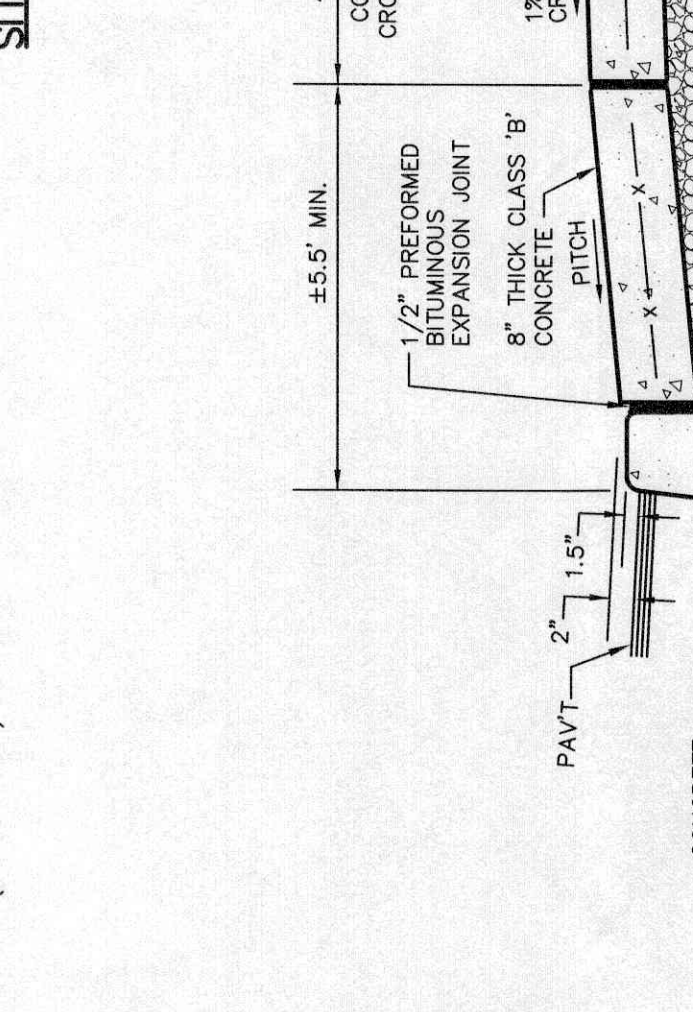
3' MAX. HIGH RETAINING WALL  
N.T.S.



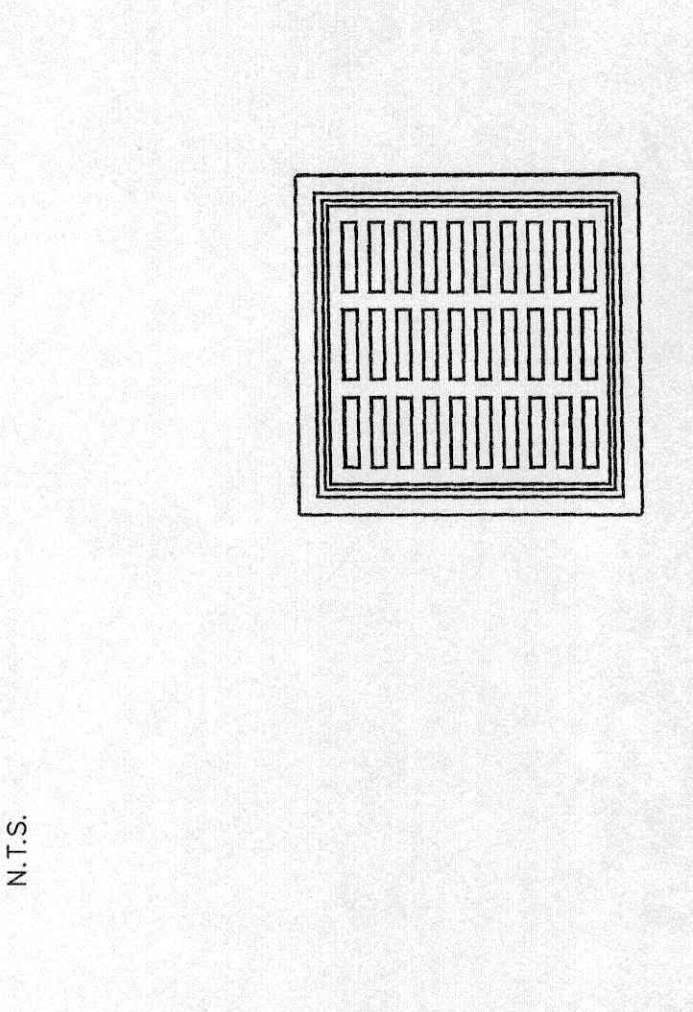
STANDARD BUILDING CONNECTION  
PLAN  
N.T.S.



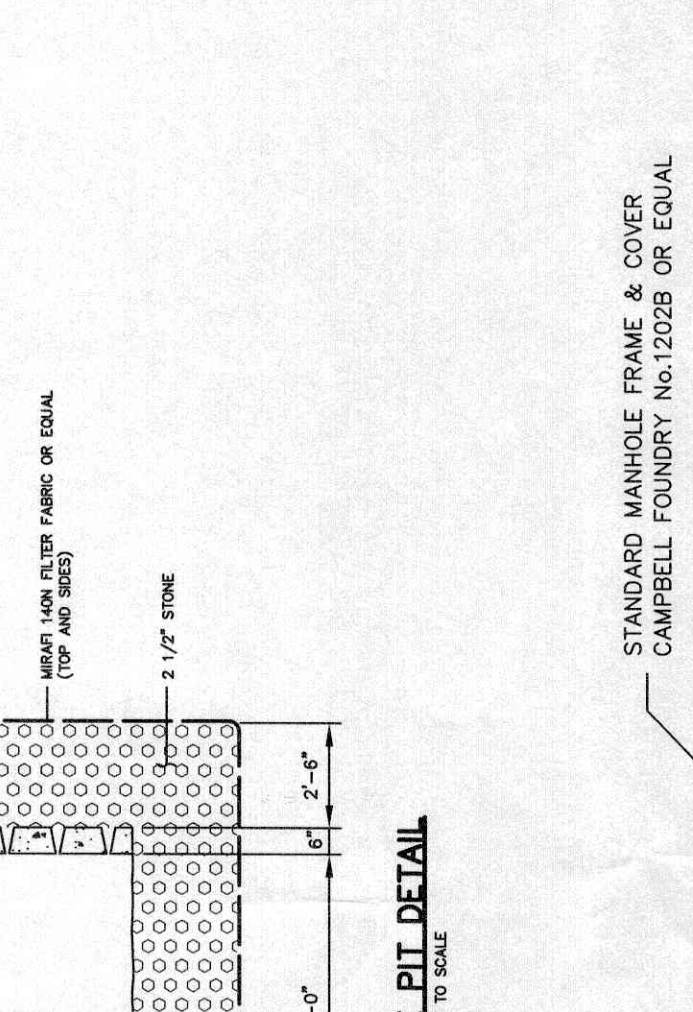
DEPRESSED CURB DETAIL  
N.T.S.



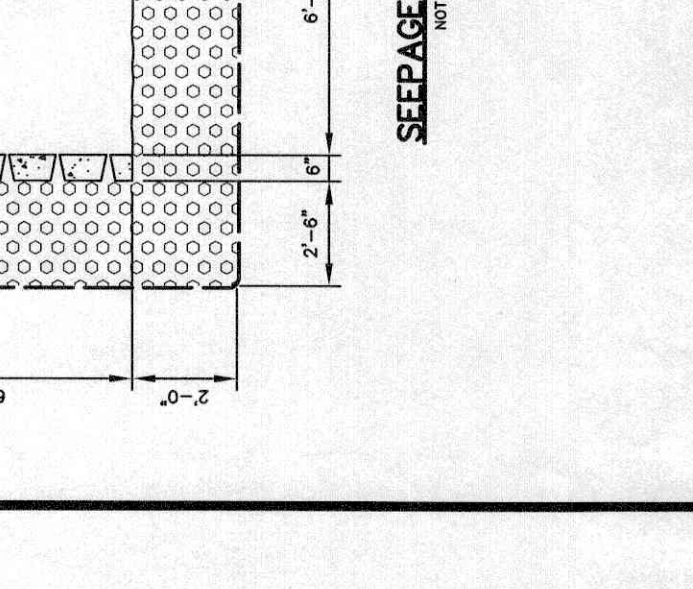
DRIVEWAY APRON DETAIL  
N.T.S.



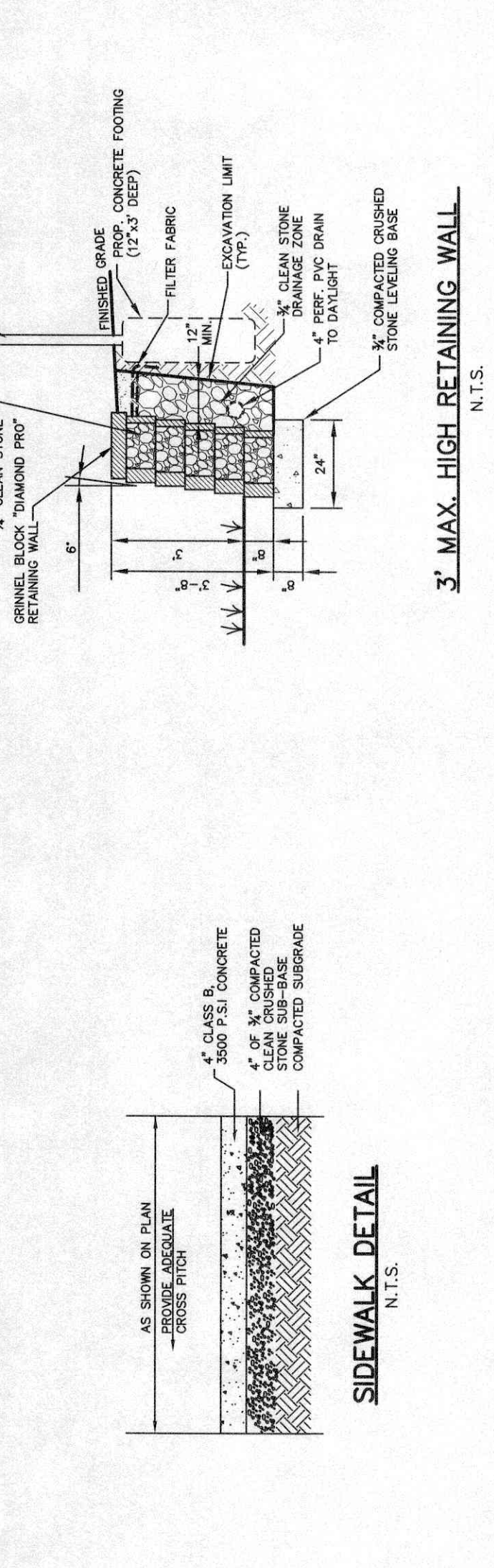
LAWN INLET GRATE DETAIL  
N.T.S.



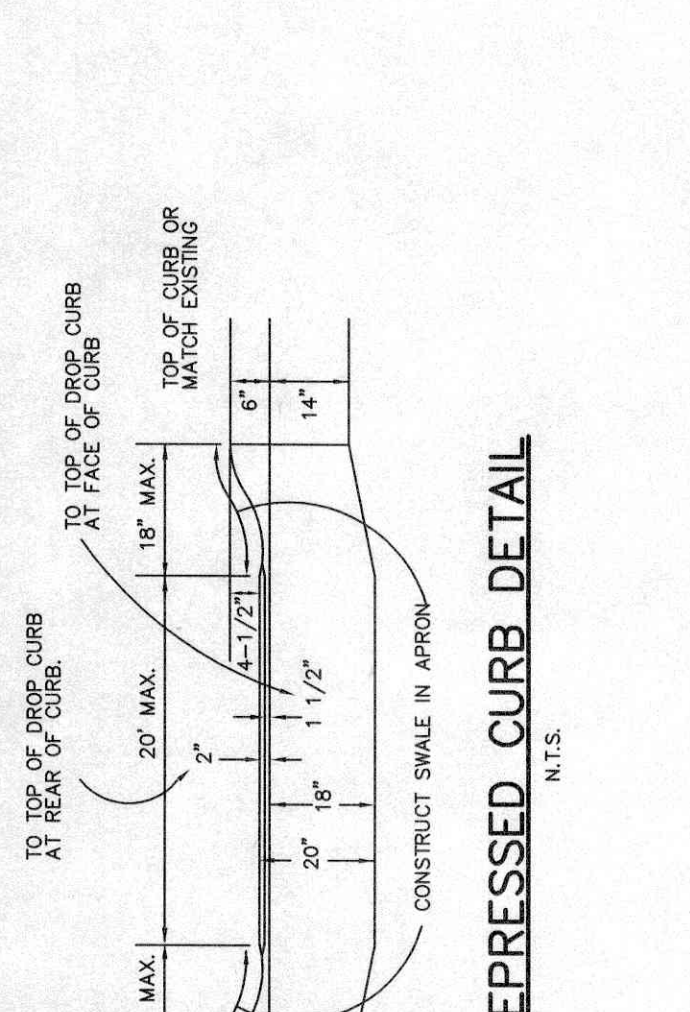
ROOF DRAIN DETAIL  
N.T.S.



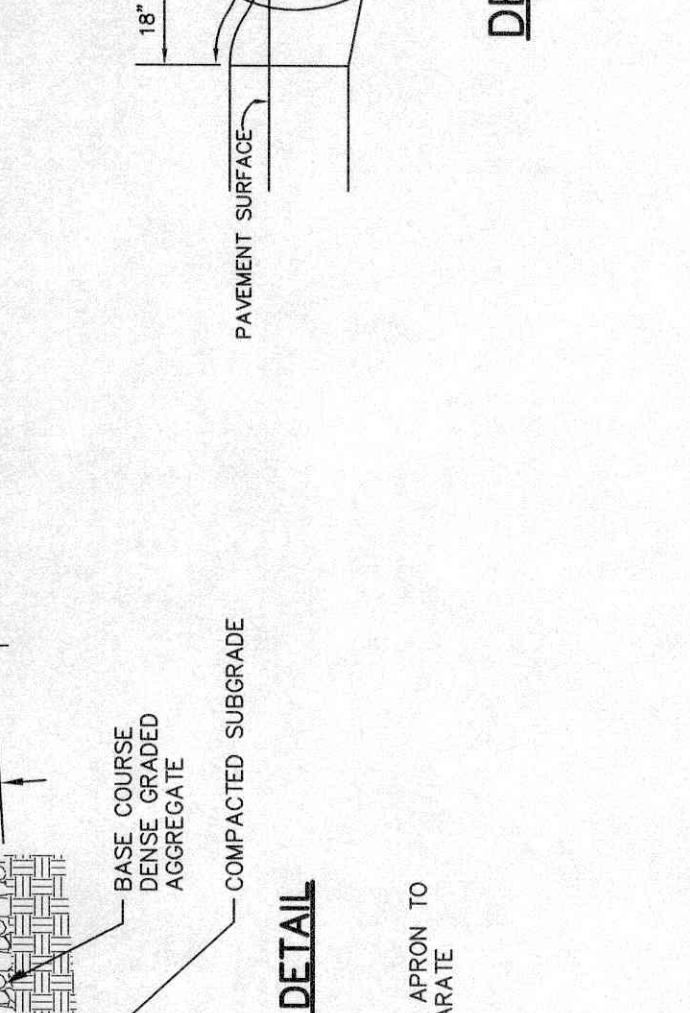
STORM SEWER MANHOLE DETAIL  
FOR PIPES OF 30" DIA OR LESS  
N.T.S.



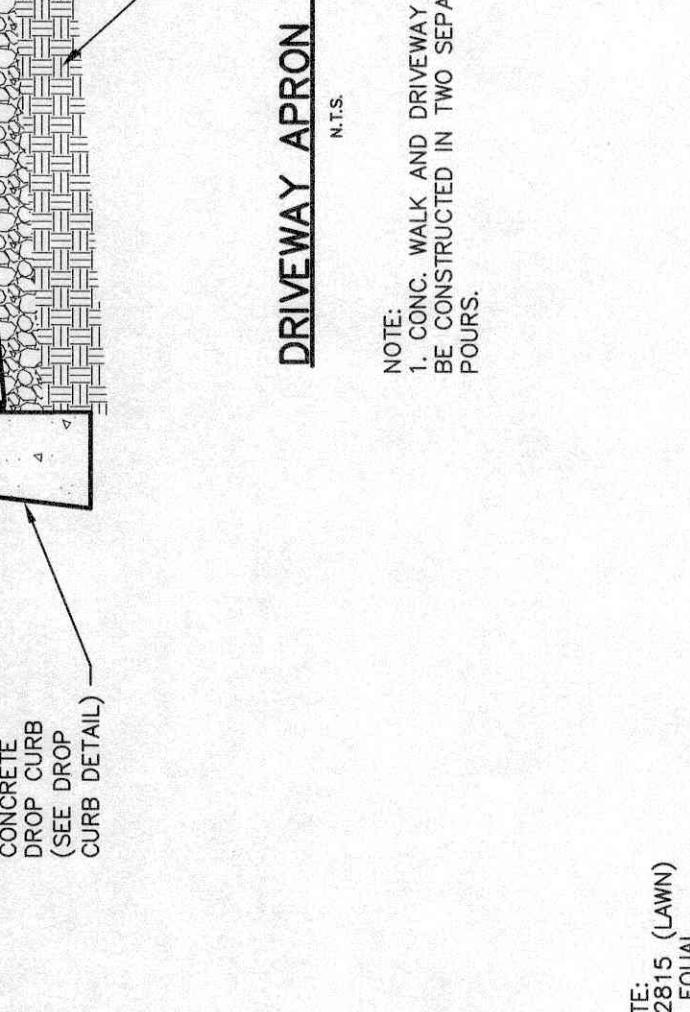
SIDEWALK DETAIL  
N.T.S.



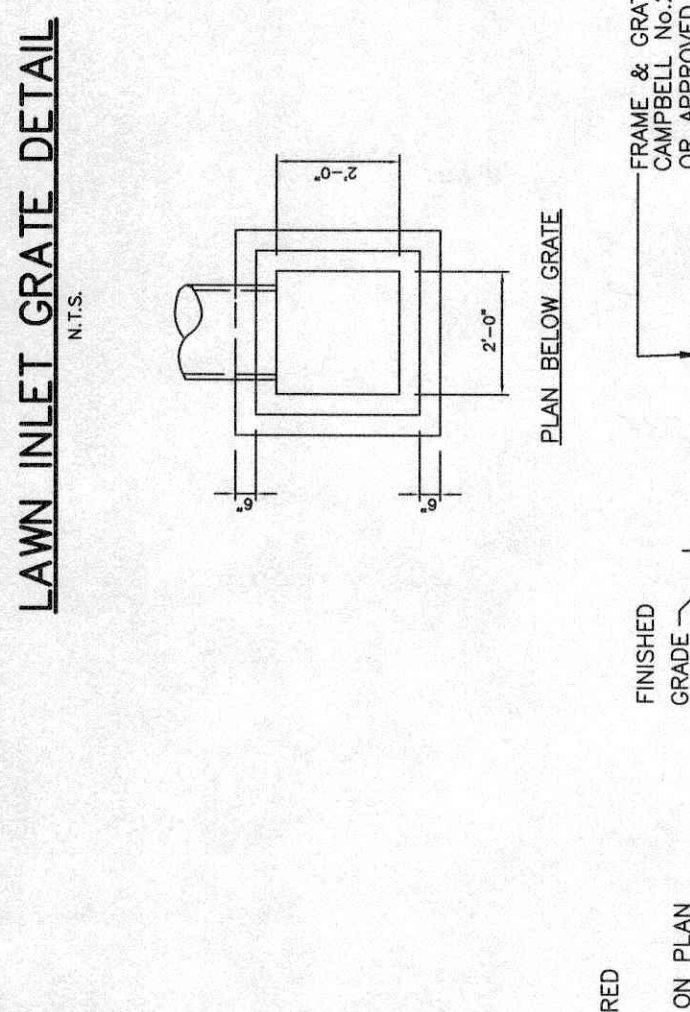
SANITARY MANHOLE  
N.T.S.



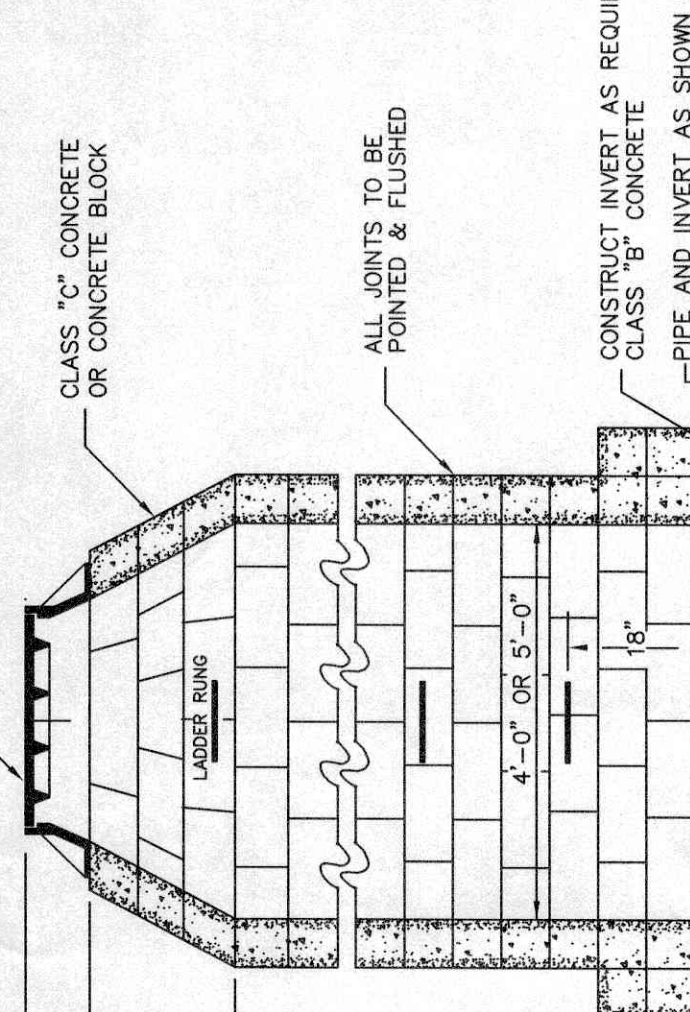
SERVICE LINE CLEANOUT  
N.T.S.



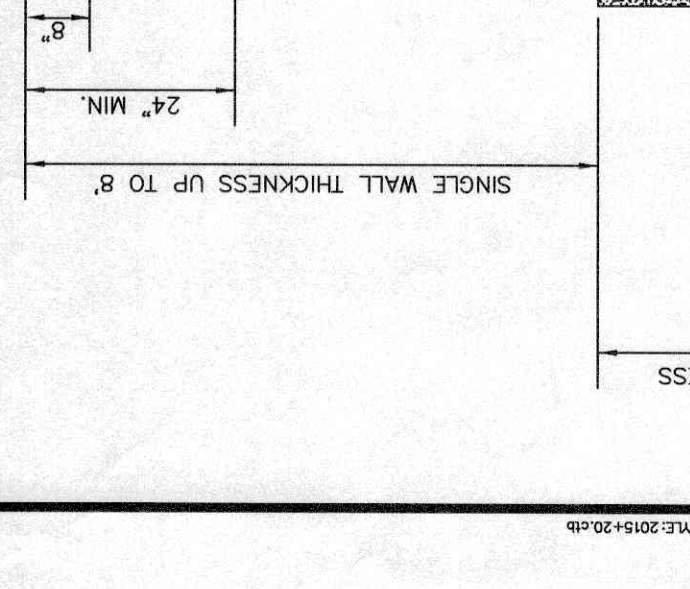
UTILITY CONDUIT TRENCH DETAIL  
N.T.S.



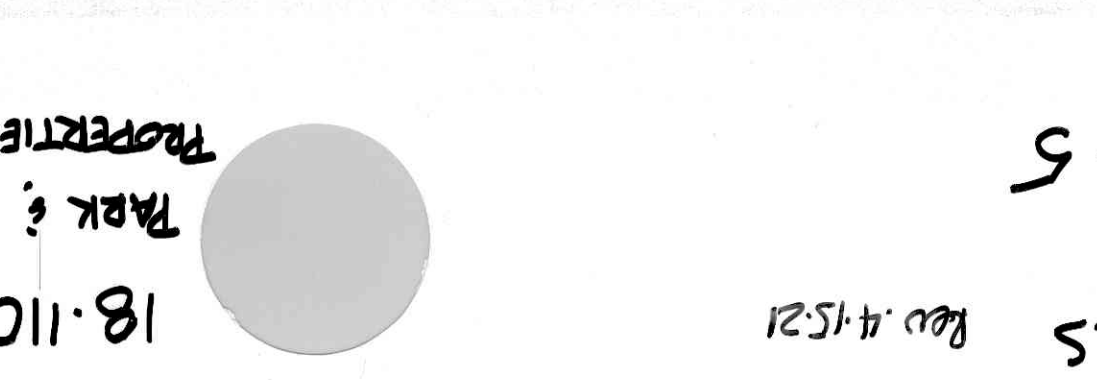
EXTERIOR DROP MANHOLE DETAIL  
N.T.S.



CATCH BASIN DETAIL  
(USE ONLY FOR CATCH BASINS WITH PIPE SIZES UP TO 27" IN DIAMETER)  
N.T.S.



SANITARY SEWER TRENCH DETAIL  
N.T.S.



PARKING STALL STRIPING PLAN AND AISLE DETAIL  
N.T.S.

DETAILS		DATE		SCALE		SHEET NO.		PROJECT NO.	
1-15-21	REVISION LAYOUT	3-16-20	1"=20'	5	5	18-110			
2-27-20	REVISION LAYOUT								

**PARK & IVY PROPERTIES LLC**

BLOCK 1709 BERGEN COUNTY LOT 7  
ALLEDALE NEW JERSEY

**LAPATKA ASSOCIATES, INC.**

12 ROUTE 17 NORTH, SUITE 230  
PARAMUS, N.J. 07652  
(201) 261-1800

ENGINEERS LANDSCAPE ARCHITECTS - SURVEYORS

**ALEXANDER J. LAPATKA** **JEFFREY H. KLEINE**  
P.E. 29218 P.E. 58149  
PROFESSIONAL ENGINEER PROFESSIONAL ENGINEER

18.110  
Park & Ivy Properties LLC  
DETAILS  
Rev 4/15/21  
5 of 5